



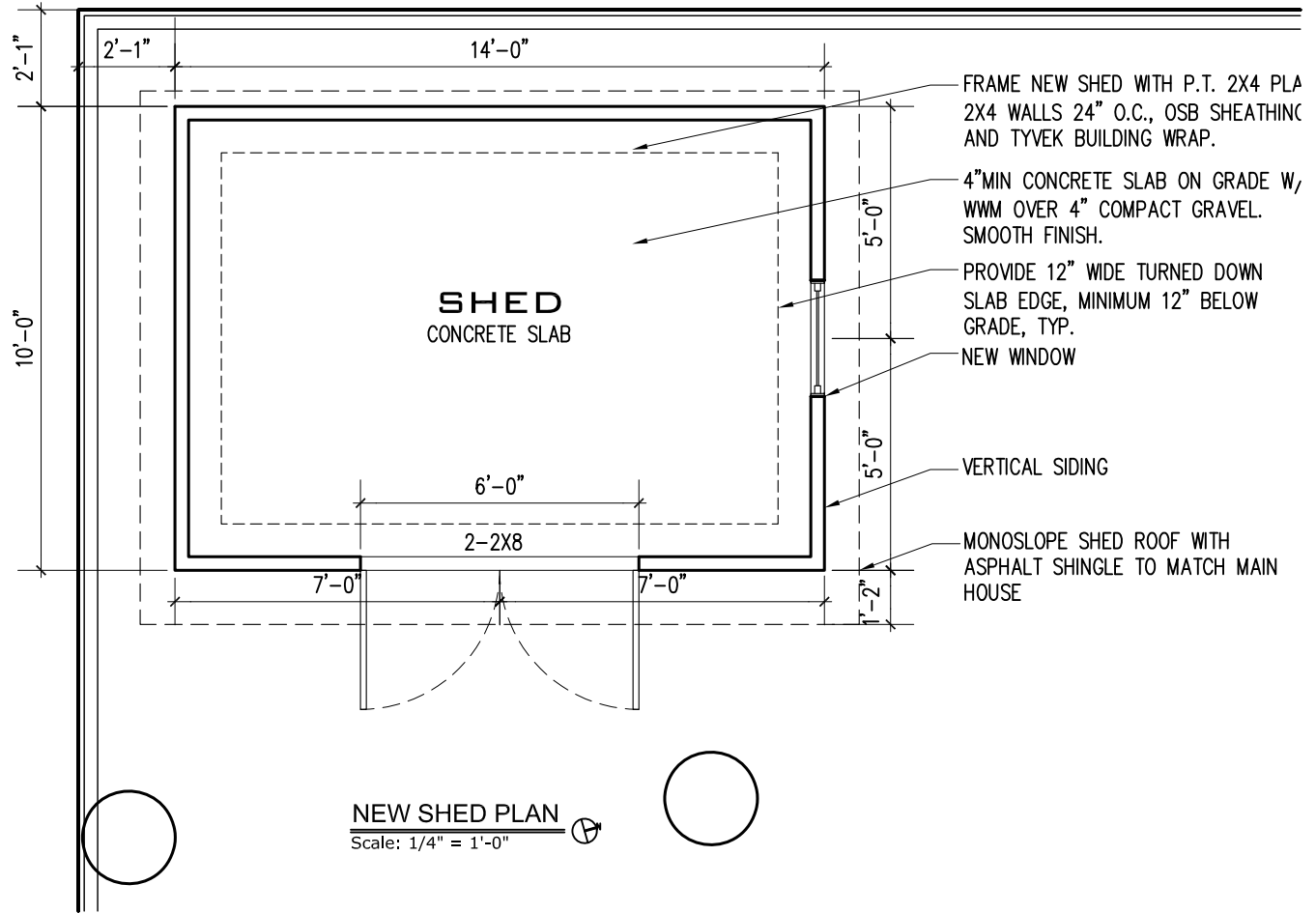




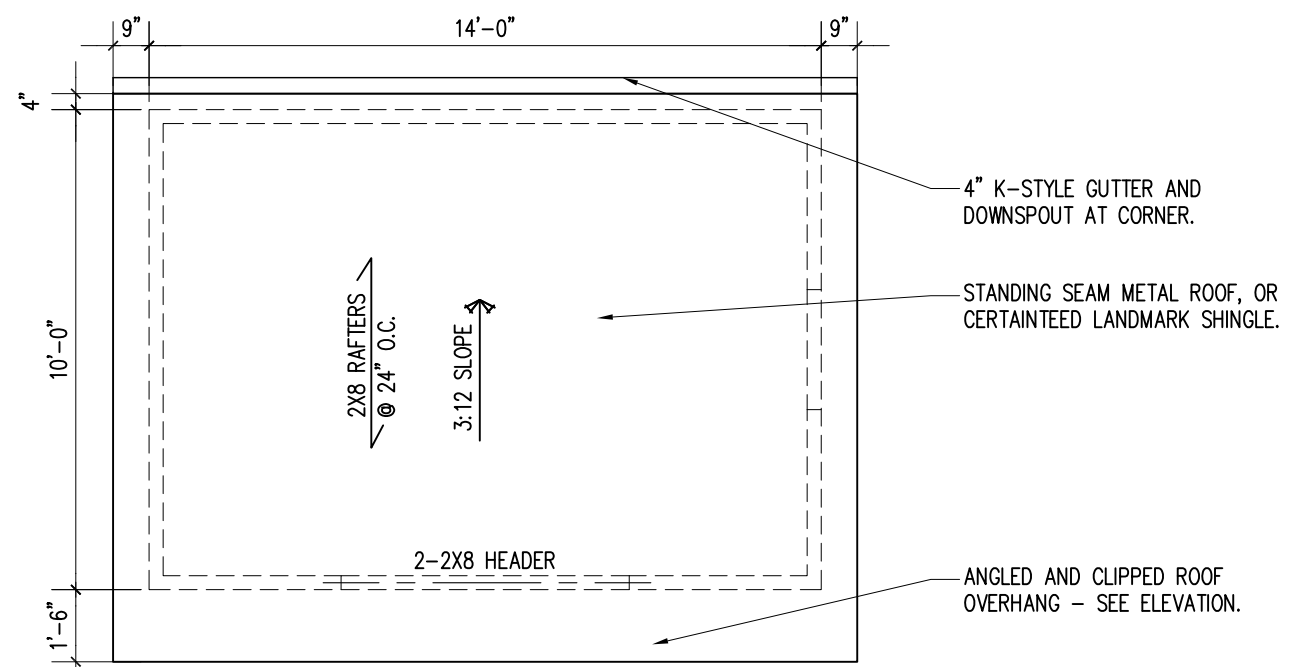
COVER-POOLS
www.coverpools.com







NEW SHED PLAN
Scale: 1/4" = 1'-0"



NEW SHED ROOF PLAN
Scale: 1/4" = 1'-0"

**FITZHARRIS
DESIGNS**
ARCHITECTS + DESIGNERS

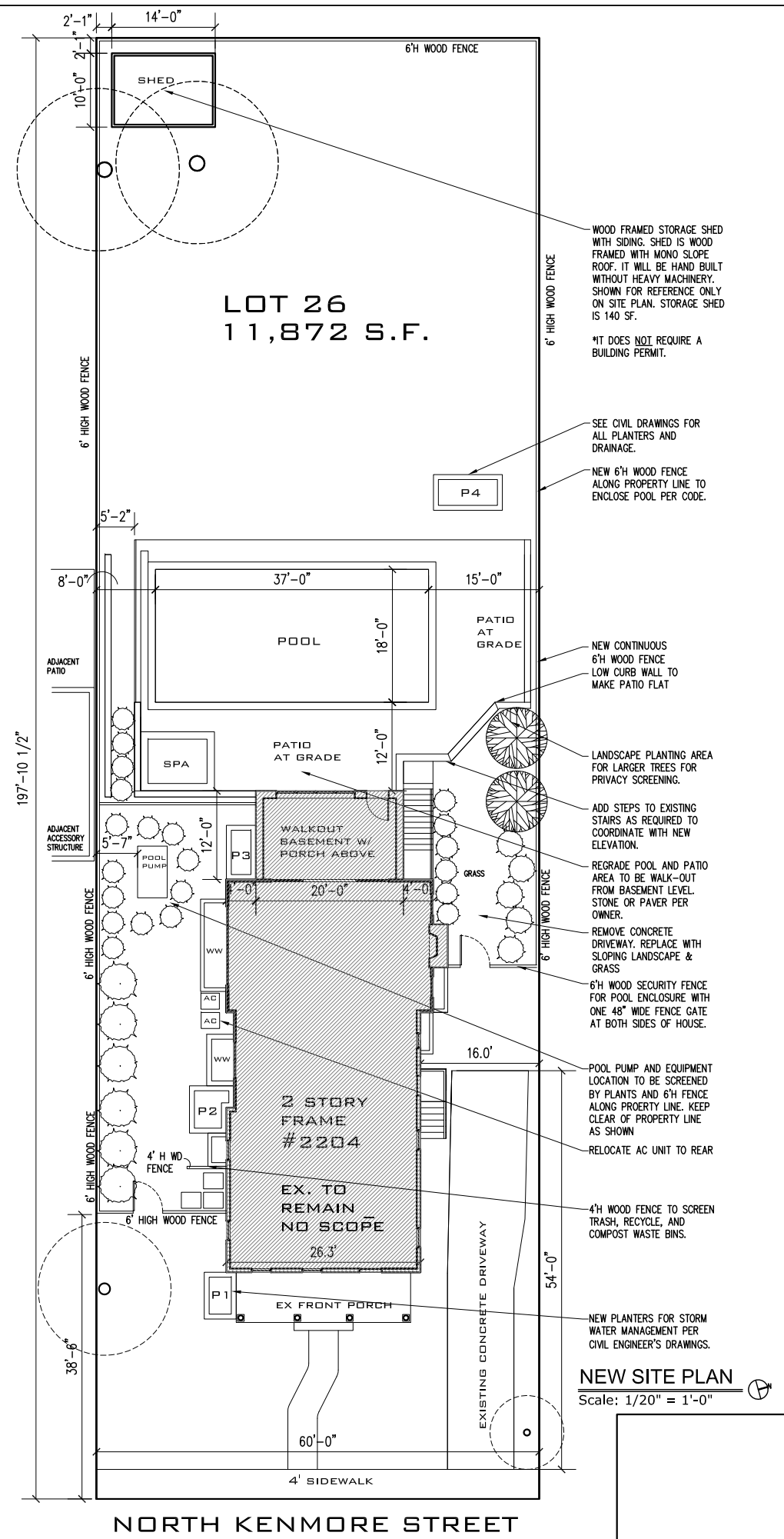
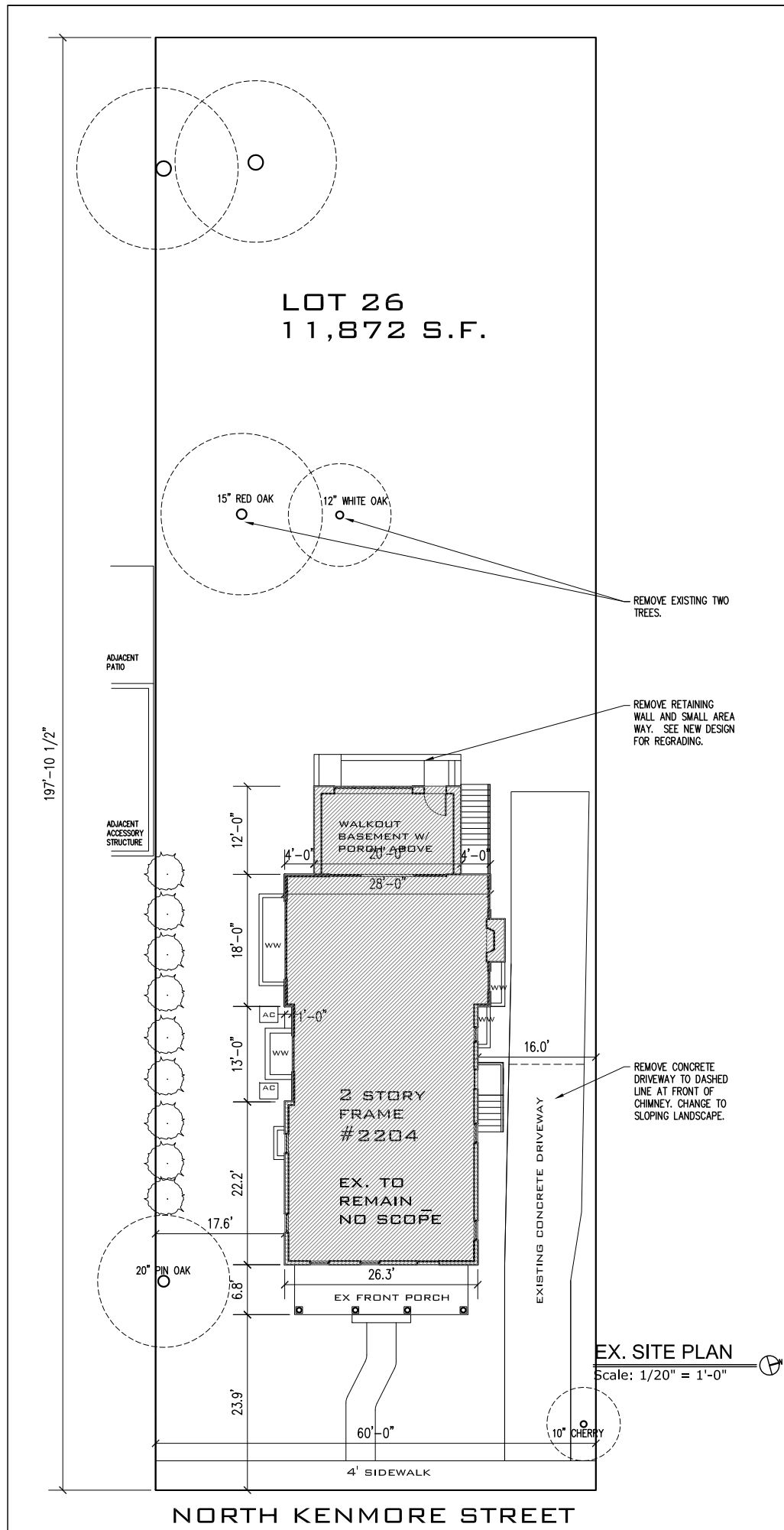
Heidi FitzHarris, AIA
3623 North 21st Avenue
Arlington, VA 22207
703.598.9318
heidi@fitzharrisdesigns.com
www.fitzharrisdesigns.com

GREENE RESIDENCE
2204 North Kenmore Street
Arlington, VA 22201
Renovation & Addition

Issue: REVISED AS BUILT Date: 2022.09.21

NEW PLANS

A102

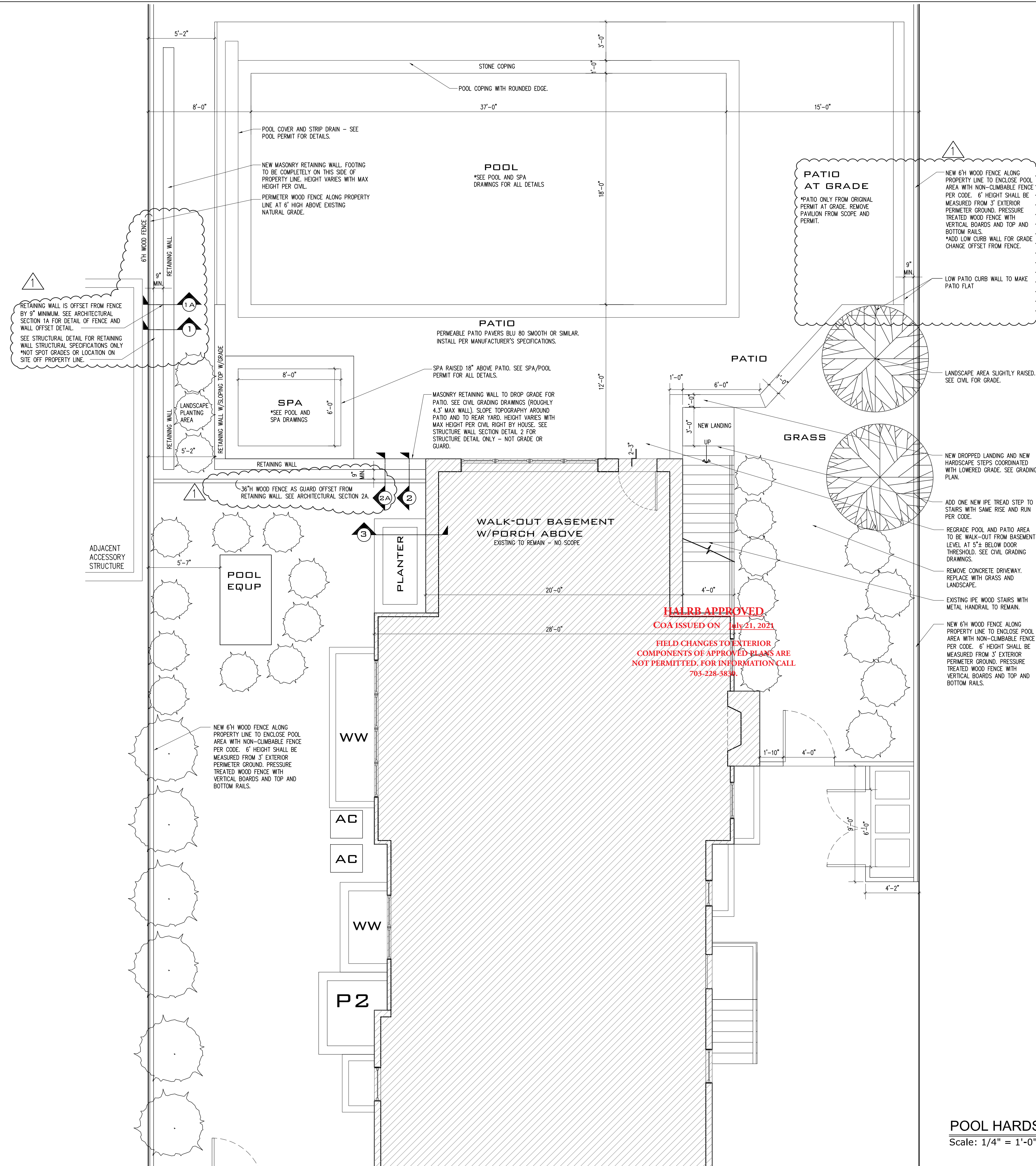


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2204 North Kenmore Street
Arlington, VA 22201
Renovation & Addition

Issue: REVISED AS BUILT
Date: 2022.09.21

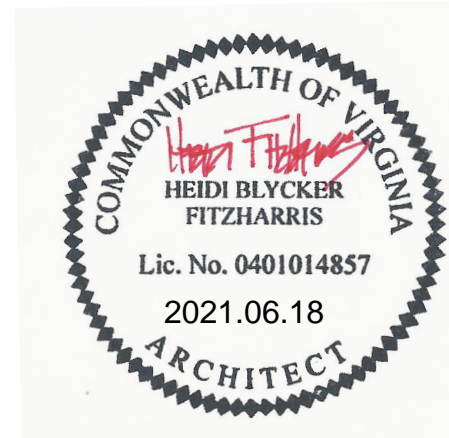
SITE PLANS

A001



HALRB APPROVED
 COA ISSUED ON July 21, 2021
 FIELD CHANGES TO EXTERIOR COMPONENTS OF APPROVED PLANS ARE NOT PERMITTED. FOR INFORMATION CALL 703-228-3834

POOL HARDSCAPE PLAN
 Scale: 1/4" = 1'-0"



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KNF Engineering

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 Kyle Franzen, PE
 42350 Equality Street
 South Riding, VA 20152
 703.946.3188
 kyle@knfeng.com

GREENE RESIDENCE

2204 North Kenmore Street

Arlington, VA 22201

POOL HARDSCAPE & FENCE

Issue:	Date:
PERMIT	2021.05.07
Revision 1	2021.06.16

PLAN

A101



36" H WOOD FENCE OFFSET FROM RETAINING WALL. FENCE ACTS AS A GUARD RAIL FOR ELEVATION CHANGE.

MASONRY RETAINING WALL. SEE SECTION DETAIL AND SPECIFICATIONS.

252.5' TW
*SEE CIVIL

RAISED SPA. SEE POOL PERMIT FOR DETAILS.

248.2' PATIO

2'-9 1/2" ±

3'-0"

2'-8"

NEW PLANTER
SEE CIVIL

5'-5"

248.24' BFF

HALRB APPROVED
 COA 165118-24 JUL 21, 2021
 FIELD CHANGES TO EXISTING
 COMPONENTS OF APPROVED PLANS ARE NOT PERMITTED. FOR INFORMATION CALL 703-228-3830.

1 MAIN HOUSE EXISTING SOUTH SIDE ELEVATION
 Scale: 3/8" = 1'-0"

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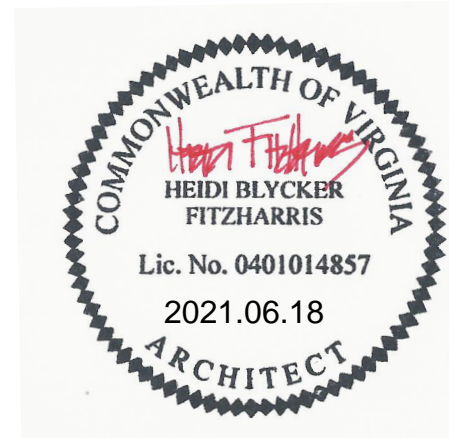
GREENE RESIDENCE
 2204 North Kenmore Street
 Arlington, VA 22201

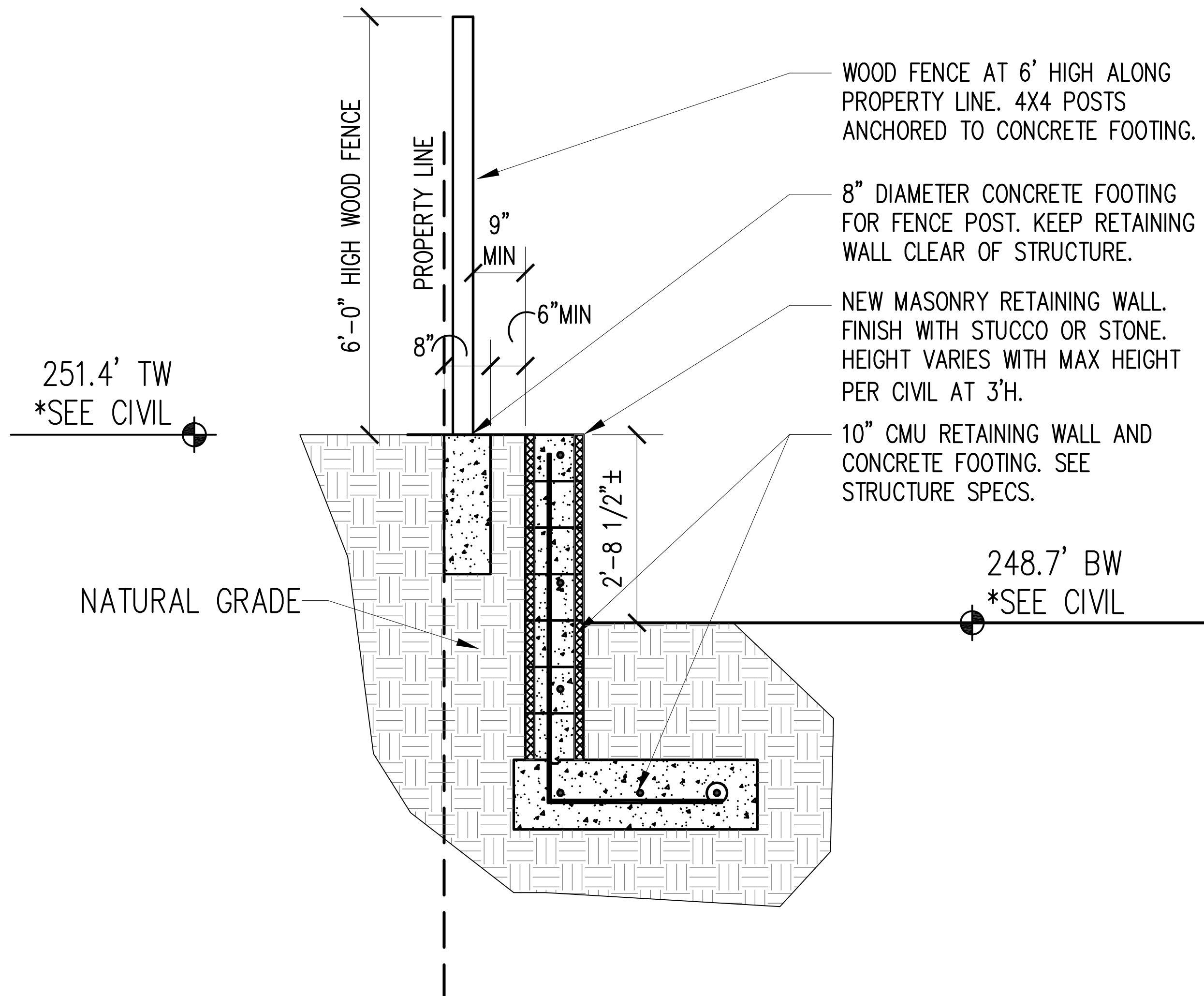
POOL HARDSCAPE & FENCE

Issue: Date:
 Permit 2021.05.07
 Revision 1 2021.06.18

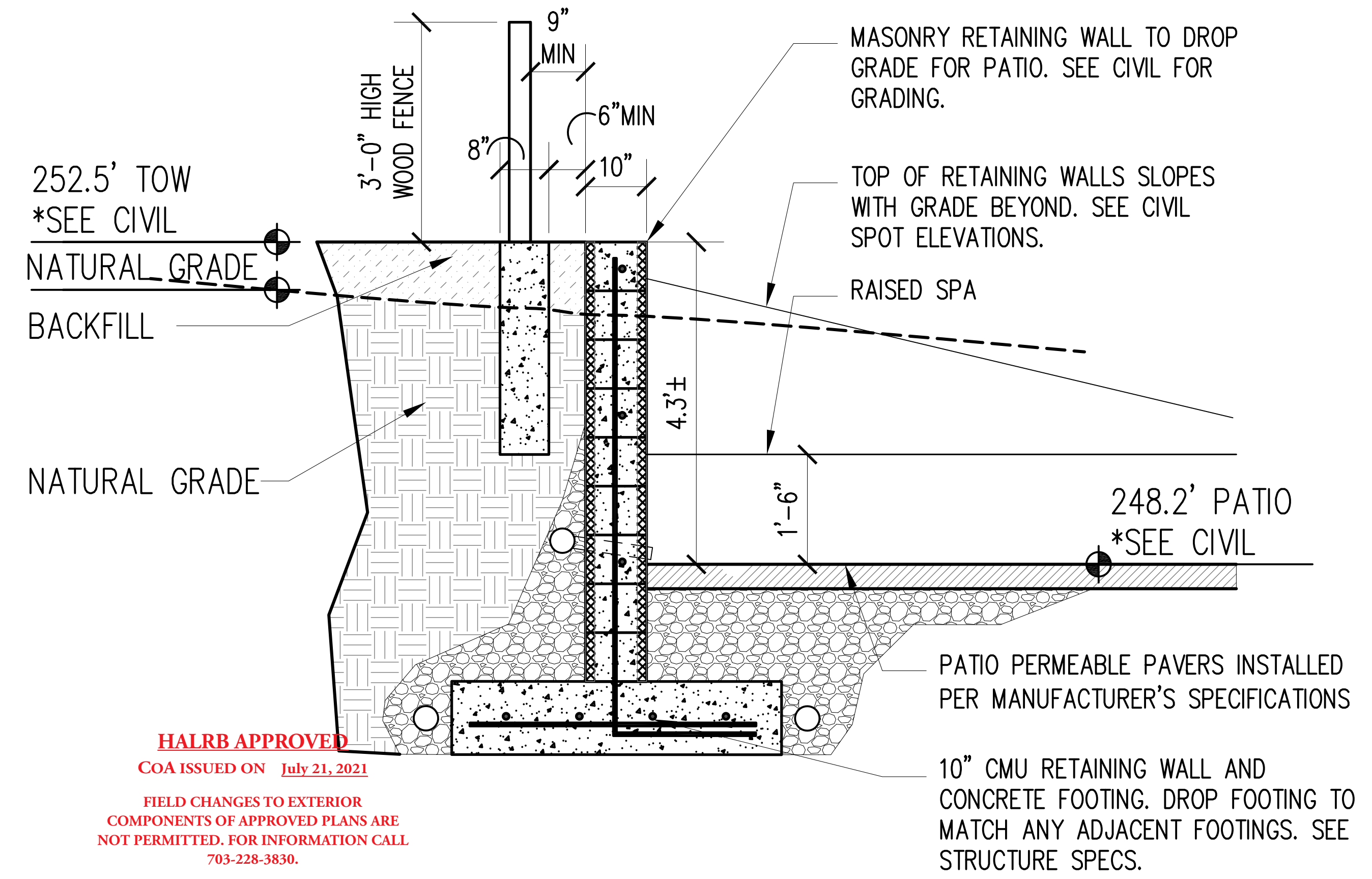
ELEVATIONS

A201



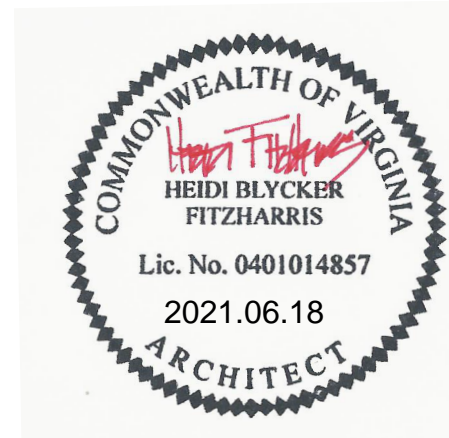


1 1 A - PROPERTY FENCE AND RETAINING WALL
Scale: 3/4" = 1'-0"



HALRB APPROVED
COA ISSUED ON July 21, 2021
FIELD CHANGES TO EXTERIOR COMPONENTS OF APPROVED PLANS ARE NOT PERMITTED. FOR INFORMATION CALL 703-228-3830.

2 2A - RETAINING WALL AT PATIO BY SPA
Scale: 3/4" = 1'-0"



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ARCHITECTS + DESIGNERS

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703.946.3188
kyle@knfeng.com

GREENE RESIDENCE
2204 North Kenmore Street
Arlington, VA 22201

POOL HARDSCAPE & FENCE

Issue:	Date:
Permit	2021.05.07
Revision 1	2021.06.18

DETAILS

A202

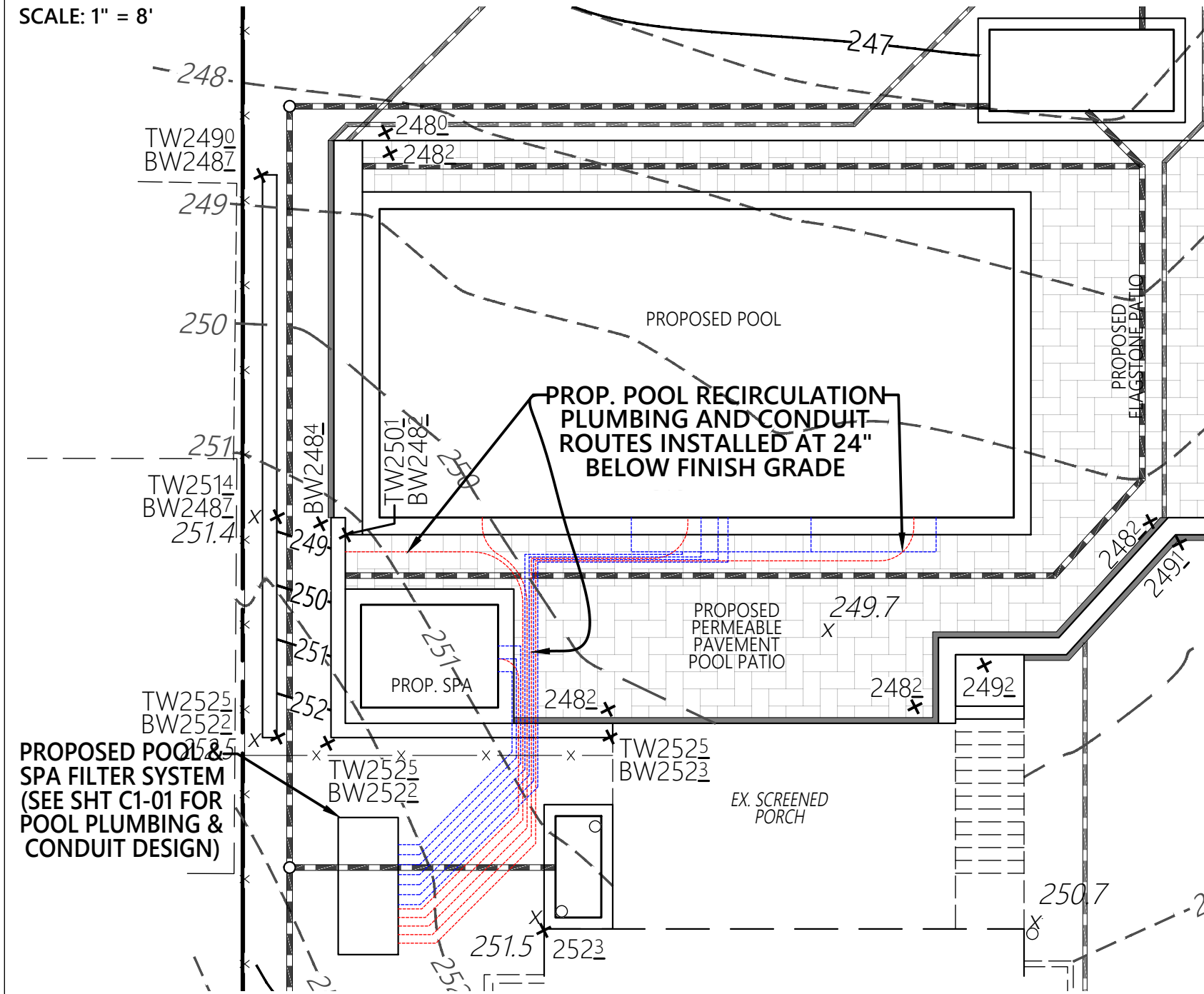
GENERAL NOTES:

- OWNER: DAVID D. GREENE & MARIA ELENA G. GREENE
2204 NORTH KENMORE STREET
ARLINGTON, VIRGINIA 22201
PHONE: 703.731.1630
EMAIL: MGRALDOGREENE@GMAIL.COM
- RPC #05-054-015
- ZONE: R-6
- SETBACKS: FRONT = 25 FEET
SIDE = AGGREGATE 18 FEET, MIN 8 FEET
REAR = 25 FEET
- TOTAL SITE AREA _____ 11,872 SQ. FT. OR 0.2725 AC.
MINIMUM LOT AREA REQUIRED _____ 6,000 SQ. FT. OR 0.1377 AC.
- THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF MICHAEL L. FLYNN, L.S., FROM AN ACTUAL [X]GROUND []AIRBORNE SURVEY MADE UNDER MY SUPERVISION; THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON DECEMBER 23, 2020; AND THIS PLAT, MAP OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
- NO TITLE REPORT FURNISHED FOR PREPARATION OF PLAN, THEREFORE ALL EASEMENTS AND RESTRICTIONS MAY NOT BE SHOWN.
- PLAN IS SUBJECT TO RESTRICTIONS OF RECORD.
- ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE UNIFORM STATEWIDE BUILDING CODE. ALL CONSTRUCTION SHALL CONFORM TO ARLINGTON COUNTY STANDARDS.
- THIS LOT IS NOT IN A BONDED SUBDIVISION.
- ALL MUDDY VEHICLES WILL BE CLEANED PRIOR TO ENTERING INTO THE PUBLIC RIGHT-OF-WAY. THE EXISTING DOMESTIC WATER SERVICE WILL BE TAPPED AT THE METER AND UTILIZED TO CLEAN CONSTRUCTION VEHICLES LEAVING THE SITE.
- ALL PROPOSED UTILITIES ARE TO BE PLACED UNDERGROUND.

POOL WATER NOTES:

- ARLINGTON COUNTY CODE SECTION 26-5(C) MAKES IT UNLAWFUL FOR ANY PERSON TO DISCHARGE DIRECTLY OR INDIRECTLY INTO THE STORM SEWER SYSTEM OR STATE WATERS, ANY SUBSTANCE LIKELY, IN THE OPINION OF THE COUNTY MANAGER, TO HAVE AN ADVERSE EFFECT ON THE STORM SEWER SYSTEM OR STATE WATERS. FAILURE TO COMPLY WITH CODE REQUIREMENTS MAY RESULT IN ENFORCEMENT ACTION, INCLUDING THE ISSUANCE OF CIVIL PENALTIES AS OUTLINED IN CHAPTER 26-9 OF THE ARLINGTON COUNTY CODE. ENFORCEMENT ACTION MAY ALSO BE TAKEN BY STATE AND FEDERAL AUTHORITIES IN THE EVENT OF A FISH KILL.
- NEW PUBLIC OR COMMERCIAL POOLS ARE REQUIRED TO BE CONNECTED TO THE SANITARY SEWER SYSTEM. FOR ADDITIONAL INFORMATION, CONTACT ARLINGTON COUNTY'S DEPARTMENT OF COMMUNITY PLANNING, HOUSING AND DEVELOPMENT, INSPECTION SERVICES DIVISION AT 703-228-3800.
- RESIDENTIAL POOL WATER SHOULD BE DRAINED INTO THE SANITARY SEWER SYSTEM WHENEVER POSSIBLE. WATER MAY BE DRAINED SLOWLY INTO A SERVICE LATERAL CLEANOUT, IF NOT POSSIBLE, DISCHARGE POOL WATER SLOWLY OVER A VEGETATED AREA OVER THE COURSE OF SEVERAL DAYS TO ALLOW THE WATER TO SOAK INTO THE GROUND AND REDUCE THE AMOUNT OF WATER THAT GOES TO THE STORM DRAIN SYSTEM. POOL WATER MAY ONLY BE DRAINED INTO THE STORM DRAIN SYSTEM AFTER THE FOLLOWING ACTIONS ARE TAKEN:
 - REMOVE CHLORINE OR BROMINE FROM POOL WATER PRIOR TO DISCHARGE. USE REMOVAL AGENTS OR ALLOW UNTREATED WATER TO SIT FOR APPROXIMATELY 10 DAYS TO ALLOW THE CHLORINE OR BROMINE TO DISSIPATE. USE A POOL TEST KIT TO ENSURE THERE ARE NOT ANY DETECTABLE LEVELS OF CHLORINE OR BROMINE BEFORE DISCHARGING THE WATER. CHLORINE AND BROMINE ARE TOXIC TO FISH AND OTHER ANIMALS LIKE CRAYFISH THAT LIVE IN OUR STREAMS.
 - ADJUST THE WATER'S PH TO 7 (NEUTRAL). USE APPROPRIATE BUFFERING COMPOUNDS TO ADJUST THE PH LEVEL AND A TEST KIT TO CHECK THE PH LEVEL BEFORE DISCHARGING THE WATER.
 - REMOVE/FILTER OUT DEBRIS, INCLUDING DIRT, LEAVES, STICKS OR ALGAE BEFORE DRAINING POOL WATER.
 - DISCHARGE THE WATER SLOWLY OVER THE COURSE OF SEVERAL DAYS TO HELP PREVENT STREAM BANK EROSION FROM LARGE FLOWS OF WATER GOING INTO A STREAM.
 - DO NOT DISCHARGE CLOUDY OR DIRTY WATER, WASH WATER, OR DEBRIS FROM SWIMMING POOL CLEANING ACTIVITIES INTO A STORM DRAIN OR STREAM. CHEMICALS USED TO CLEAN POOLS CAN HAVE HIGH PH AND BE EXTREMELY TOXIC TO AQUATIC LIFE.
- FOR MORE INFORMATION ON HOW TO PROPERLY MANAGE POOL WATER DISCHARGE:
 - CALL (703) 228-4488 AND/OR REFER TO THE 10/12/2012 VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY'S (DEQ) SWIMMING POOL RELEASE GUIDELINES. (HTTPS://WWW.DEQ.VIRGINIA.GOV/HOME/SHOWDOCUMENT?ID=5560).

PROPOSED POOL PLUMBING & CONDUIT ROUTE:



ITEM	EXISTING	PROPOSED	ABBREVIATIONS:
WATER MAINS	W	W	INV=INVERT UP=UTILITY POLE
GAS MAINS	GAS	GAS	PVC=POLYVINYL CHLORIDE
ELECTRIC LINES	E	E	RET=RETAINING
FENCES	X	X	SAN=SANITARY
SPOT ELEVATIONS	+100.0	+100.0	TW=TOP OF WALL
CONTOURS	-100	-100	BFF=BASEMENT FLOOR
BUILDING ENTRANCES	▽	▽	CO=CLEAN OUT
ROOF DOWNSPOUT	○	○	C&G=CURB&GUTTER
LIMITS OF DISTURBANCE	---	---	FF=FINISH FLOOR
			DV=GAS VALVE
			IPF=IRON PIPE FOUND
			WM=WATER VALVE
			OHU=OVERHEAD UTILITY
EROSION AND SEDIMENT CONTROL UNIFORM CODING SYSTEM:			
(SF)	SILT FENCE	(PS)	PERMANENT SEEDING
(ST)	STD. & SPEC. 3.05	(TS)	STD. & SPEC. 3.32
(TP)	TREE PROTECTION	(TS)	TEMP. SEEDING
(CE)	CONSTRUCTION ENTRANCE	(DS)	DEWATERING STRUCTURE
	STD. & SPEC. 3.38		STD. & SPEC. 3.31
	STD. & SPEC. 3.02		STD. & SPEC. 3.26

DEMOLITION NOTE:

THE SITE CONTRACTOR IS TO SAVE ALL EXISTING IMPROVEMENTS ON THE SITE UNLESS OTHERWISE NOTED ON SHEET C2-00. IF THE LOCATION OF THE EXISTING UTILITY VARIES FROM THAT WHICH IS SHOWN ON THE PLAN, THE DIFFERENCE SHALL BE REPORTED TO THE DESIGN ENGINEER FOR VERIFICATION THAT THE EXISTING LOCATION WILL WORK WITH THE PLAN DESIGN.

UTILITY MARKING NOTE:

ALL UTILITY SERVICES SHALL BE FIELD MARKED PRIOR TO ANY ON-SITE DEMOLITION AND CONSTRUCTION OCCURS ON-SITE. ALL UTILITIES SHALL BE CAPPED OFF, AS REQUIRED BY THE COUNTY AND THE LOCAL UTILITY.

HORIZONTAL AND VERTICAL DATUM

THE SITE SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983 AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY. THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY.

RESPONSIBLE LAND DISTURBER NOTE:

A "RESPONSIBLE LAND DISTURBER" (RLD) SHALL BE NAMED AND CERTIFICATION PROVIDED TO THE COUNTY OF ARLINGTON PRIOR TO THE APPROVAL OF THE PLAN. SEE SHEET C2-00 FOR RLD INFORMATION. IF THE RLD FOR THE PROJECT IS REVISED DURING CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL NOTIFY ARLINGTON COUNTY IN WRITING.

WALL CHECK AND FINAL SURVEY NOTE:

A FINAL PLAT IS DUE UPON COMPLETION OF ROOF EAVES. A WALL CHECK PLAT, SHOWING THE ESTABLISHED FLOOR ELEVATION, IS DUE UPON COMPLETION OF FOUNDATION WALLS.

FLOODPLAIN / RPA NOTE:

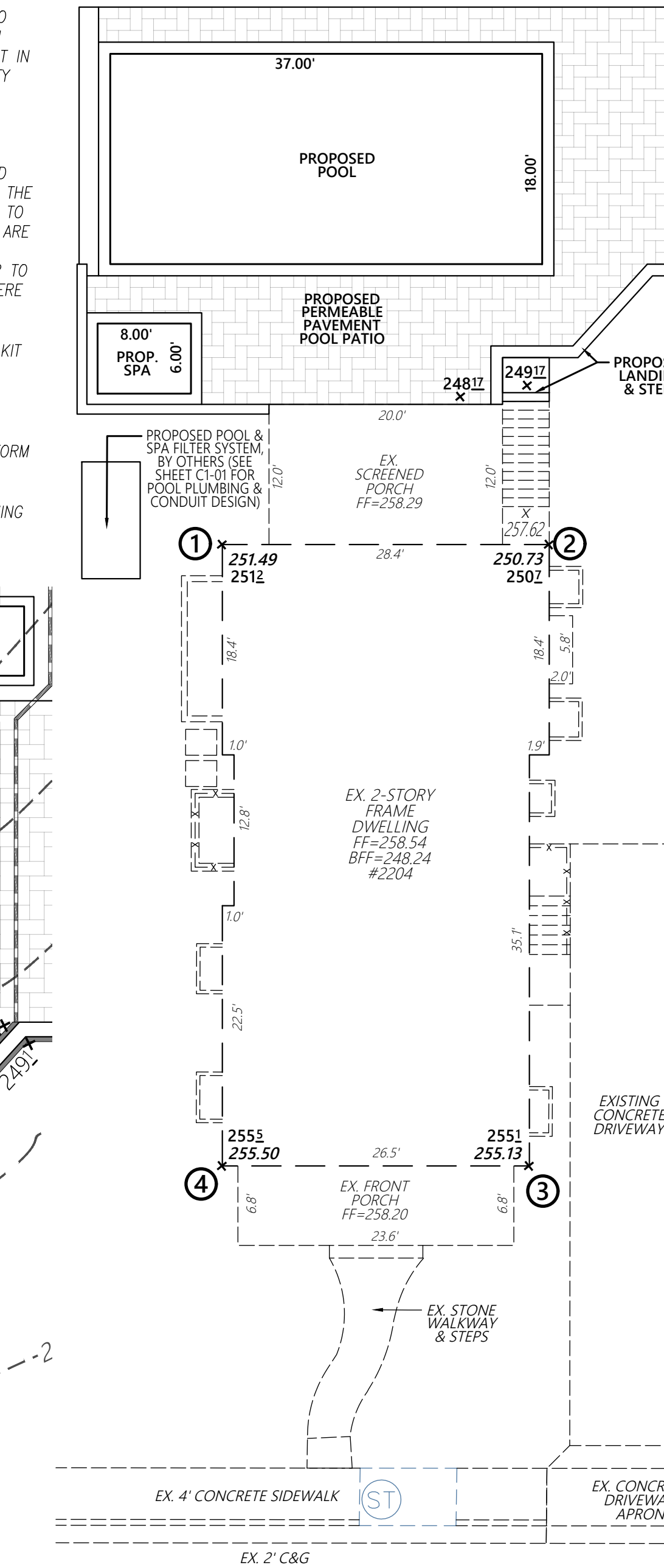
THIS SITE DOES NOT CONTAIN 100-YEAR FLOODPLAIN OR RPA AS MAPPED BY ARLINGTON COUNTY OR FEMA FLOOD MAPS.

POOL WATER NOTE:

NEITHER THE POOL OR THE POOL FILTER EQUIPMENT ARE CONNECTED TO THE STORM OR SANITARY SEWER SYSTEMS.

PROPOSED DWELLING TEMPLATE:

SCALE: 1" = 10'



NOTE TO CONTRACTOR:

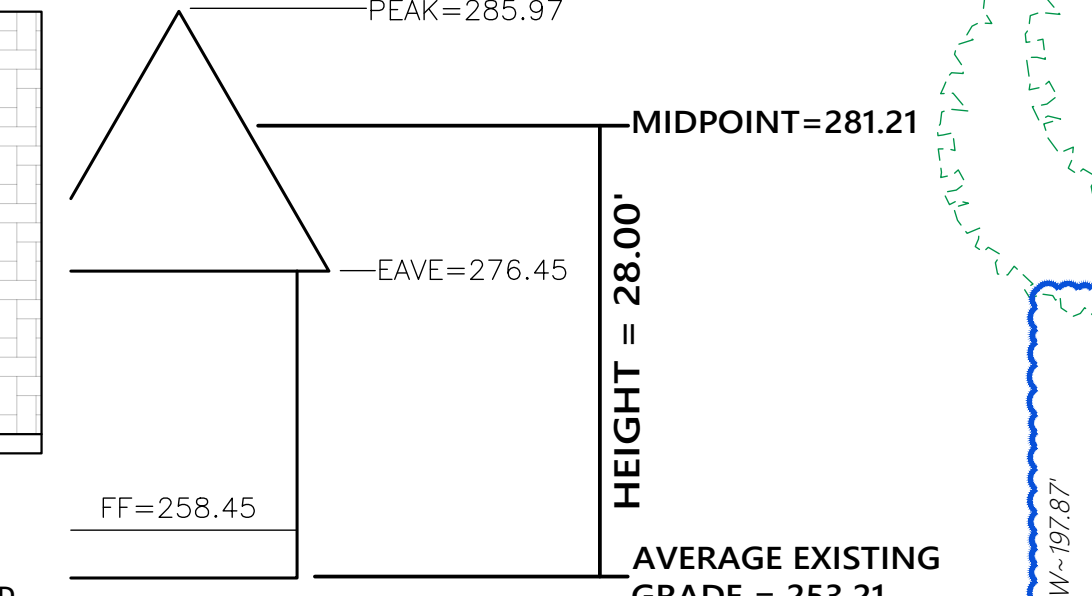
THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, ENGINEERING DIVISION AT TELEPHONE NUMBER (703) 558-3629 AT LEAST ONE WEEK PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES, INCLUDING DEMOLITION OF EXISTING STRUCTURES, AND ONE WEEK PRIOR TO THE FINAL INSPECTION. THE COUNTY INSPECTOR MAY REQUIRE ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES IF FIELD CONDITIONS WARRANT. THE CONTRACTOR SHALL ALSO MAINTAIN AT ALL TIMES A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AT THE WORK SITE.

GRADING NOTES:

- SITE WORK CONTRACTOR TO FIELD CHECK FINAL GRADING TO ENSURE THE DEVELOPMENT IS GRADED IN ACCORDANCE WITH THE APPROVED SITE DEVELOPMENT PLAN.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE ACROSS ALL SURFACES TO PRECLUDE THE PONDING OF WATER, EITHER IN YARDS OR ON PAVED SURFACES. THIS DOES NOT APPLY TO PONDING ASSOCIATED WITH STORMWATER MANAGEMENT FACILITIES.
- ANY PROPOSED STRUCTURAL FILL MATERIALS MUST HAVE APPROVAL OF THE PROJECT GEOTECHNICAL CONSULTANT PRIOR TO PLACEMENT AND COMPACTION. FILL MATERIALS SHALL BE COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERS SPECIFICATIONS AND UNDER HIS/HER GUIDANCE.

DWELLING HEIGHT DETAIL:

NOT TO SCALE



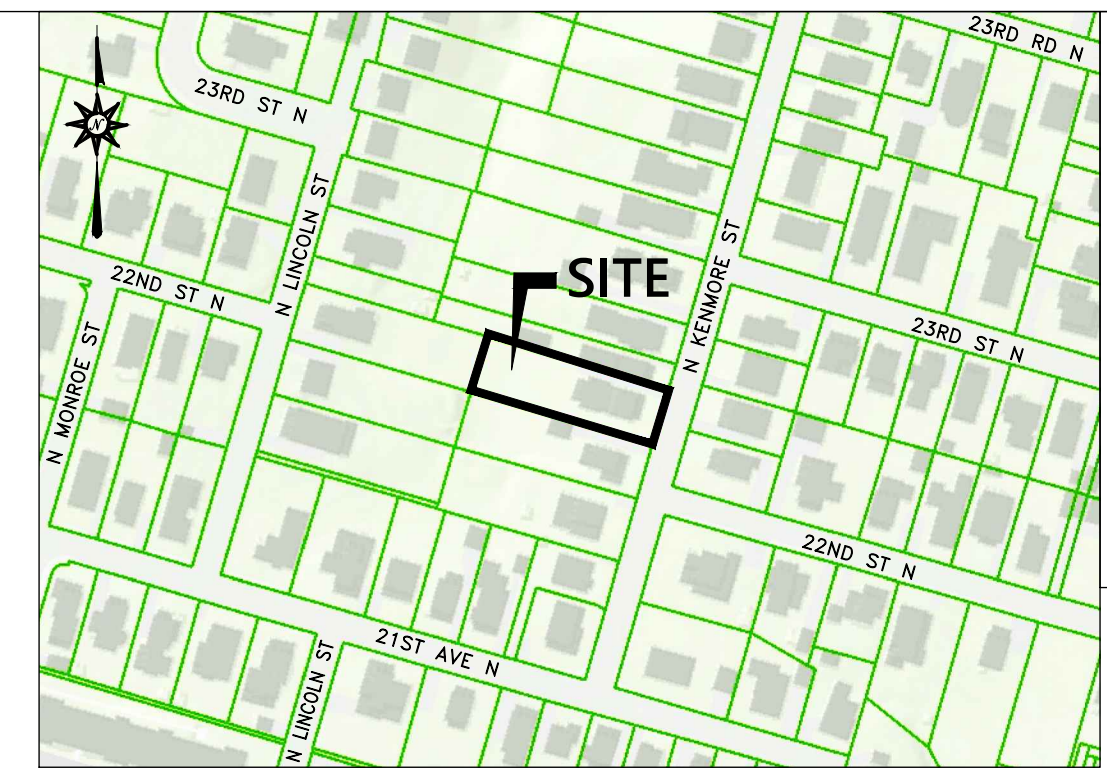
- AVERAGE EXISTING GRADE (DWELLING)**
- 1 = 251.49
 - 2 = 250.73
 - 3 = 255.13
 - 4 = 255.50
- TOTAL: 1,012.85 / 4 = 253.21 AVERAGE EX. GRADE**

PROJECT NARRATIVE:

THIS PROJECT PROPOSES TO CONSTRUCT A NEW POOL AND A PATIO, THE LOT IS CURRENTLY OCCUPIED BY AN EXISTING DWELLING. THE DWELLING AND ALL OTHER ON-SITE IMPROVEMENTS ARE TO BE SAVED, UNLESS NOTED OTHERWISE ON SHEET C2-00. UTILITY CONNECTIONS SHALL BE ATTACHED TO THE PUBLIC UTILITIES LOCATED IN THE PUBLIC RIGHT-OF-WAY, WHERE POSSIBLE THE EXISTING UTILITY SERVICES SHALL BE UTILIZED AND CONNECTED TO THE EXISTING DWELLING. RUNOFF FROM IMPERVIOUS AREAS SHALL BE TREATED FOR WATER QUALITY AS REQUIRED. NO CONCENTRATED FLOWS SHALL EXIT THE SITE ONTO ADJACENT PARCELS.

CONSTRUCTION ENTRANCE NOTE:

WASH WATER WILL BE OBTAINED FROM AN ON-SITE SOURCE BY TAPPING THE NEW SERVICE OR METER. IF THE SOURCE PROVES INSUFFICIENT OR MAY NOT OTHERWISE BE USED THEN A WATER TRUCK SHALL BE USED FOR VEHICLE WASH. THE WASH WATER WILL BE FILTERED THROUGH THE PROVIDED SILT FENCE TO ENSURE THAT NO SEDIMENT LADEN RUNOFF IS ALLOWED TO FLOW ONTO THE ADJACENT PROPERTY. DUE TO THE REMOVAL OF APPROXIMATELY 45-FEET THE EXISTING DRIVEWAY, A 70-FOOT LONG STANDARD CONSTRUCTION ENTRANCE CANNOT BE INSTALLED AS IT WOULD IMPEDE CONSTRUCTION ACTIVITIES. A 50-FOOT CONSTRUCTION ENTRANCE IS PROPOSED DURING PHASE 2.



VICINITY MAP
SCALE: 1" = 200'

IMPERVIOUS AREA CALCULATIONS:

PRE-DEVELOPMENT:

- PRE DWELLING = 1,416 SF
- PRE PORCHES = 400 SF
- PRE CHIMNEY = 12 SF
- PRE LANDINGS, WALKWAYS & STEPS = 370 SF
- PRE RETAINING WALLS = 56 SF
- PRE DRIVEWAY & APRON = 1,230 SF
- PRE SIDEWALK = 204 SF

TOTAL PRE-DEVELOPMENT IMPERVIOUS AREA = 3,688 SF OR 0.0847 AC. @ 31.1%

POST-DEVELOPMENT:

- POST POOL & SPA = 762 SF
- POST PATIO = 905 SF
- POST LANDINGS, WALKWAYS & STEPS = 228 SF
- POST DUMPSTER PAD = 36 SF
- POST RETAINING WALLS = 51 SF
- PRE DWELLING = 1,416 SF
- PRE PORCHES = 400 SF
- PRE CHIMNEY = 12 SF
- PRE DRIVEWAY & APRON = 653 SF
- PRE SIDEWALK = 204 SF

TOTAL POST-DEVELOPMENT IMPERVIOUS AREA = 4,667 SF OR 0.1071 AC. @ 39.3%

LOT COVERAGE CALCULATIONS:

- ZONE: R-6
- LOT AREA: 11,872 SF
- MAX. MAIN BUILDING FOOTPRINT = 33% OR 3,918 SF
- MAX. MAIN BUILDING CAP = 2,772 SF
- MAX. LOT COVERAGE = 43% OR 5,105 SF

PROPOSED MAIN BUILDING FOOTPRINT COVERAGE W/ FRONT PORCH:

- PRE MAIN DWELLING = 1,416 SF
- PRE FRONT PORCH = 160 SF
- PRE SCREENED PORCH = 240 SF
- PRE CHIMNEY = 12 SF

TOTAL MAIN BUILDING FOOTPRINT COVERAGE = 1,828 SF (15.4% < 33%)

PROPOSED LOT COVERAGE W/ FRONT PORCH:

- PRE MAIN BUILDING FOOTPRINT = 1,828 SF
- POST POOL & SPA = 762 SF
- POST LANDING & STEPS (> 4' AFG) = 112 SF
- PRE DRIVEWAY = 653 SF

TOTAL LOT COVERAGE = 3,355 SF (28.3% < 43%)

SITE DOES NOT EXCEED COVERAGE ALLOWANCES

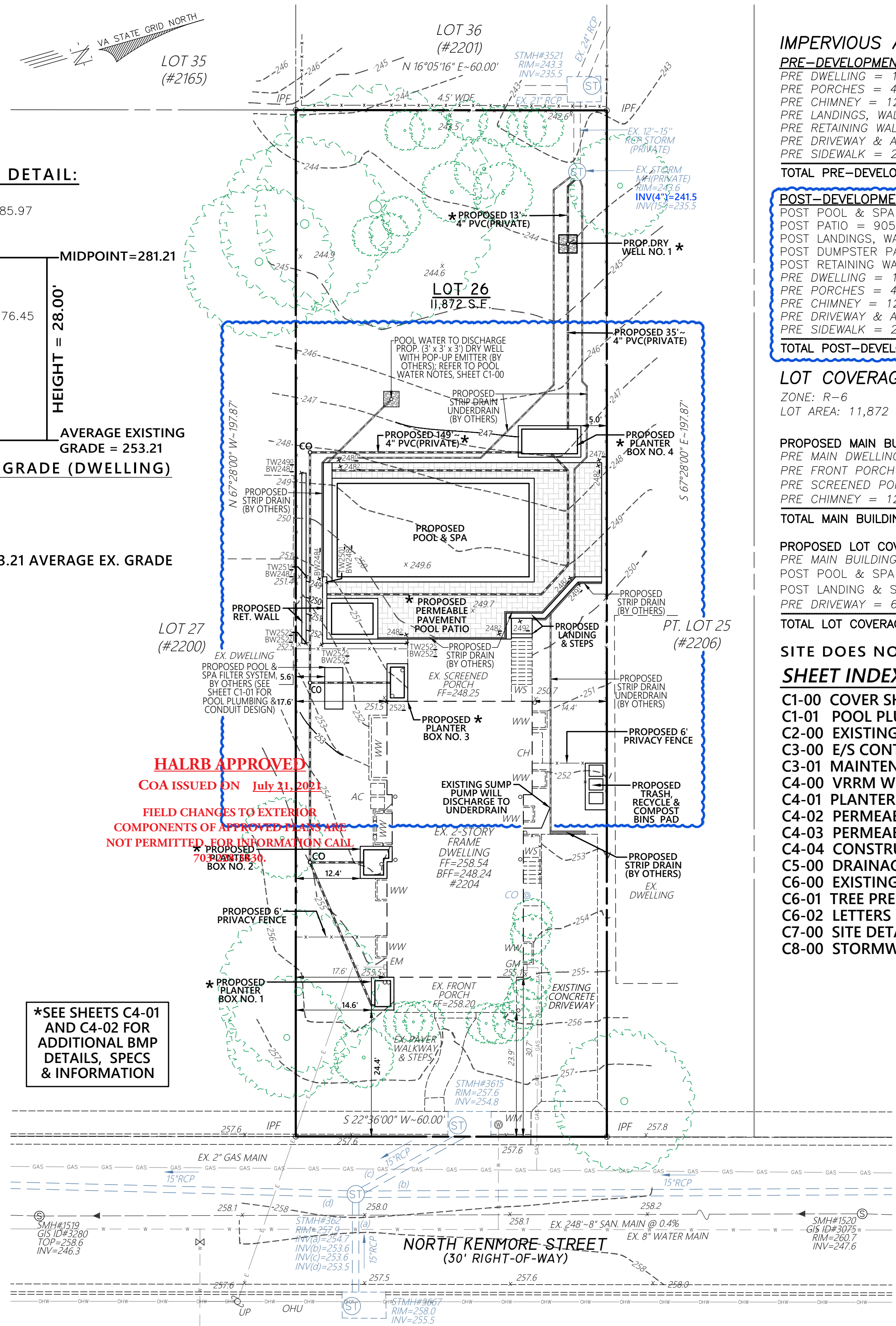
SHEET INDEX

- C1-00 COVER SHEET & GRADING PLAN
- C1-01 POOL PLUMBING & CONDUIT DESIGN (FOR INFORMATION ONLY)
- C2-00 EXISTING CONDITIONS, DEMOLITION & E/S CONTROL PLAN
- C3-00 E/S CONTROL NARRATIVE, INFORMATION AND DETAILS
- C3-01 MAINTENANCE & MONITORING AGREEMENT, E/S CHECKLIST AND NOTES
- C4-00 VRRM WORKSHEETS
- C4-01 PLANTER BOX DESIGN PLAN
- C4-02 PERMEABLE PAVEMENT DESIGN PLAN
- C4-03 PERMEABLE PAVEMENT GEOTECHNICAL REPORT
- C4-04 CONSTRUCTION INSPECTION CHECKLISTS
- C5-00 DRAINAGE DIVIDE MAPS
- C6-00 EXISTING TREE SURVEY PLAN
- C6-01 TREE PRESERVATION PLAN
- C6-02 LETTERS OF CORRESPONDENCE
- C7-00 SITE DETAILS AND INFORMATION
- C8-00 STORMWATER POLLUTION PREVENTION PLAN



COVER SHEET & GRADING PLAN
2204 NORTH KENMORE STREET

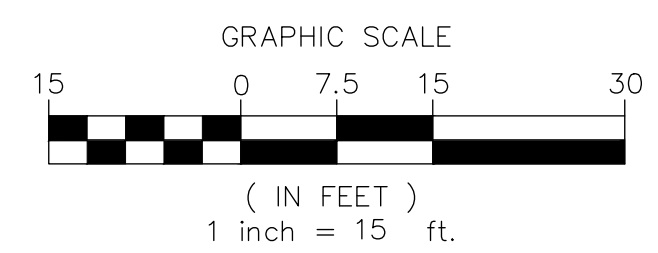
LOT 26
MAYWOOD
ARLINGTON COUNTY, VIRGINIA
MERESTONE LAND SURVEYING PLLC
LAND SURVEYING & G.P.S. SERVICES
1229 GARRISONVILLE ROAD, STE. #104
STAFFORD, VIRGINIA 22556
PHONE: (540)752-9197 FAX: (540)752-9198
PROJECT COORDINATOR: ROGER K. BOHR
EMAIL: ROGER@MERESTONE.NET
CELL PHONE: 540-207-5681

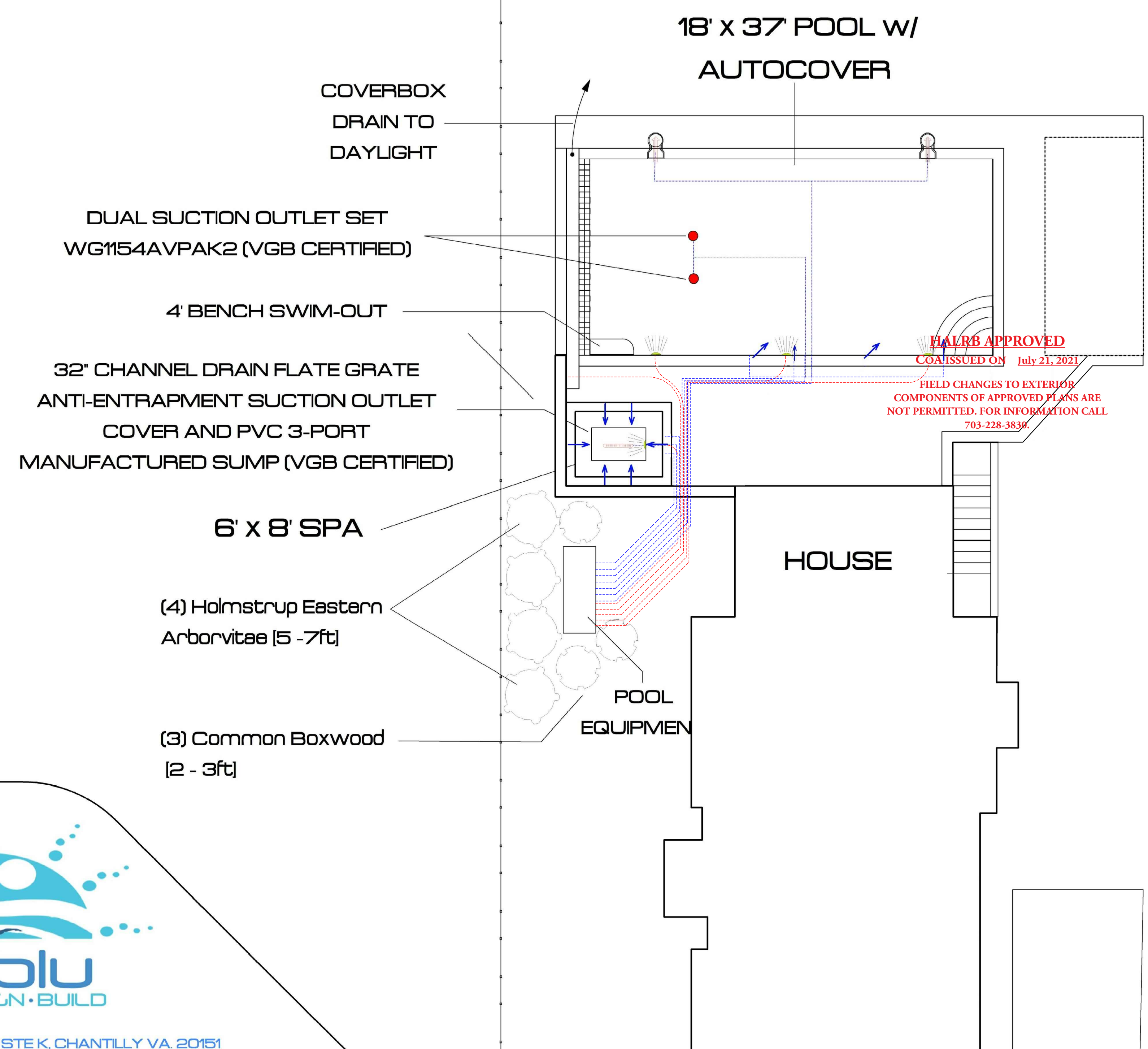
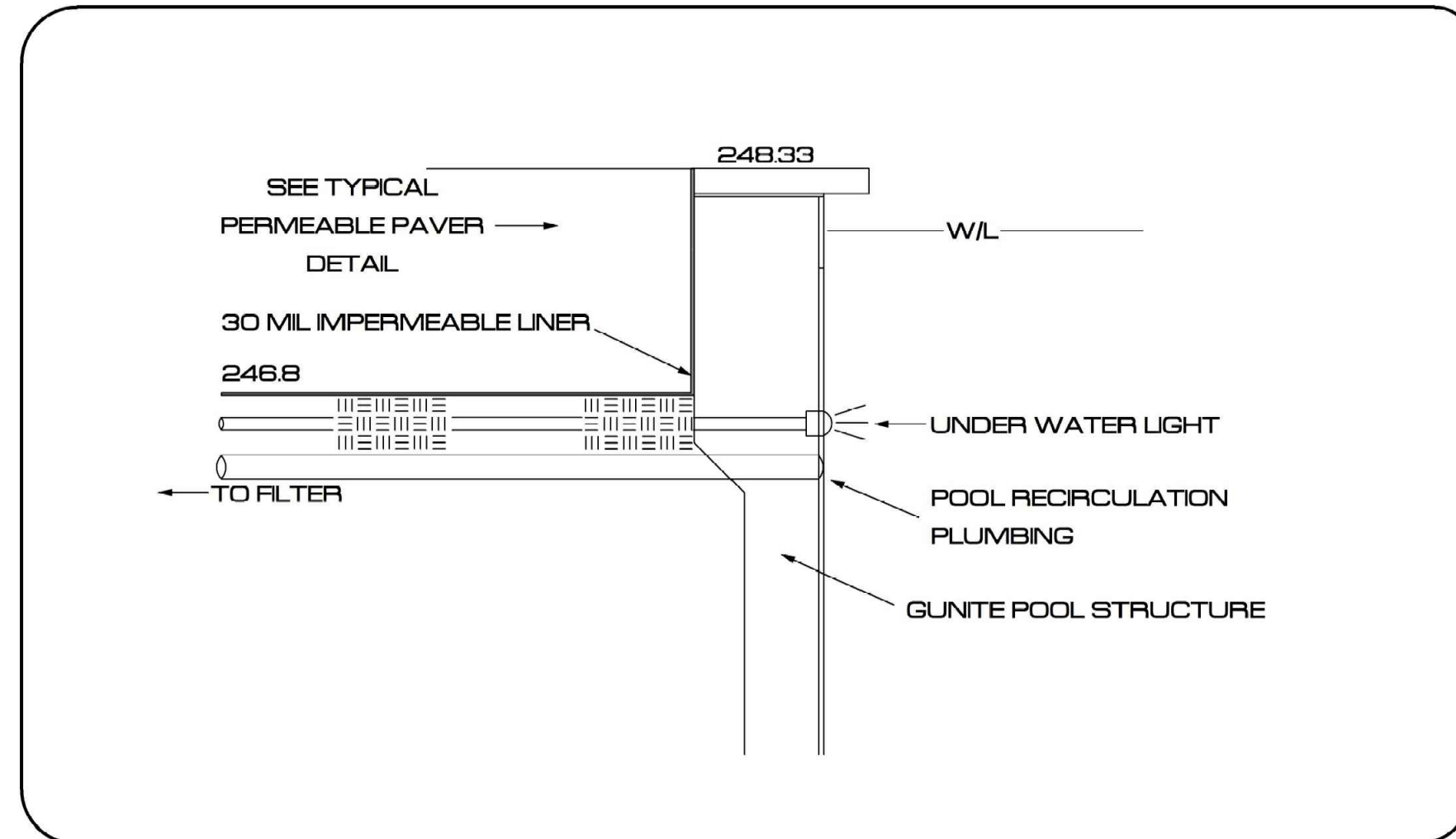


SITE GRADING AND EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 15'

TOTAL DISTURBED AREA = 6,000 SQ. FT. OR 0.1377 AC.





POOL SPECS:

SIZE (W) x (L) 38' RECTANGLE	SQFT: 684 SQFT
DEPTH 3' 6" - 8' 0"	PERIMETER 112 LF
GALLONS 26800	TILE TBD
COPING: PREMIUM BLUESTONE	PLASTER: WET EDGE LUNA QUARTZ
LIGHTS: (3) POOL (1) SPA LED COLOR CHANGING	

PLUMBING & EQUIPMENT:

RETURNS 3	SKIMMERS 2
POOL MAIN DRAINS 2 ANTI-ENTRAPMENT	FILTER JANDY CV CARTRIDGE
POOL PUMP: TBD	SANITIZER JANDY FUSION SOFT SALT
HEATER JANDY JX 400,000 BTU GAS	CONTROLS: AQUALINK WIRELESS
AUTO COVER: YES	ROBOT VAC: POLARIS TR35

UTILITIES:

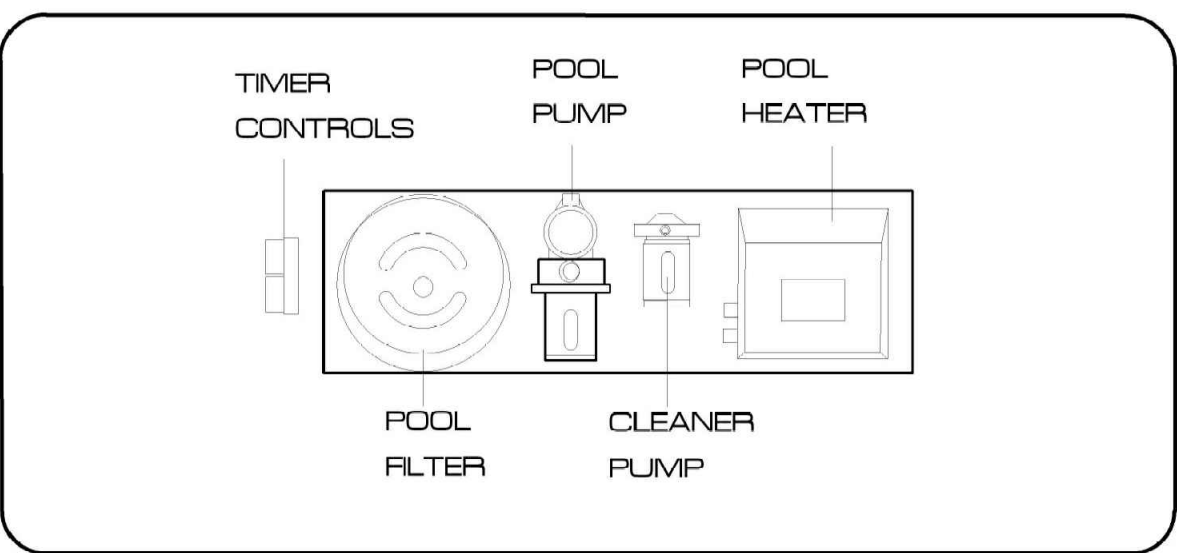
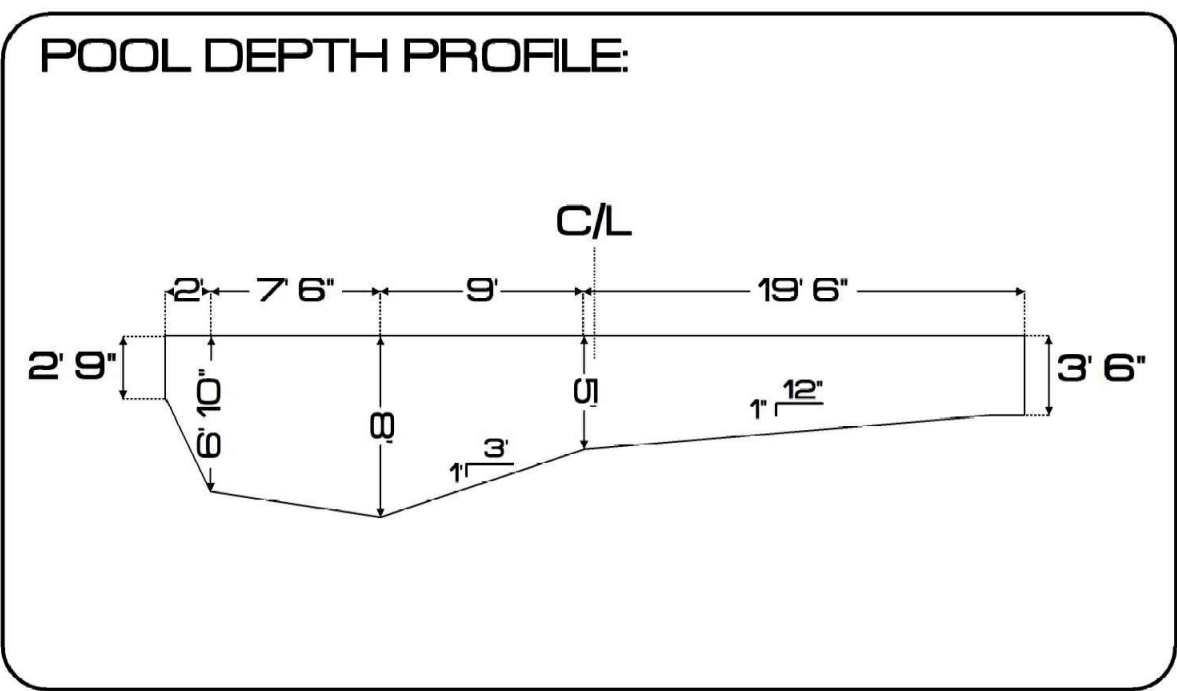
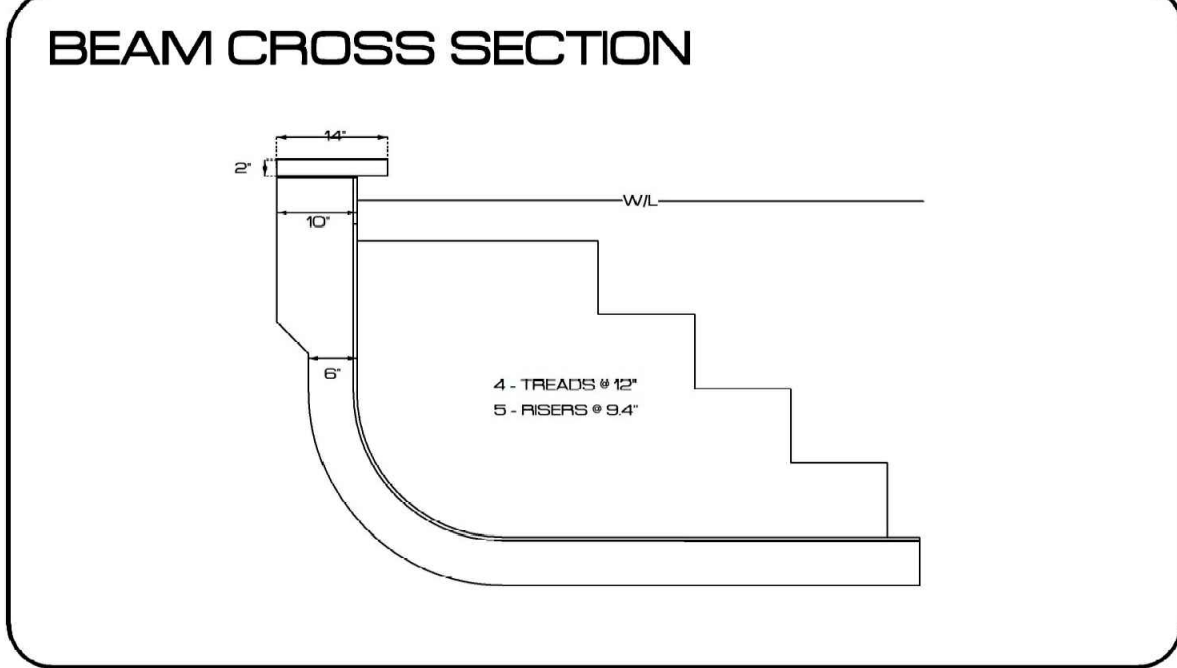
SUB-PANEL: 60 AMPS	ELECTRIC: 500 LF OF WIRING
GAS LINE: 150 LF OF GAS LINE HOOK UP	

SITWORK & HARDSCAPES:

DIRT HAUL: N/A	DECKING & DRAINS BY OTHERS
CALLKING BY OTHERS	GRADING BY OTHERS

POOL COVERS:

AUTO COVER: YES	WINTER COVER: YES
-----------------	-------------------



SCALE
NTS

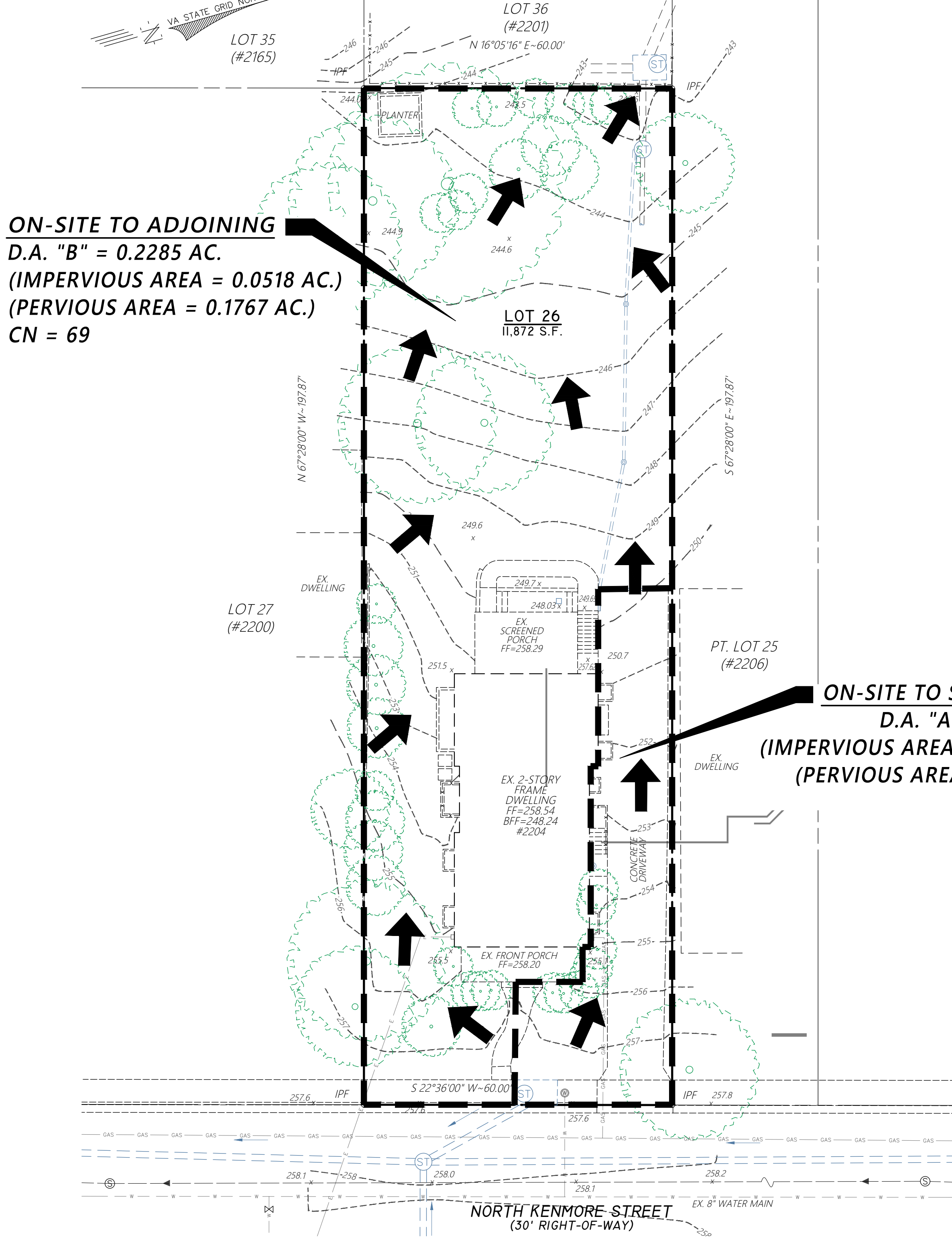
GREENE RESIDENCE:
2204 North Kenmore St. Arlington, VA 22101



PROPOSED POOL PLUMBING & CONDUIT DESIGN (FOR INFORMATION ONLY)

PRE-DEVELOPMENT DRAINAGE MAP

SCALE: 1" = 15'



ON-SITE TO ADJOINING
 D.A. "B" = 0.2285 AC.
 (IMPERVIOUS AREA = 0.0518 AC.)
 (PERVIOUS AREA = 0.1767 AC.)
 CN = 69

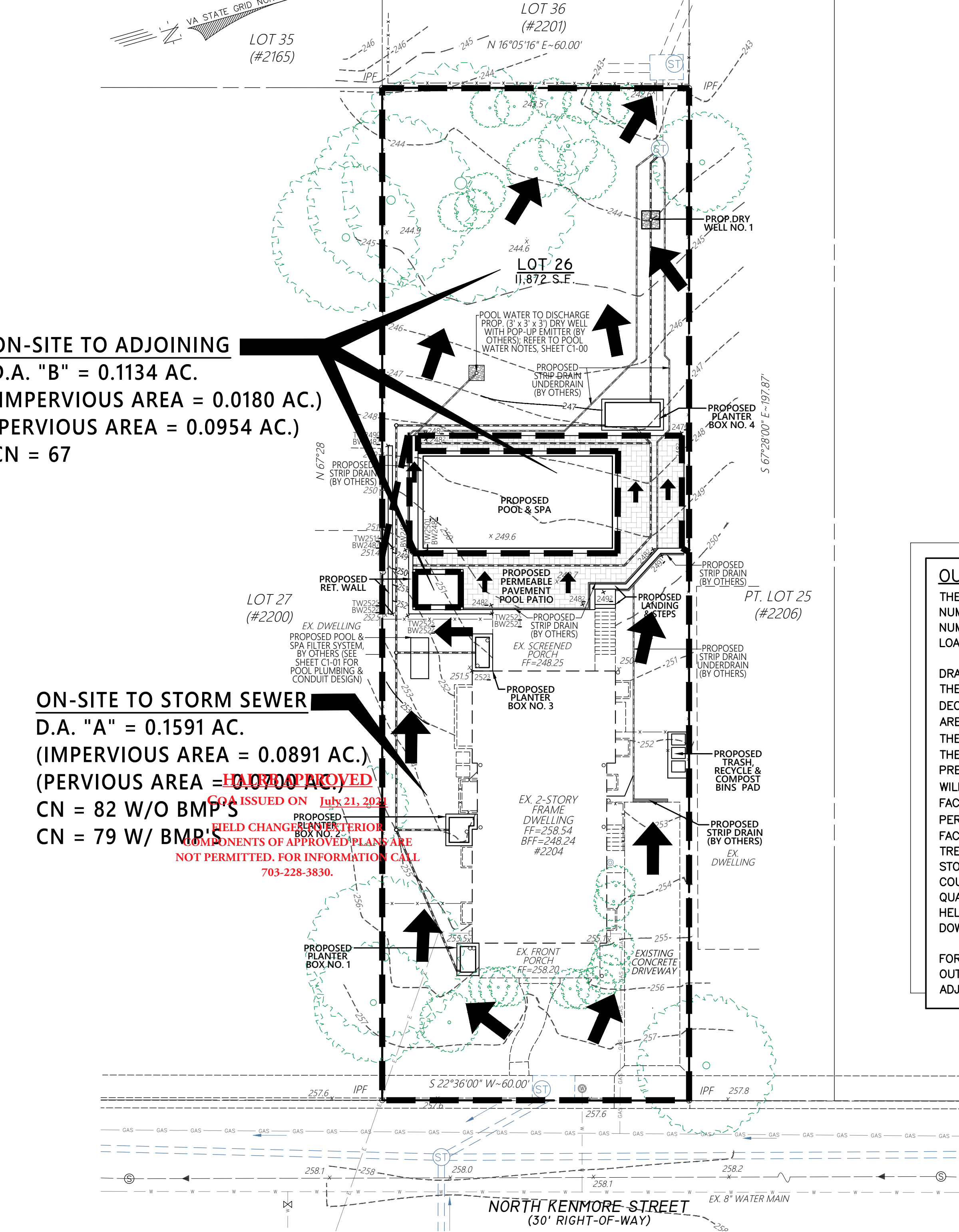
ON-SITE TO STORM SEWER
 D.A. "A" = 0.0440 AC.
 (IMPERVIOUS AREA = 0.0329 AC.)
 (PERVIOUS AREA = 0.0111 AC.)
 CN = 89

PRE-DEVELOPMENT RUNOFF VOLUME & CURVE NUMBER CALCULATIONS

		1-year storm	2-year storm	10-year storm		
		2.61	3.16	4.85		
Drainage Area Curve Numbers and Runoff Depths* Curve numbers (CN, CNadj) and runoff depths (RV Developed) are computed with and without reduction practices.						
Drainage Area A		A Soils	B Soils	C Soils	D Soils	Total Area (acres): 0.0440
Forest/Open Space - undisturbed, protected forest/open space or reforested land	Area (acres)	0.0000	0.0000	0.0000	0.0000	Runoff Reduction Volume (ft ³): 0.0000
	CN	30	55	70	77	
Managed Turf - disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.0000	0.0111	0.0000	0.0000	
	CN	39	61	74	80	
Impervious Cover	Area (acres)	0.0000	0.0329	0.0000	0.0000	
	CN	98	98	98	98	
					CN(D.A.A)	
					89	
RV_{Developed} (watershed-inch) with no Runoff Reduction*		1.5513	2.0451	3.6285		
RV_{Developed} (watershed-inch) with Runoff Reduction*		1.5513	2.0451	3.6285		
Adjusted CN*		89	89	89		
Drainage Area B		A Soils	B Soils	C Soils	D Soils	Total Area (acres): 0.2285
Forest/Open Space - undisturbed, protected forest/open space or reforested land	Area (acres)	0.0000	0.0000	0.0000	0.0000	Runoff Reduction Volume (ft ³): 0.0000
	CN	30	55	70	77	
Managed Turf - disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.0000	0.1767	0.0000	0.0000	
	CN	39	61	74	80	
Impervious Cover	Area (acres)	0.0000	0.0518	0.0000	0.0000	
	CN	98	98	98	98	
					CN(D.A.B)	
					69	
RV_{Developed} (watershed-inch) with no Runoff Reduction*		0.4721	0.7572	1.8491		
RV_{Developed} (watershed-inch) with Runoff Reduction*		0.4721	0.7572	1.8491		
Adjusted CN*		69	69	69		

POST-DEVELOPMENT DRAINAGE MAP

SCALE: 1" = 15'



ON-SITE TO ADJOINING
 D.A. "B" = 0.1134 AC.
 (IMPERVIOUS AREA = 0.0180 AC.)
 (PERVIOUS AREA = 0.0954 AC.)
 CN = 67

ON-SITE TO STORM SEWER
 D.A. "A" = 0.1591 AC.
 (IMPERVIOUS AREA = 0.0891 AC.)
 (PERVIOUS AREA = 0.0700 AC.)
 CN = 82 W/O BMP'S
 CN = 79 W/ BMP'S

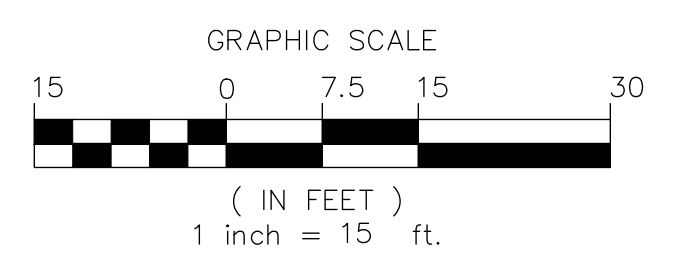
POST-DEVELOPMENT RUNOFF VOLUME & CURVE NUMBER CALCULATIONS

		1-year storm	2-year storm	10-year storm		
		2.61	3.16	4.85		
Drainage Area Curve Numbers and Runoff Depths* Curve numbers (CN, CNadj) and runoff depths (RV Developed) are computed with and without reduction practices.						
Drainage Area A		A Soils	B Soils	C Soils	D Soils	Total Area (acres): 0.1591
Forest/Open Space - undisturbed, protected forest/open space or reforested land	Area (acres)	0.0000	0.0000	0.0000	0.0000	Runoff Reduction Volume (ft ³): 106.8322
	CN	30	55	70	77	
Managed Turf - disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.0000	0.0700	0.0000	0.0000	
	CN	39	61	74	80	
Impervious Cover	Area (acres)	0.0000	0.0891	0.0000	0.0000	
	CN	98	98	98	98	
					CN(D.A.A)	
					82	
RV_{Developed} (watershed-inch) with no Runoff Reduction*		1.0795	1.5060	2.9453		
RV_{Developed} (watershed-inch) with Runoff Reduction*		0.8945	1.3210	2.7603		
Adjusted CN*		79	79	80		
Drainage Area B		A Soils	B Soils	C Soils	D Soils	Total Area (acres): 0.1134
Forest/Open Space - undisturbed, protected forest/open space or reforested land	Area (acres)	0.0000	0.0000	0.0000	0.0000	Runoff Reduction Volume (ft ³): 0.0000
	CN	30	55	70	77	
Managed Turf - disturbed, graded for yards or other turf to be mowed/managed	Area (acres)	0.0000	0.0954	0.0000	0.0000	
	CN	39	61	74	80	
Impervious Cover	Area (acres)	0.0000	0.0180	0.0000	0.0000	
	CN	98	98	98	98	
					CN(D.A.B)	
					67	
RV_{Developed} (watershed-inch) with no Runoff Reduction*		0.4031	0.6662	1.6993		
RV_{Developed} (watershed-inch) with Runoff Reduction*		0.4031	0.6662	1.6993		
Adjusted CN*		67	67	67		

OUTFALL DRAINAGE NARRATIVE:
 THE POST-DEVELOPMENT OVERALL NET RESULT SLIGHTLY INCREASES IN CURVE NUMBER; PRE-DEVELOPED CURVE NUMBER IS 73 & POST-DEVELOPED CURVE NUMBER IS 74 WITH THE ASSOCIATED REDUCTION IN VOLUME AND POLLUTANT LOAD.

DRAINAGE AREA "A" ENTERS THE COUNTY PUBLIC STORM SEWER SYSTEM, WITH THE ASSOCIATED REDUCTION IN VOLUME AND POLLUTANT LOAD THERE IS AN DECREASE IN CURVE NUMBER FROM 89 (PRE) TO 79 (POST). DRAINAGE AREA "B" SHEETFLOWS TOWARDS THE ADJACENT NEIGHBORING PROPERTIES. THERE IS A DECREASE IN CURVE NUMBER FROM 69 (PRE) TO 67 (POST). THE POST-DEVELOPED DRAINAGE PATTERNS WILL BE SIMILAR TO THE PRE-DEVELOPED CONDITIONS, EXCEPT THAT 70% OF EXISTING ROOF RUNOFF WILL BE CAPTURED AND TREATED BY THREE (3) URBAN-BIORETENTION FACILITIES. THE PROPOSED POOL PATIO WILL BE TREATED BY A LEVEL I PERMEABLE PAVEMENT SYSTEM. ALL THREE (3) URBAN-BIORETENTION FACILITIES AND THE PERMEABLE PAVEMENT SYSTEM WILL BE DOUBLED TREATED, THE REMAINING RUNOFF WILL BE ROUTED TO THE COUNTY PUBLIC STORM SEWER SYSTEM. ALL OTHER UNTREATED RUNOFF WILL ENTER THE COUNTY PUBLIC STORM SEWER SYSTEM BEFORE EXITING THE SITE. WATER QUALITY IS PROVIDED BY THE REDUCTION OF ON-SITE IMPERVIOUS AREAS, HELPING MINIMIZE OPPORTUNITY FOR CONCENTRATED FLOW TOWARDS DOWNGRADING NEIGHBORING LOTS.

FOR THE ABOVE STATED REASONS, IT IS MY PROFESSIONAL OPINION THAT THE OUTFALL DRAINAGE IS ADEQUATE AND DOES NOT HAVE ADVERSE IMPACTS ON ADJACENT AND DOWNSTREAM PARCELS.



DRAINAGE DIVIDE MAPS
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