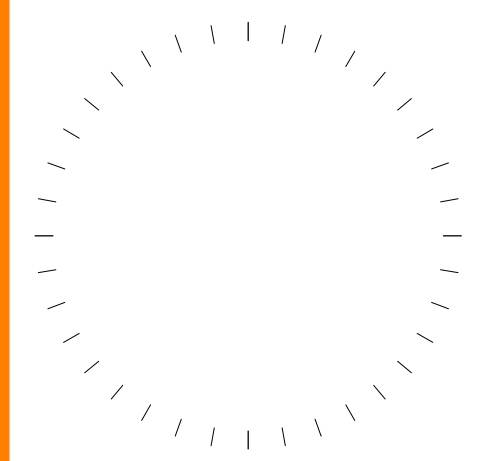


# UCKERT RESIDENCE

3421 21st AVE N  
ARLINGTON, VA 22207



#	DESCRIPTION	DATE

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PROJECT NAME AND ADDRESS  
**UCKERT RESIDENCE**  
3421 21st AVE N  
ARLINGTON, VA 22207

OWNER  
**COLIN UCKERT**

SHEET TITLE  
**COVER & SHEET INDEX**

SHEET NUMBER  
**G001**

12/21/21  
HALRB REVIEW SET

## SHEET LIST

<b>GENERAL</b>	A700 PERSPECTIVES
G001 COVER & SHEET INDEX	A800 WINDOW FLASHING
G002 GENERAL NOTES & SYMBOLS	A801 DOOR FLASHING
G003 PROJECT SPECIFICATIONS	A802 ZIP SYSTEM TYPICAL DETAILS
G004 PROJECT SPECIFICATIONS	A900 SCHEDULES
G010 PROJECT ASSEMBLIES	A901 FINISH SCHEDULE
<b>ARCHITECTURE</b>	D001 DEMOLITION PLAN
A120 ARCHITECTURAL SITE PLAN	<b>STRUCTURAL</b>
A200 BASEMENT FLOOR PLAN	S2.2 GARAGE PLANS
A201 FLOOR 1 PLAN	S4.1 TYPICAL TJI FLOOR INSTALLATION DETAILS
A202 FLOOR 2 PLAN	S4.2 TYPICAL ROOF TJI FRAMING INSTALLATION DETAILS
A204 ROOF PLAN	S5.0 FRAMING DETAILS AND FORMS
A401 ELEVATIONS	S5.1 DECK DETAILS
A402 ELEVATIONS	
A500 BUILDING SECTIONS AND DETAILS	
A501 BUILDING SECTIONS AND DETAILS	
A502 CARRIAGE HOUSE & ELEVATIONS	
A510 WALL SECTIONS	
A600 INTERIOR ELEVATIONS	
A610 TYP UNIT DETAILS	

## CODE SUMMARY

**APPLICABLE CODES**

- 2015 VIRGINIA RESIDENTIAL CODE (IRC)

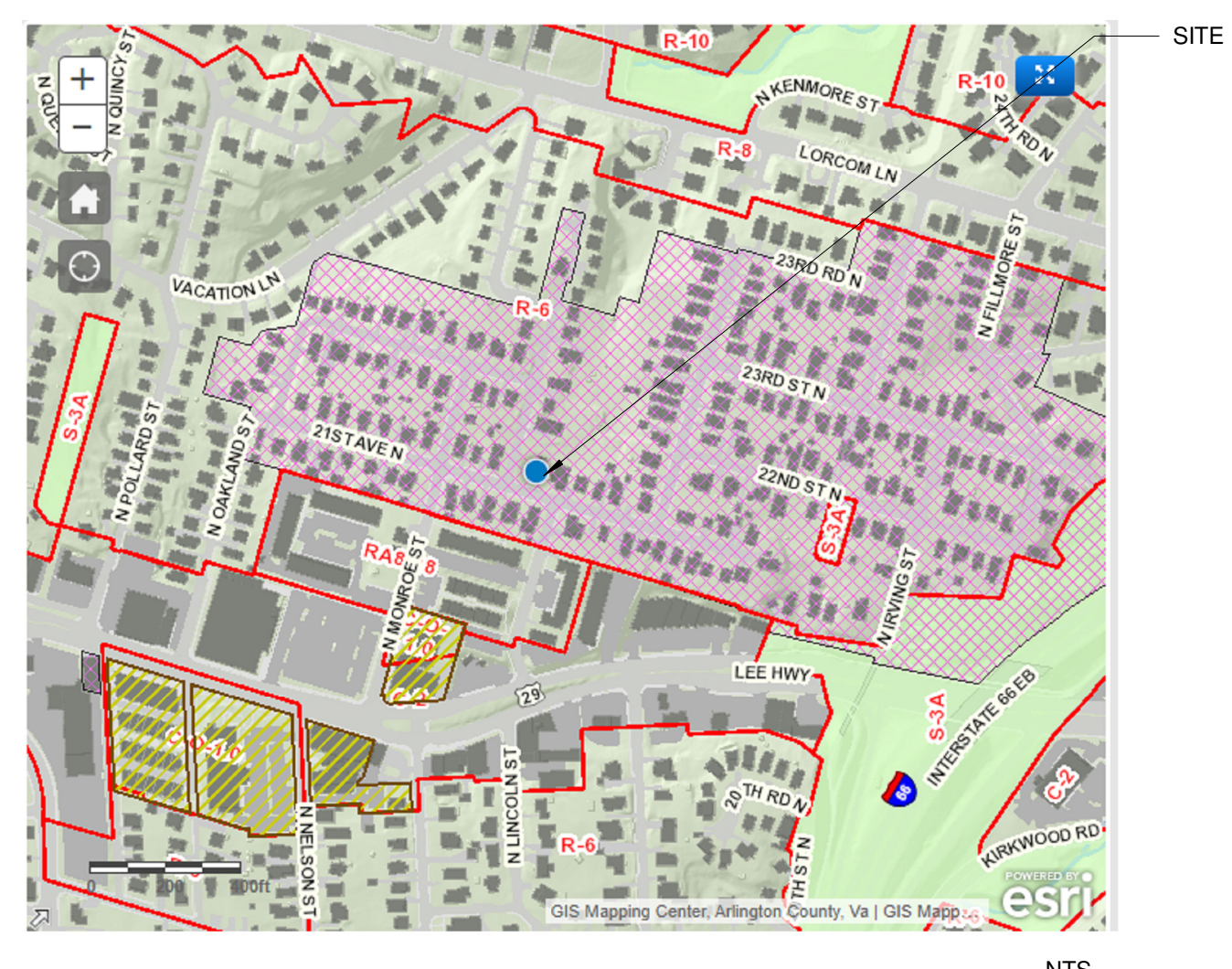
**OCCUPANCY GROUP:** R-5  
**FIRE PROTECTION:** NON-SPRINKLERED  
**CONSTRUCTION TYPE:** TYPE VB

**ZONING INFORMATION**  
ZONING GROUP: R-6  
LOT SIZE: 9,552 SF  
LOT COVERAGE ALLOWED 45% WITH FRONT PORCH AND DETACHED GARAGE

**ENVELOPE REQUIREMENTS**  
ENERGY CONSERVATION CODE: THE PROJECT WILL FOLLOW THE PRESCRIPTIVE METHOD OF THE 2015 VECC WITH MINIMUM R-VALUES AND MAXIMUM U-FACTORS

<b>R-VALUE</b>	<b>U-FACTOR (MAXIMUM)</b>
EXTERIOR WOOD WALLS: R10ci	R6ci+R23
BASEMENT WALLS: R19	R19
FLOORS: R49	R49
CEILINGS/ROOFS: 0.35 (SHGC 0.40)	0.35 (SHGC 0.40)
WINDOWS/DOORS:	

## VICINITY MAP



PROJECT SUMMARY	ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	CIVIL ENGINEER	OWNER
THIS PROJECT CONSISTS OF THE ADDITION AND RENOVATION OF AN EXISTING HISTORIC HOME LOCATED IN THE HISTORIC DISTRICT OF MAYWOOD ARLINGTON. THE EXISTING HOME IS TO REMAIN AND REMOVE A LATE 1980s ADDITION ALONG WITH AN INTERIOR REMODEL. THE REAR OF THE HOUSE WILL AT A 1.5 STORY ADDITION WITH A CELLAR. A SEPARATE SITE PLAN WILL BE SUBMITTED BY A CIVIL ENGINEER	LEE DESIGN STUDIOS, LLC 6818 JACKSON AVE FALLS CHURCH, VA 22042  404.375.0733 MATT@LEEDESIGN.STUDIO	SPLINTERWORKS LLC 510 CARDINAL LANE WARRENTON, VA 20186  757.348.3776 SPLINTERWORKSVA@GMAIL.COM		HUSKA CONSULTING LLC 718 7TH STREET, NW WASHINGTON, DC 20001  703.425.3862 CHUSKA@HUSKACONSULTING.COM	COLIN UCKERT 3421 21ST AVE NORTH  202.255.6356 COLINUCKERT@GMAIL.COM

### MATERIAL FILL PATTERNS

	BRICK		ROUGH LUMBER OR BLOCKING (CONTINUOUS)
	CMU		ROUGH LUMBER OR BLOCKING (DISCONTINUOUS)
	CONCRETE		WOOD FINISH
	METAL		PLYWOOD
	EARTH		BATT INSULATION
	MORTAR, GROUT, SAND		RIGID INSULATION
	GYPSUM BOARD		SPRAY FOAM INSULATION

### GENERAL NOTES

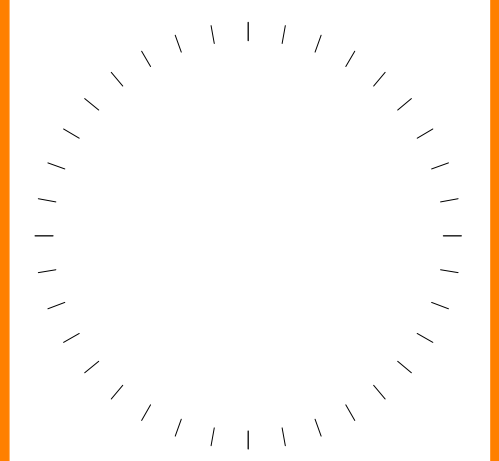
- Contractor shall verify all dimensions in the field and notify the Architect and Owner promptly of any discrepancy between the Contract Documents and actual field conditions. All conflicts and discrepancies shall be brought to the attention of the architect. The contractor shall not proceed with related work until the conflict is resolved.
- The Contract drawings are diagrammatic and do not indicate all components and accessories required for the complete installation. The contractor shall provide such items to complete the entire system and place in proper operation in accordance with the applicable codes, industry standards, and equipment manufactures' recommendations.
- Structural components shall not be cut, drilled, or modified in any way without the review and approval of the architect or structural engineer.
- Drawings are an instrument of service and are not allowed to be reproduced without expressed permission of the Architect
- All dimensions are to face of stud U.N.O.
- All doors are assumed to be placed on the center within the length of wall or 4" offset from framing U.N.O.
- All interior walls are assumed to be type **0W4A** U.N.O.

### ABBREVIATIONS

<b>A</b>	@ ACT ADJ ADJACENT AFF ABOVE FINISHED FLOOR ALUM ALUMINUM ALT ALTERNATE	<b>AT</b> ACOUSTICAL CEILING TILES GEN. GENERAL GL GLASS GWB GYPSUM WALL BOARD GYP BD GYPSUM BOARD	<b>G</b>	GA GAUGE GALV. GALVANIZED GEN. GENERAL GL GLASS GWB GYPSUM WALL BOARD GYP BD GYPSUM BOARD	<b>Q</b>	Q.T. QUARRY TILE
<b>B</b>	BARR. BARRIERS BLDG BLDG BLK/BLKG BLOCKING BIT. BITUMINOUS BM BEAM BOT BOTTOM B.U. BUILT-UP	<b>BARR.</b> BARRIERS BLDG BLDG BLK/BLKG BLOCKING BIT. BITUMINOUS BM BEAM BOT BOTTOM B.U. BUILT-UP	<b>H</b>	HM HOLLOW METAL HB HOSE BIB HC HANDICAPPED HORIZ. HORIZONTAL H.P. HIGH POINT HR HOUR HT HEIGHT	<b>R</b>	R RISER R.A. RETURN AIR RAD. RADIUS RCP REFLECTED CEILING PLAN R.D. ROOF DRAIN REF REFERENCE REFRIGERATOR REINF. REINFORCING RM ROOM R.O. ROUGH OPENING ROD. REQUIRED
<b>C</b>	C CHANNEL CAB CABINET CIP CAST-IN-PLACE CL CENTERLINE CLG CEILING CMU CONCRETE MASONRY UNITS COL. COLUMN CONC. CONCRETE CONST. CONSTRUCTION C.J. CONTROL JOINT CONT. CONTINUOUS CORR. CORRIDOR CPT CARPET CT CERAMIC TILE	<b>CHANN.</b> CHANNEL CABINETS CIP CAST-IN-PLACE CL CENTERLINE CLG CEILING CMU CONCRETE MASONRY UNITS COL. COLUMN CONC. CONCRETE CONST. CONSTRUCTION C.J. CONTROL JOINT CONT. CONTINUOUS CORR. CORRIDOR CPT CARPET CT CERAMIC TILE	<b>I</b>	INSUL. INSULATION INT. INTERIOR	<b>S</b>	SCHED. SCHEDULE SECT. SECTION SHT SHEET SIM SIMILAR S.P. STANDPIPE SPCS. SPECIFICATIONS SQ. SQUARE SS STAINLESS STEEL STL STEEL ST./STOR/ STORAGE STRUCT. STRUCTURAL SUSP. SUSPENDED SW STORM WATER
<b>D</b>	Ø, D DIAMETER D. DEEP DET. DETAIL DIA. DIAMETER DISP. DISPENSER DIM. DIMENSION DN DOWN D.S. DOWNSPOUT DTLS. DETAILS DWGS DRAWINGS	<b>Ø, D</b> DIAMETER D. DEEP DET. DETAIL DIA. DIAMETER DISP. DISPENSER DIM. DIMENSION DN DOWN D.S. DOWNSPOUT DTLS. DETAILS DWGS DRAWINGS	<b>J</b>	JH JAMES HARDIE J.O. JAMB OPENING JT JOINT	<b>T</b>	T TREAD TEL. TELEPHONE TH THRESHOLD THK. THICKNESS T.O. TOP OF T&B TOP AND BOTTOM T&G TONGUE AND GROOVE TS TRANSITION STRIP TYP TYPICAL
<b>E</b>	EA EACH E.F. EXHAUST FAN ELEC. ELECTRICAL ELEV. ELEVATOR EL. ELEVATION EQ. EQUAL EQUIP. EQUIPMENT EXIST. EXISTING EXP. EXPOSED EXP. JT. EXPANSION JOINT. EXT. EXTERIOR	<b>EACH</b> EXHAUST FAN ELEC. ELECTRICAL ELEV. ELEVATOR EL. ELEVATION EQ. EQUAL EQUIP. EQUIPMENT EXIST. EXISTING EXP. EXPOSED EXP. JT. EXPANSION JOINT. EXT. EXTERIOR	<b>K</b>	KIT. KITCHEN	<b>U</b>	U.L. UNDERWRITER'S LABORATORY U.N.O. UNLESS NOTED OTHERWISE
<b>F</b>	F.D. FLOOR DRAIN FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FEC02 FIRE EXTINGUISHER CARBON DIOXIDE FHC FIRE HOSE CABINET FIN. FINISHED FIXT. FIXTURE FL. FLOOR FOS FACE OF STUD FP FIREPROOFING FTG FOOTING FURR. FURRING	<b>FLOOR DRAIN</b> FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIRE EXTINGUISHER CARBON DIOXIDE FIRE HOSE CABINET FINISHED FIXTURE FLOOR FACE OF STUD FIREPROOFING FOOTING FURRING	<b>L</b>	LAM. LAMINATE LAV. LAVATORY L.F. LINEAR FEET L.P. LOW POINT	<b>V</b>	VCT VINYL COMPOSITION TILE V.B. VAPOR BARRIER VERT. VERTICAL VEST. VESTIBULE V.R. VAPOR RETARDER
			<b>M</b>	M. MEN'S TOILET MACH. MACHINE MAINT. MAINTENANCE MAS. MASONRY MANF. MANUFACTURER MAX. MAXIMUM MECH. MECHANICAL M.H. MANHOLE MIN. MINIMUM M.R. MOISTURE RESISTANT M.O. MASONRY OPENING MISC. MISCELLANEOUS MTG MOUNTING MTL METAL MULL. MULLION	<b>W</b>	W. WOMEN'S TOILET WD WOOD W/ WITH WO WITHOUT W.C. WATER CLOSET WRB WEATHER RESISTIVE BARRIER WWF WELDED WIRE FABRIC WWM WELDED WIRE MESH
			<b>N</b>	N.I.C. NOT IN CONTRACT NO. NUMBER NOM. NOMINAL NTS NOT TO SCALE		
			<b>O</b>	O.C. ON CENTER O.D. OUTSIDE DIAMETER OPER. OPERATING OPG. OPENING OPP. OPPOSITE		
			<b>P</b>	PART. PARTITION PASS. PASSAGE PERIM. PERIMETER PL PLATE, PROPERTY LINE PLAS. PLASTER PLAM PLASTIC LAMINATE POLY. POLYETHYLENE PREFAB. PREFABRICATED PREP. PREPARATION P.T. PRESSURE TREATED PTD PAINTED		

### SYMBOL LEGEND

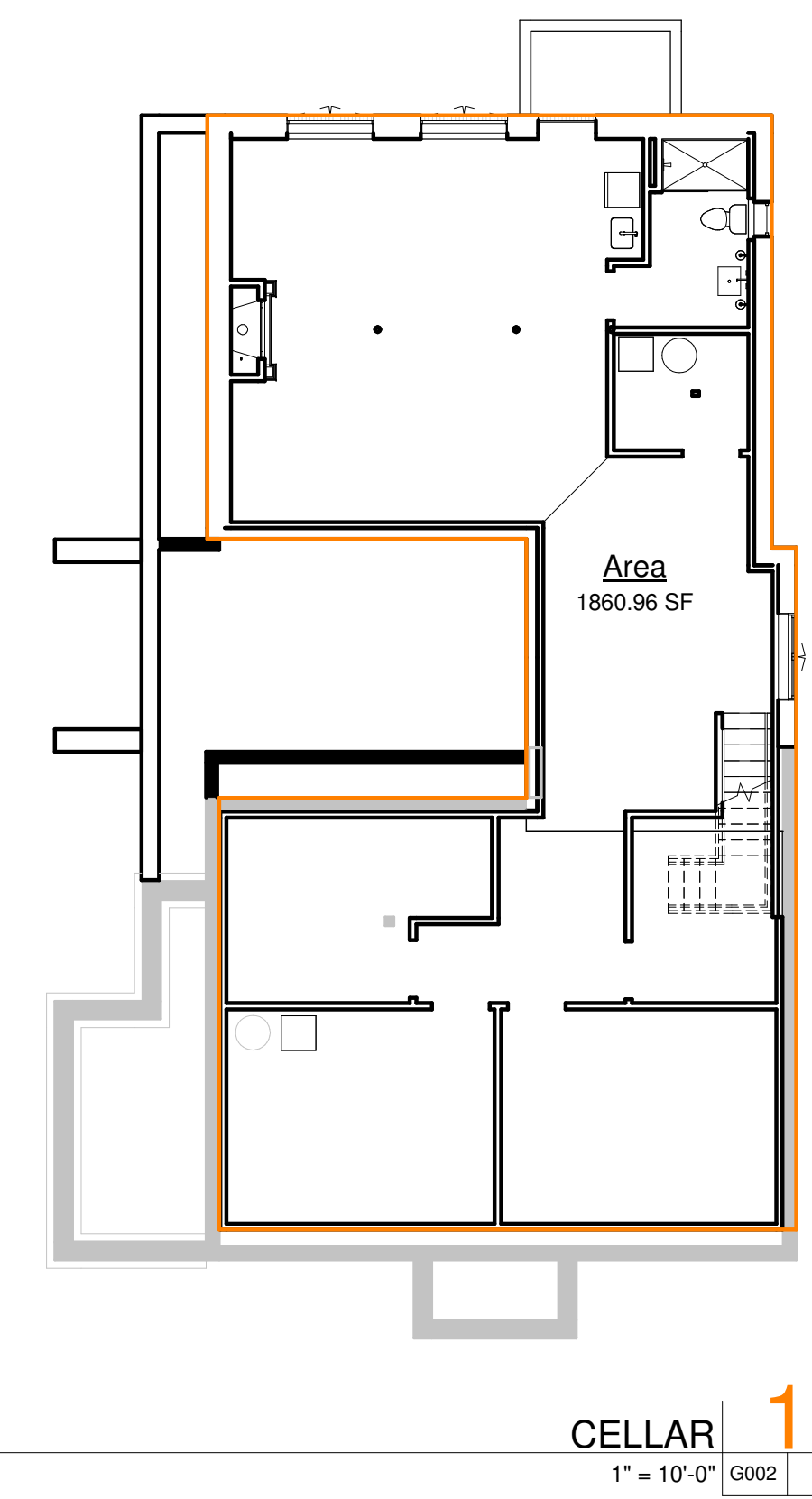
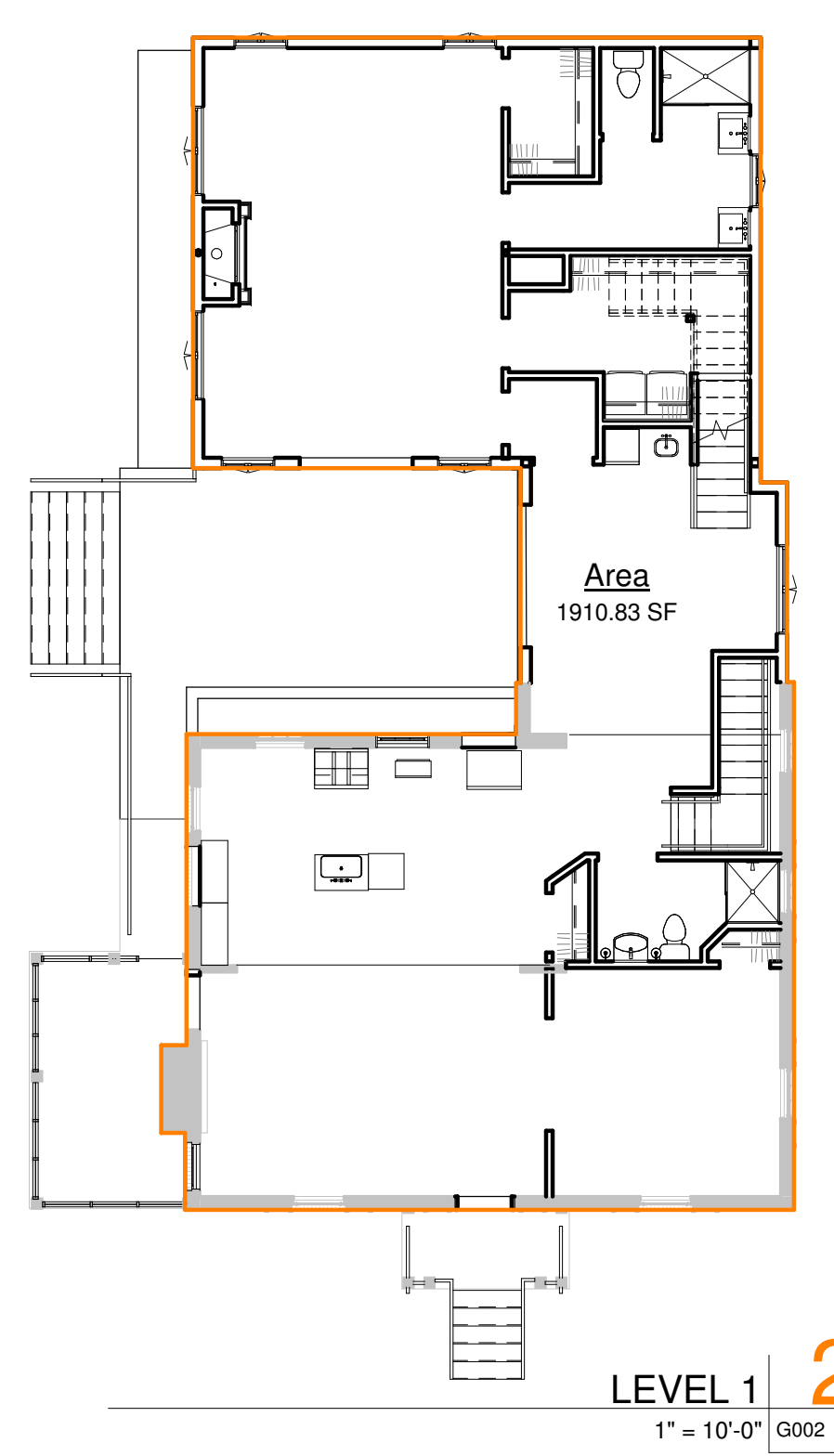
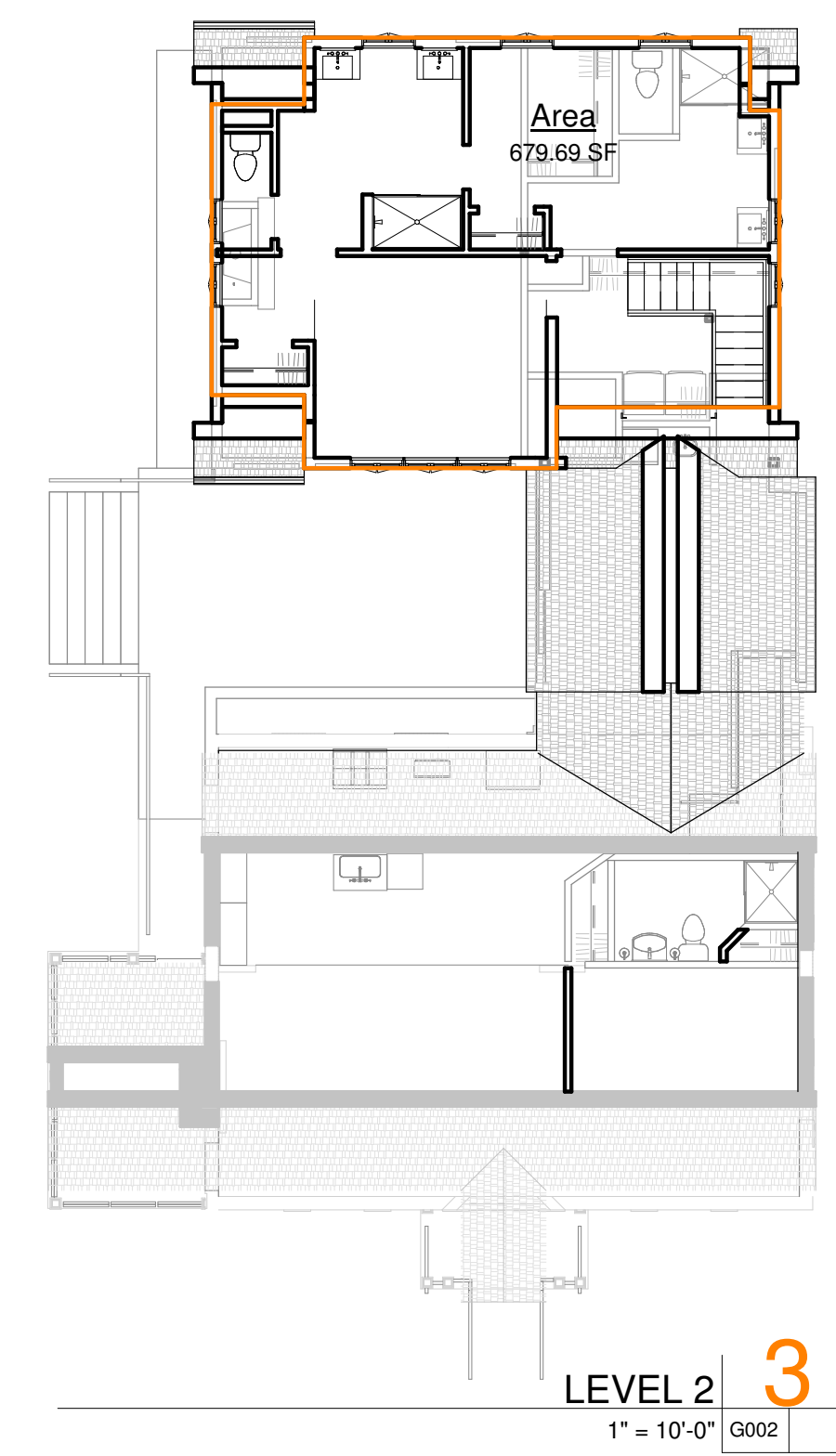
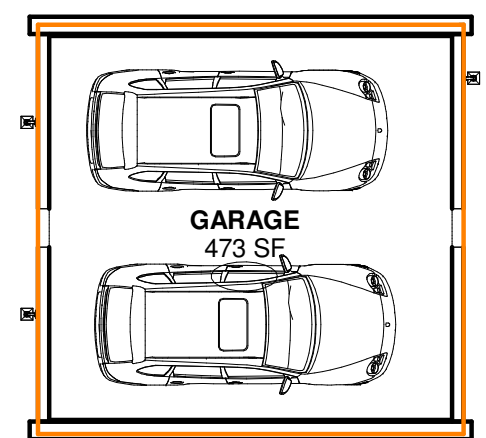
	SECTION MARKER
	CUTS CONSTRUCTION
	SECTION IDENTIFICATION
	SHEET WHERE SECTION APPEARS
	DETAIL MARKER
	DETAIL
	DETAIL IDENTIFICATION
	SHEET WHERE DETAIL APPEARS
	ELEVATION MARKER
	SHEET WHERE ELEVATION APPEARS
	ELEVATION IDENTIFICATION
	ROOM MARKER
	ROOM NAME
	ROOM NUMBER
	DOOR MARKER
	DOOR NUMBER/OPENING MARK
	WINDOW, STOREFRONT, LOUWER MARKER
	WINDOW/STOREFRONT/LOUWER MARK
	PARTITION MARKER
	PARTITION TYPE
	HEIGHT, ELEVATION MARKER
	HEIGHT/ELEVATION
	REVISION MARKER
	AREA OF REVISION
	REVISION IDENTIFICATION
	BUILDING LINE
	BUILDING LINE IDENTIFICATION
	DEMENSION STRING
	INTERIOR CLEAR DIMENSION - FACE OF FINISH TO FACE OF FINISH
	FRAMING DIMENSION - FACE OF STUD TO FACE OF STUD
	FRAMING DIMENSION - FACE OF STUD TO CENTERLINE OF ELEMENT



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GROSS BUILDING AREA		
Level	Name	Area
CELLAR	Area	1860.96 SF
LEVEL 1	Area	1910.83 SF
LEVEL 1	GARAGE	472.89 SF
LEVEL 2	Area	679.69 SF
		4924.37 SF



PROJECT NAME AND ADDRESS  
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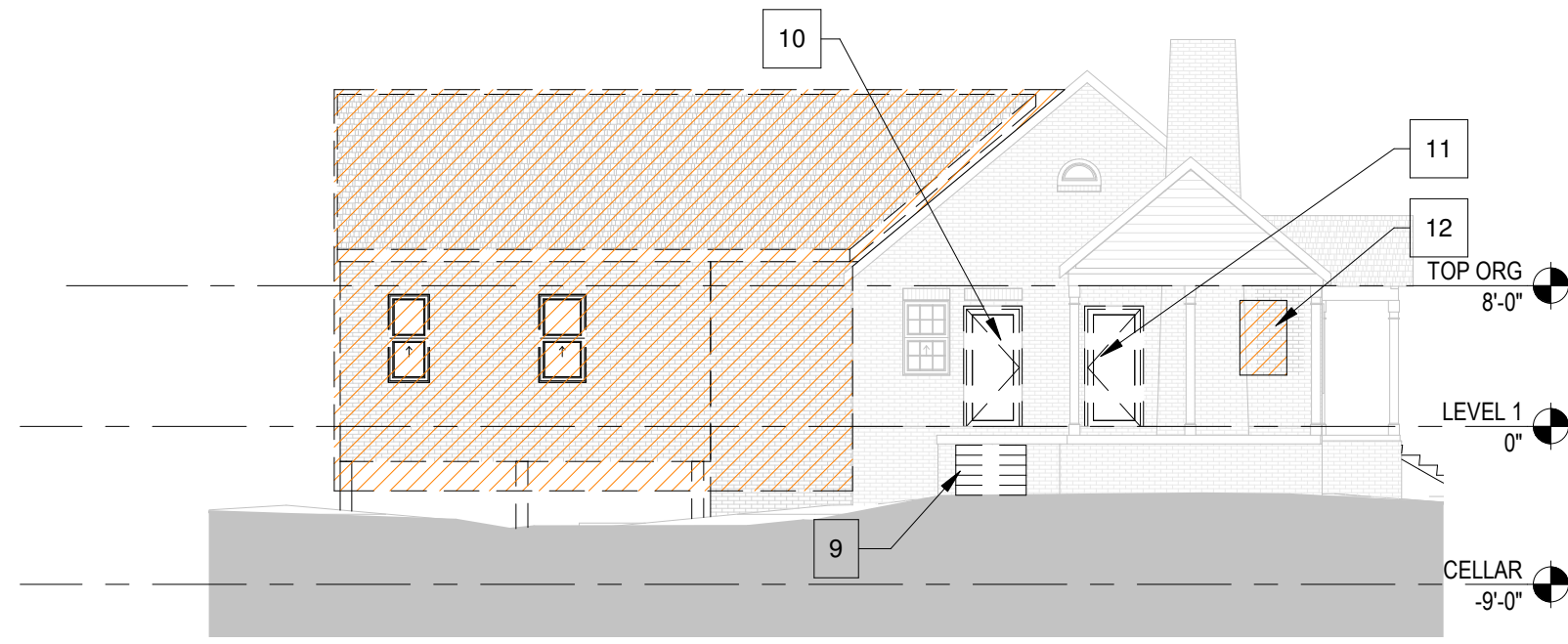
OWNER  
**COLIN UCKERT**

SHEET TITLE  
**GENERAL NOTES & SYMBOLS**

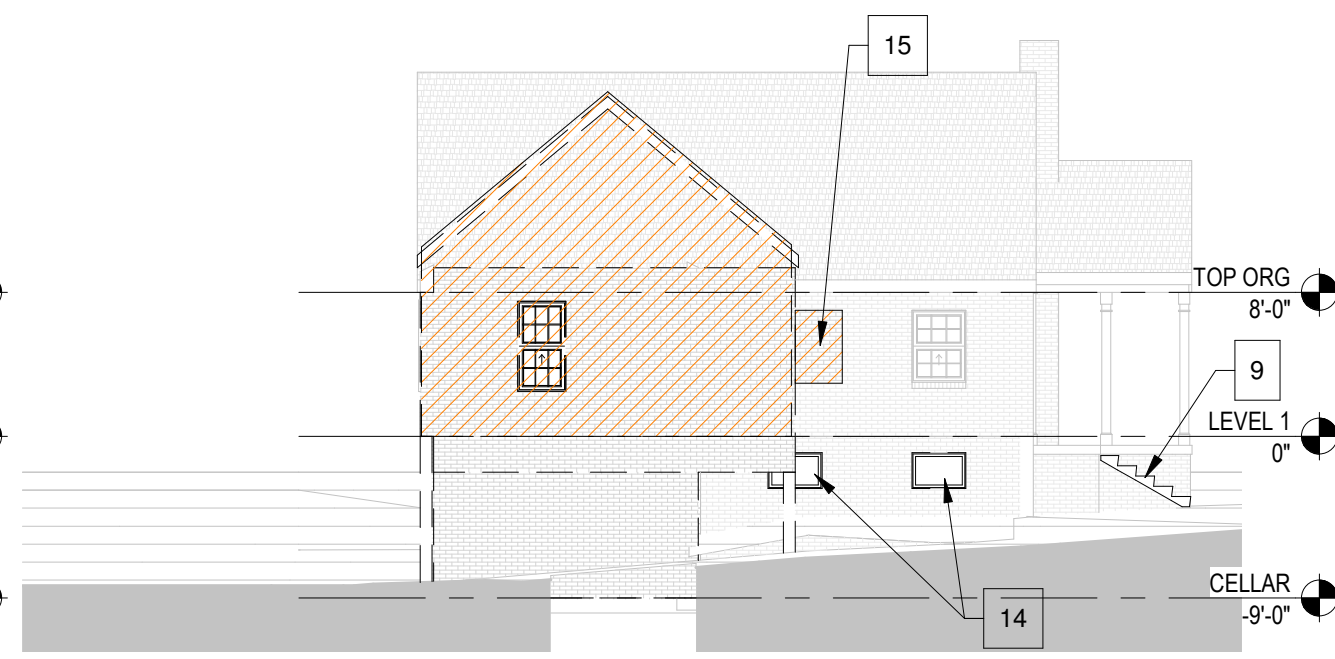
SHEET NUMBER

**G002**

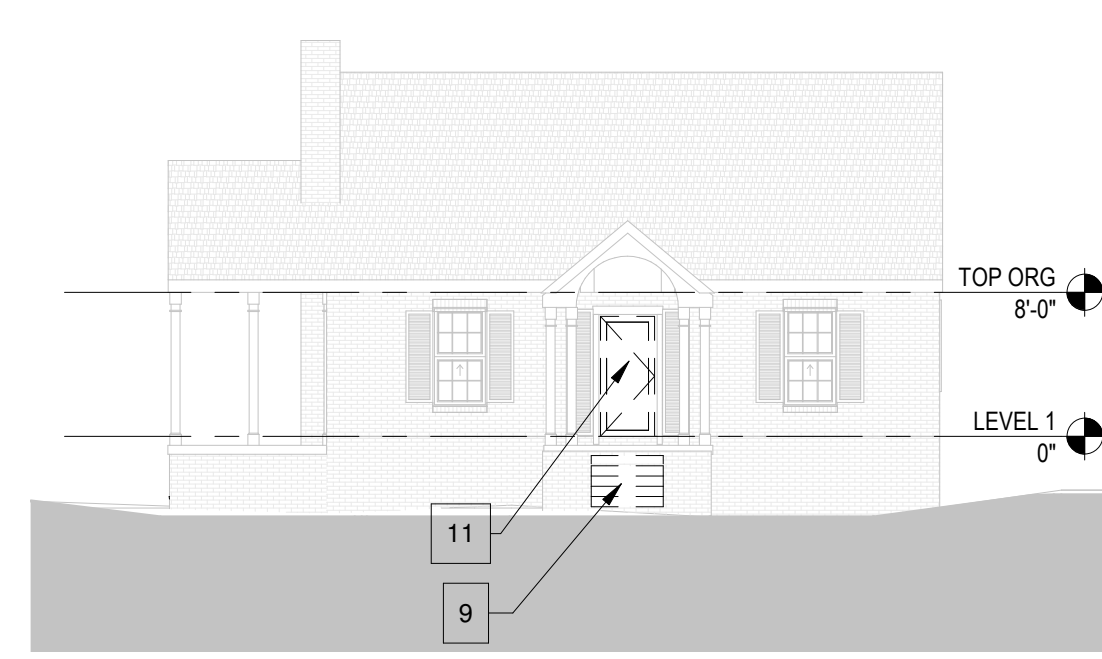
12/21/21  
HALRB REVIEW SET



DEMO - WEST ELEVATION **4**  
3/32" = 1'-0" D001



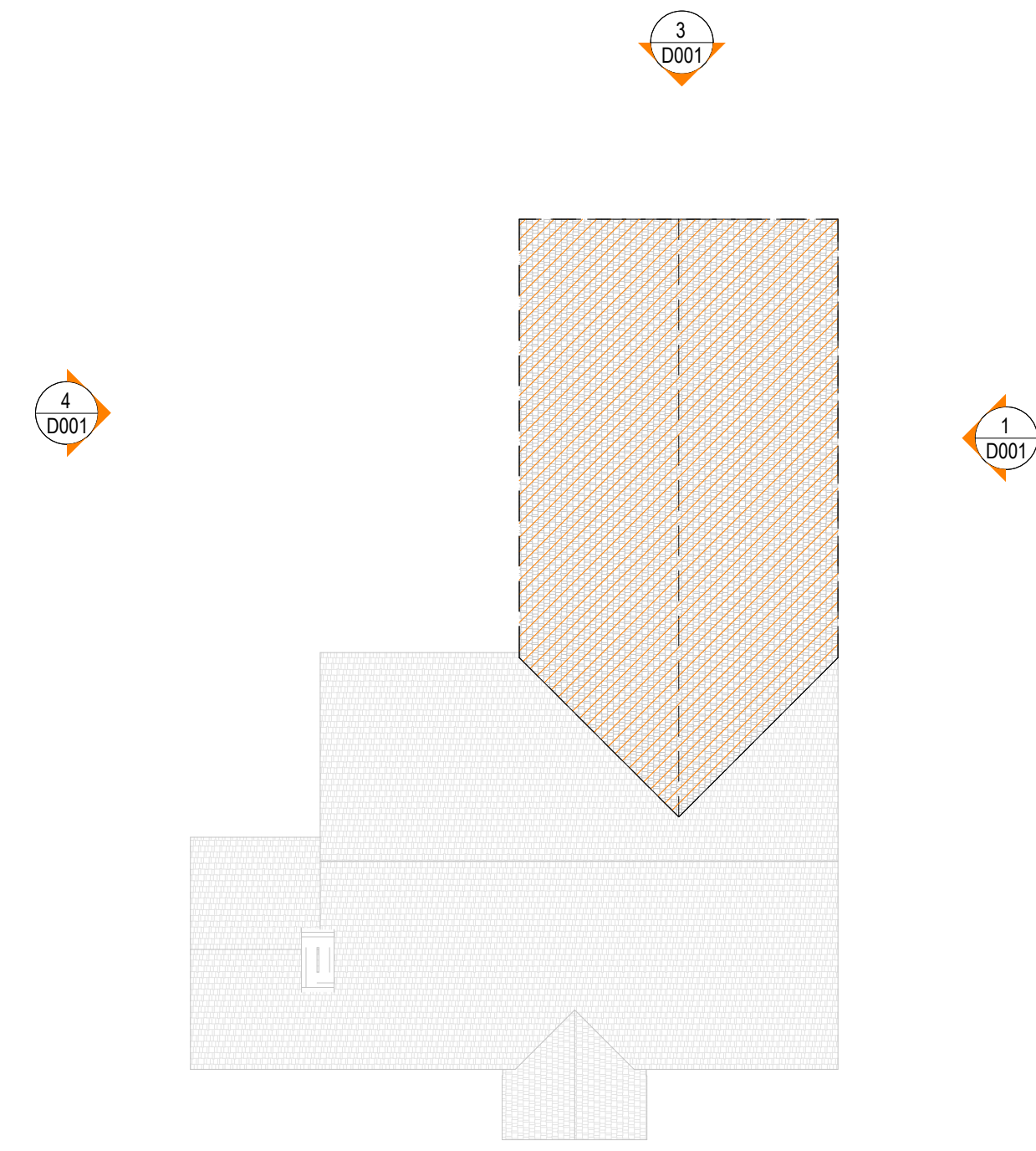
DEMO - REAR ELEVATION **3**  
3/32" = 1'-0" D001



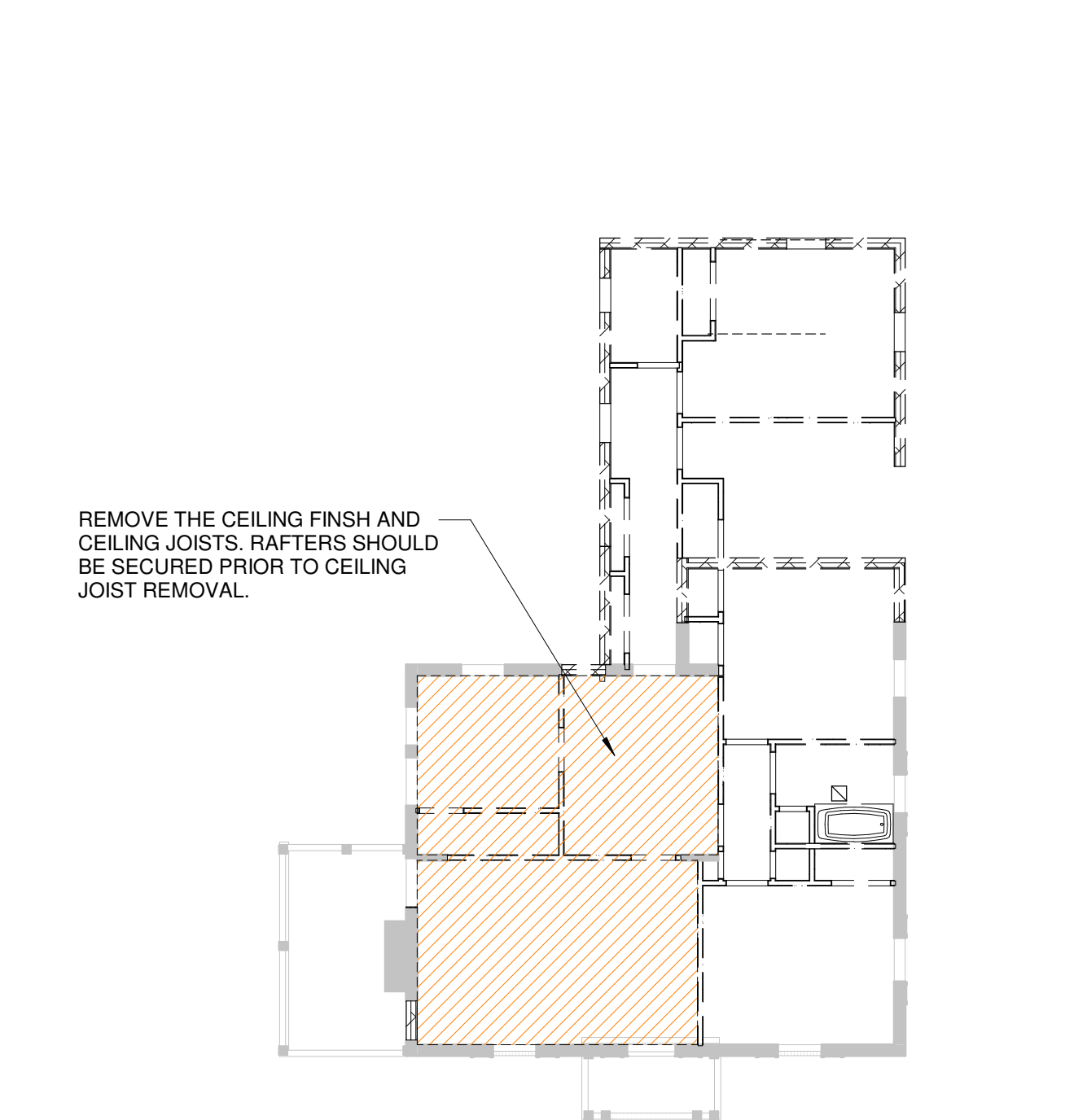
DEMO - FRONT ELEVATION **2**  
3/32" = 1'-0" D001



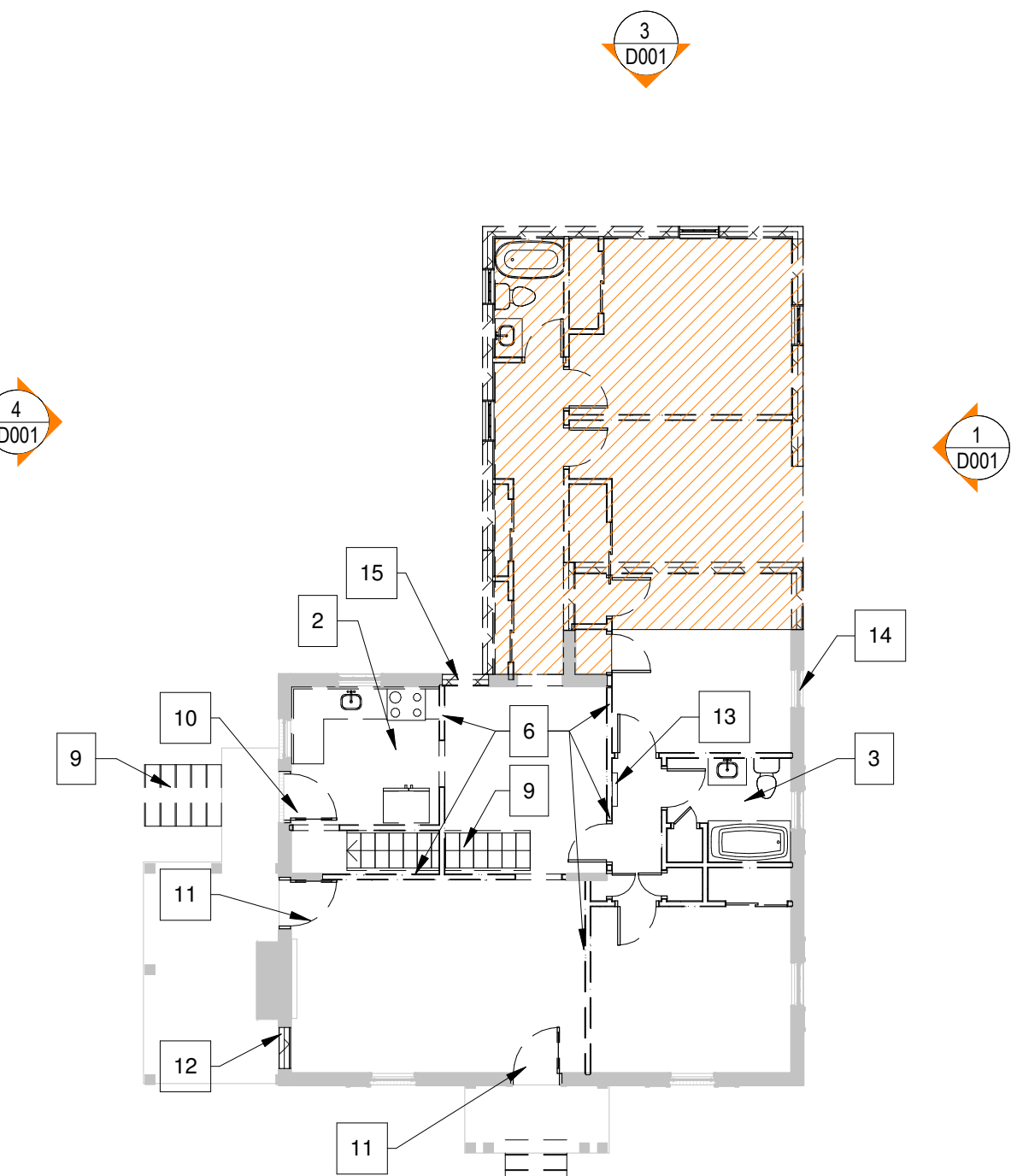
DEMO - EAST ELEVATION **1**  
3/32" = 1'-0" D001



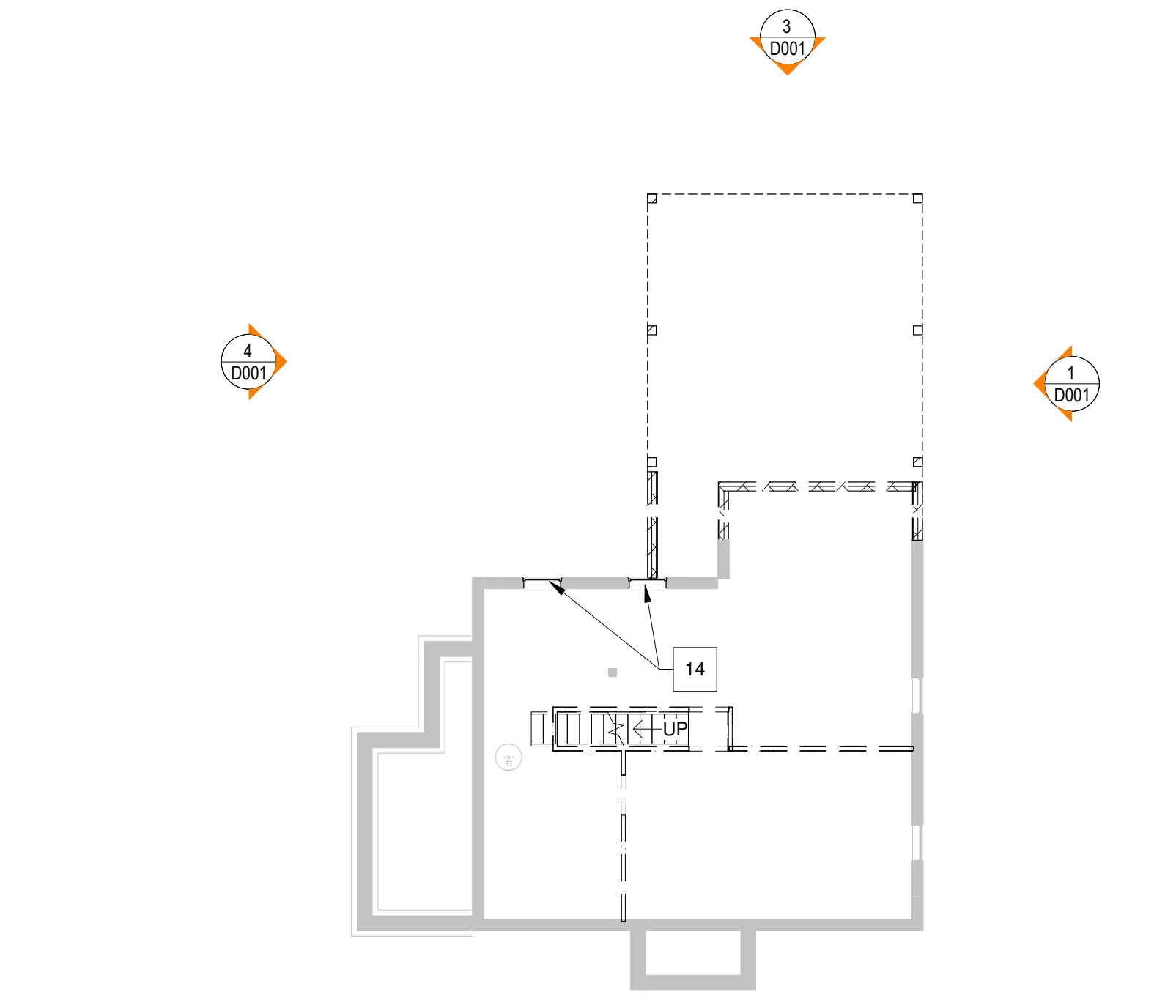
DEMO - ROOF **8**  
3/32" = 1'-0" D001



LEVEL 1 RCP **7**  
3/32" = 1'-0" D001



DEMO - LEVEL 1 **6**  
3/32" = 1'-0" D001



DEMO - CELLAR **5**  
3/32" = 1'-0" D001

**DEMO GENERAL NOTES**


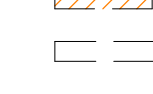
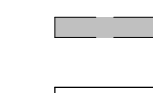


- DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE CONTRACTORS SCOPE OF WORK IN A DIAGRAMMATIC MANNER.
- EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
- SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
- EXHIBITING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO REMOVE FOR FINAL DISPOSAL OR ENCLOSURE.
- ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE REUSED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
- ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTORS EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.

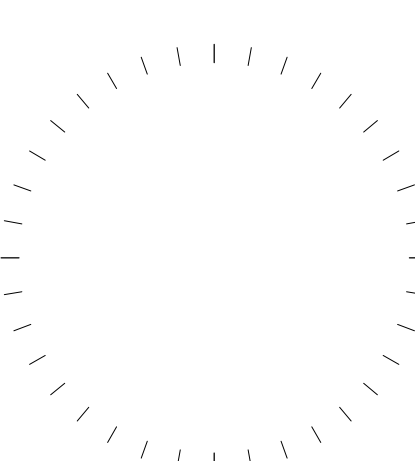
**DEMO KEYNOTES**

KEYNOTES ARE GENERAL IN NATURE AND ONLY APPLICABLE IF CALLED OUT IN PLANS

- |   |  |   |
|---|--|---|
| 1. REMOVE EXISTING LOAD BEARING WALL - SEE STRUCTURAL FRAMING PLANS FOR BEAM INFO. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY BRACING REQUIREMENTS | 6. DEMO EXISTING WALL FOR A COMPLETE REMOVAL                 | 12. REMOVE OLD INFILLED BRICK & PREPARE OPENING FOR NEW WINDOW. NEW WINDOW TO BE SIMILAR IN SIZE AND STYLE TO EXISTING WINDOW AT THIS ELEVATION |
| 2. DEMO EXISTING KITCHEN - ALL ALL APPLIANCES, FIXTURES, FINISHES, AND CABINETS TO BE REMOVED   | 7. DEMO EXISTING RADIATOR AND CAP PIPES                      | 13. SAFELY REMOVE PHONE NICHE AND STORE FOR REINSTALLATION  |
| 3. COMPLETE DEMO OF EXISTING BATHROOM   | 8. SAFELY REMOVE DOOR AND STORE FOR REINSTALLATION           | 14. REMOVE WINDOW & INFILL WALL TO MATCH ADJACENT CONSTRUCTION  |
| 4. REMOVE EXISTING DOOR/WINDOW AND FRAME - INFILL WITH FRAMING AND FINISH PER SCHEDULE  | 9. DEMO EXISTING STAIRS                                      | 15. REMOVE PORTION OF WALL FOR NEW WINDOW. INSTALL NEW LINTEL.  |
| 5. DEMO EXISTING FINISH FLOORING  | 10. REMOVE DOOR & INFILL WALL TO MATCH ADJACENT CONSTRUCTION |   |
|   | 11. REMOVE DOOR & PREPARE OPENING FOR NEW DOOR               |   |

**DEMO LEGEND**

-  DEMOLISH FLOORS AND ROOF
-  DEMOLISH EXISTING WALL
-  CUT WALL DOWN TO 42"
-  EXISTING WALL TO REMAIN
-  DEMO DOOR



#	DESCRIPTION	DATE

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PROJECT NAME AND ADDRESS  
**UCKERT RESIDENCE**  
3421 21st AVE N  
ARLINGTON, VA 22207

OWNER  
**COLIN UCKERT**

SHEET TITLE  
**DEMOLITION PLAN**

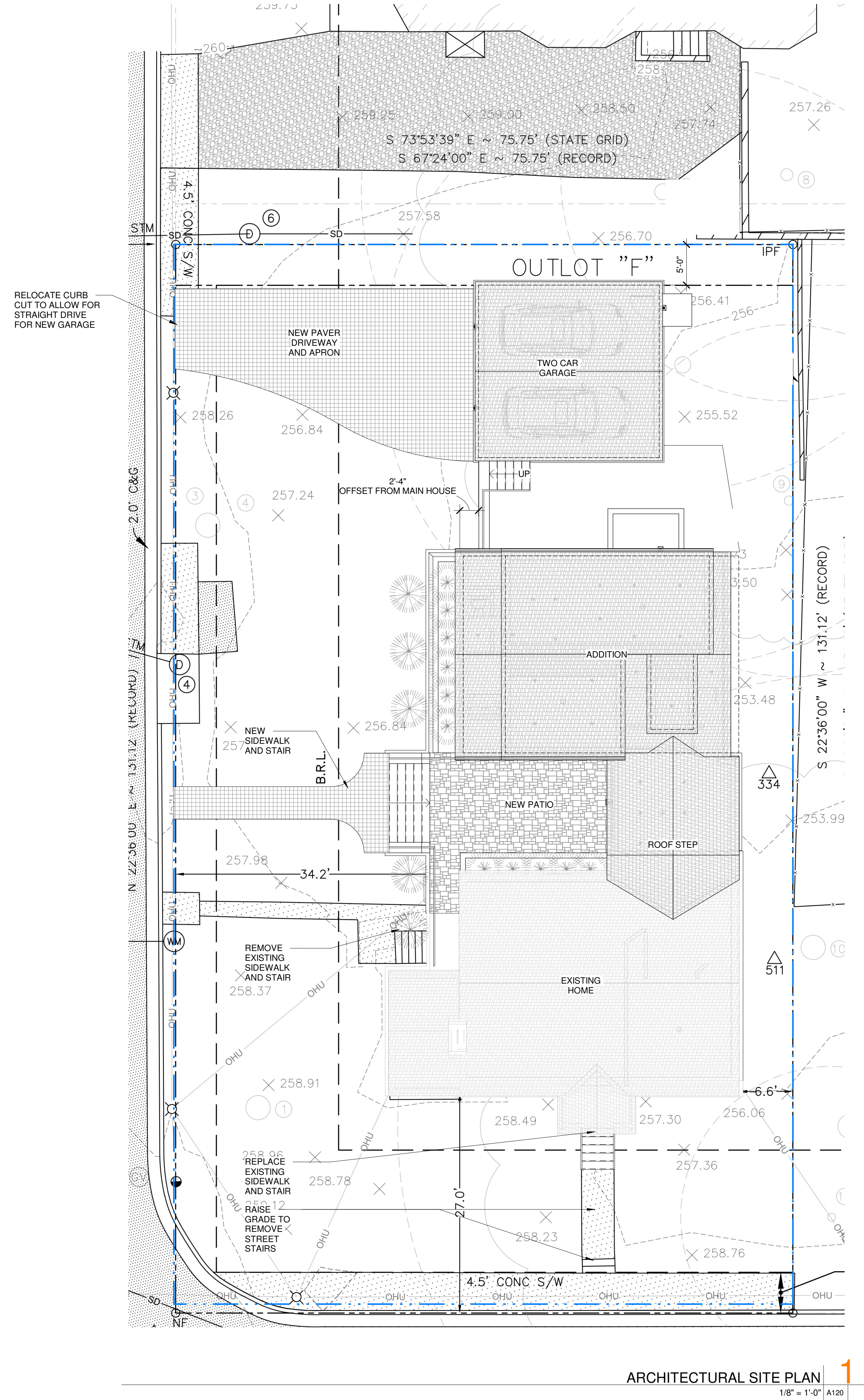
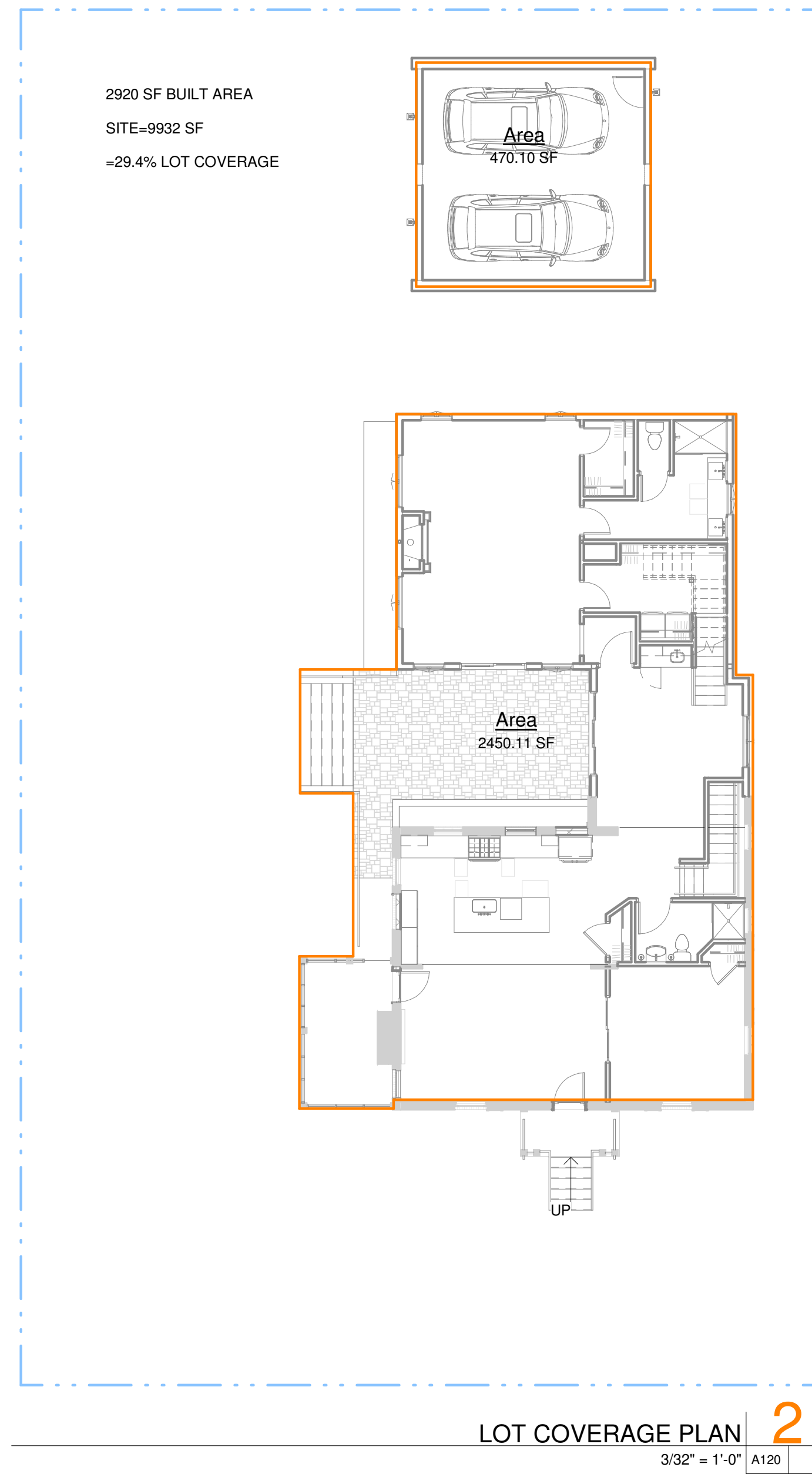
SHEET NUMBER  
**D001**

12/21/21  
HALRB REVIEW SET

**LEE DESIGN . STUDIO**

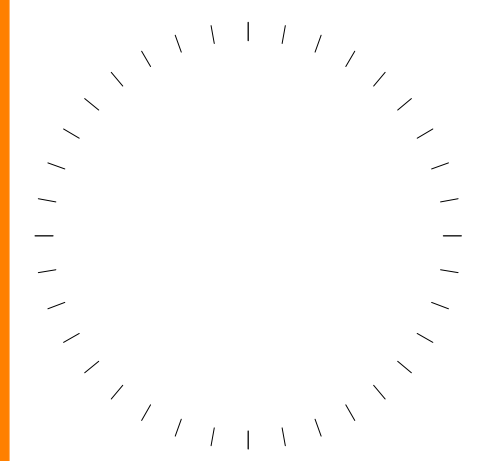
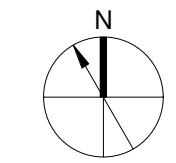
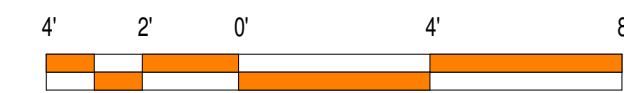
6818 JACOBSON AVE  
FALLS CHURCH, VA 22042  
404.375.0733  
WWW.LEEDESIGNSTUDIO.COM

PROJECT # :  
21052



**SITE NOTES**

1. NATURAL GRADE REMAINS UNCHANGED. SEE CIVIL DRAWINGS
2. GRADE REFERENCES PROVIDED BY CIVIL ENGINEER
3. MECH EQUIPMENT IS LESS THAN 48" AND DOES NOT REQUIRE SCREENING
4. FINISH GRADE AROUND THE STRUCTURE/ADDITION SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% (2% FOR IMPERVIOUS SURFACES) FOR A MINIMUM DISTANCE OF 10 FEET



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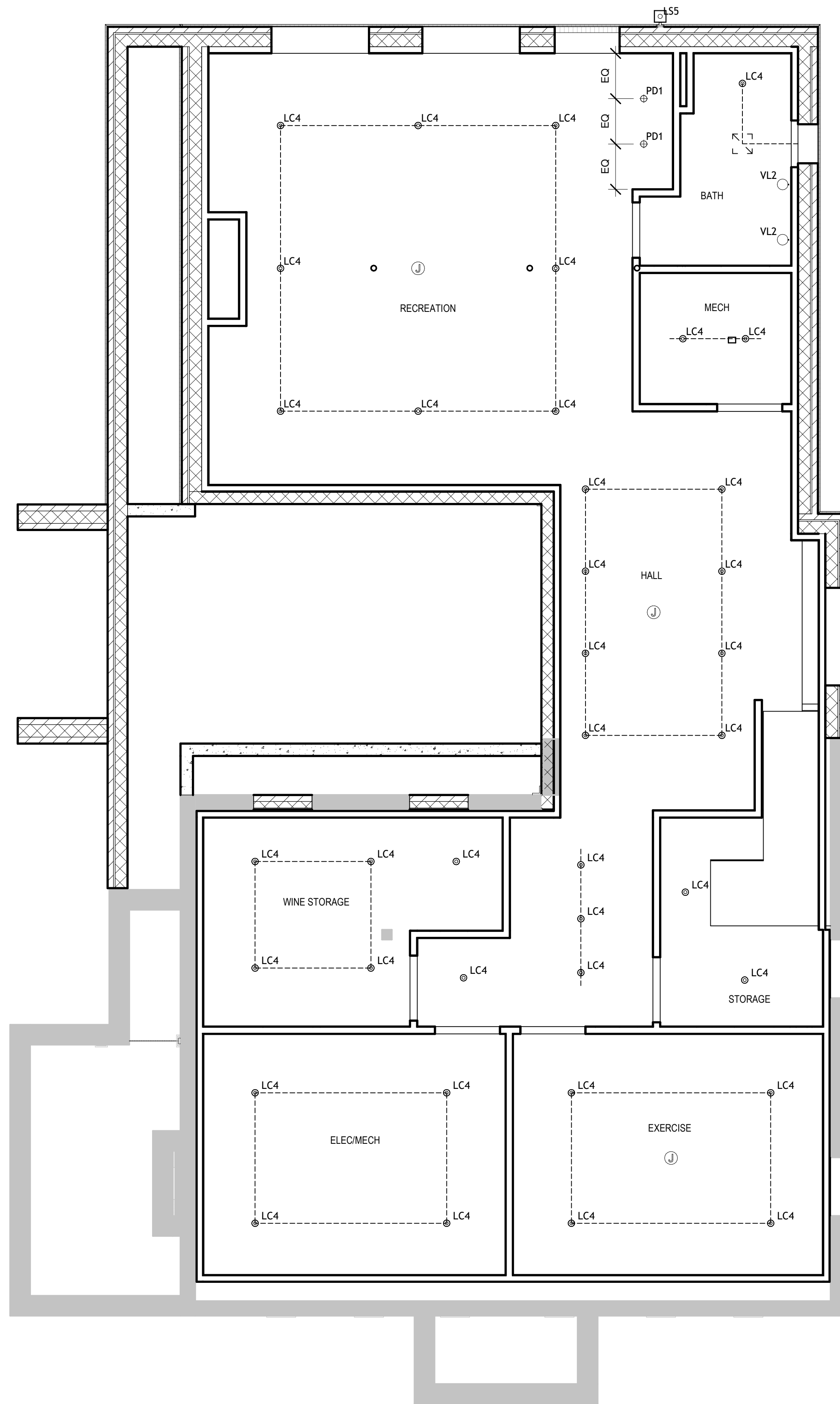
OWNER  
**COLIN UCKERT**

SHEET TITLE  
**ARCHITECTURAL SITE PLAN**

SHEET NUMBER

**A120**

12/21/21  
HALRB REVIEW SET



**RCP NOTES**

- 1) ALL BULBS TO BE LED 2700K TEMPERATURE
- 2) CONTRACTOR TO SUBMIT ALL FIXTURES FOR APPROVAL PRIOR TO PURCHASE
- 3) USB OUTLETS TO BE DUPLEX OUTLETS WITH TWO USB PORTS
- 4) CAN LIGHTS IN SLOPED CEILING TO BE ADJUSTIBLE ANGLE AND AIR SEALED. PROVIDE INSULATED COVER OVER LIGHT TO SHIELD HEAT
- 5) CAN LIGHTS IN WET AREAS TO BE WATER TIGHT

**RCP LEGEND**

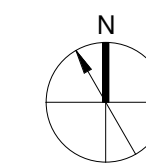
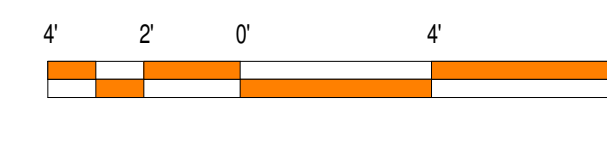
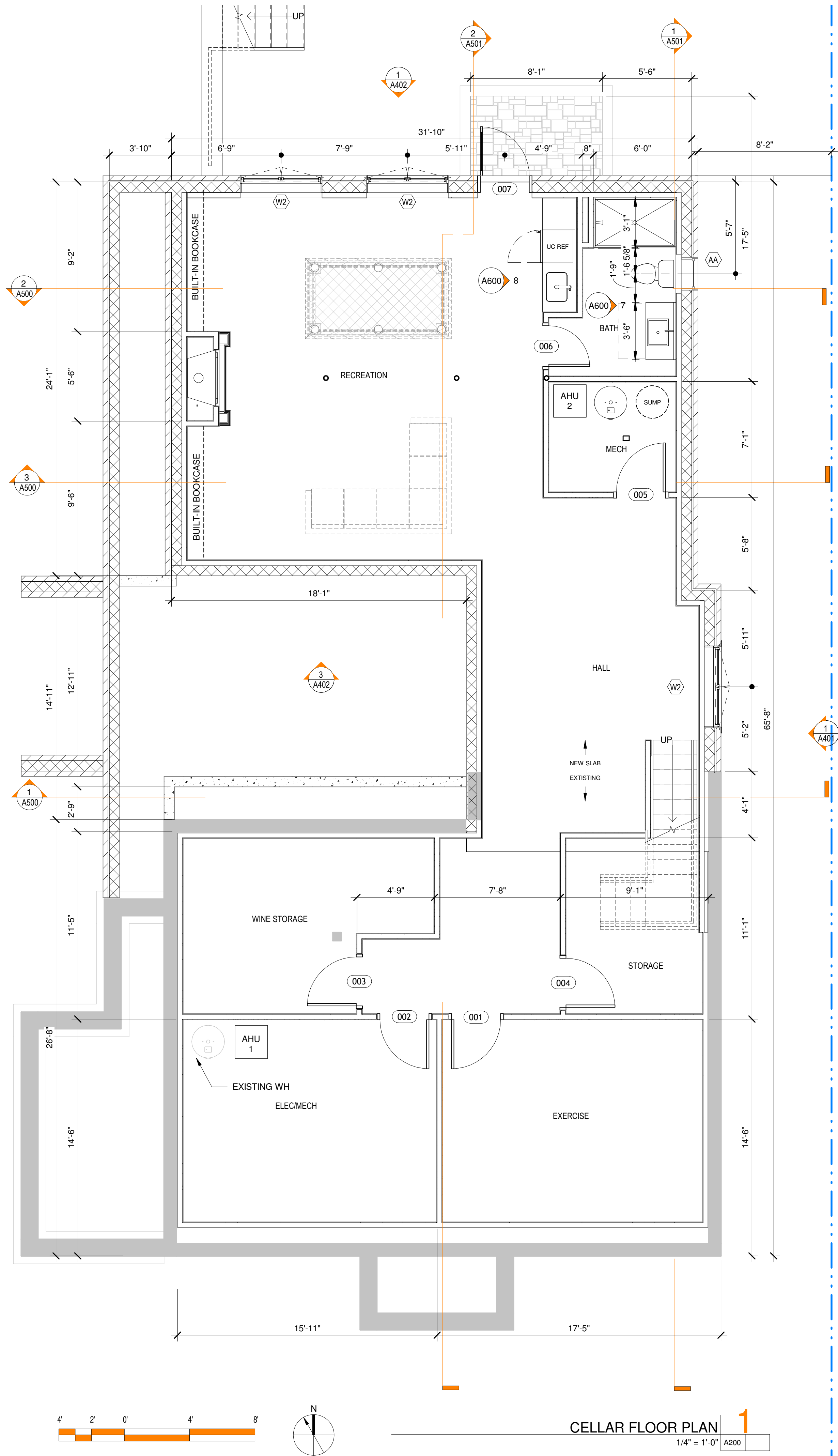
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**LIGHTING FIXTURE SCHEDULE**

MARK	DESCRIPTION
LC4	4" LOW PROFILE LED RECESSED LIGHT
LS5	EXTERIOR 24" WALL SCONCE
PD1	EDISON PENDANT LIGHT
PL1	DECORATIVE PENDANT LIGHT
SL1	LIBRARY SCONCE LIGHT
VL2	WALL SCONCE
VL3	WALL SCONCE - BATH VANITY DOUBLE HEAD

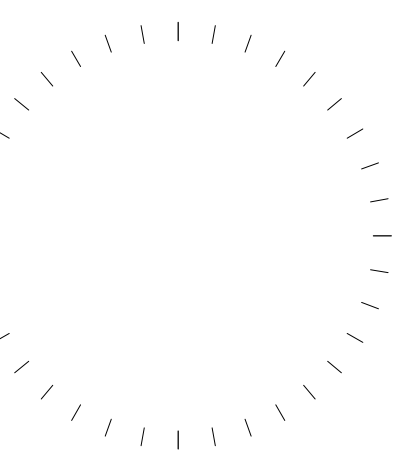
CELLAR REFLECTED CEILING PLAN **2**

1/4" = 1'-0" A200



CELLAR FLOOR PLAN **1**

1/4" = 1'-0" A200



#	DESCRIPTION	DATE

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**UCKERT RESIDENCE**  
3421 21st AVE N  
ARLINGTON, VA 22207

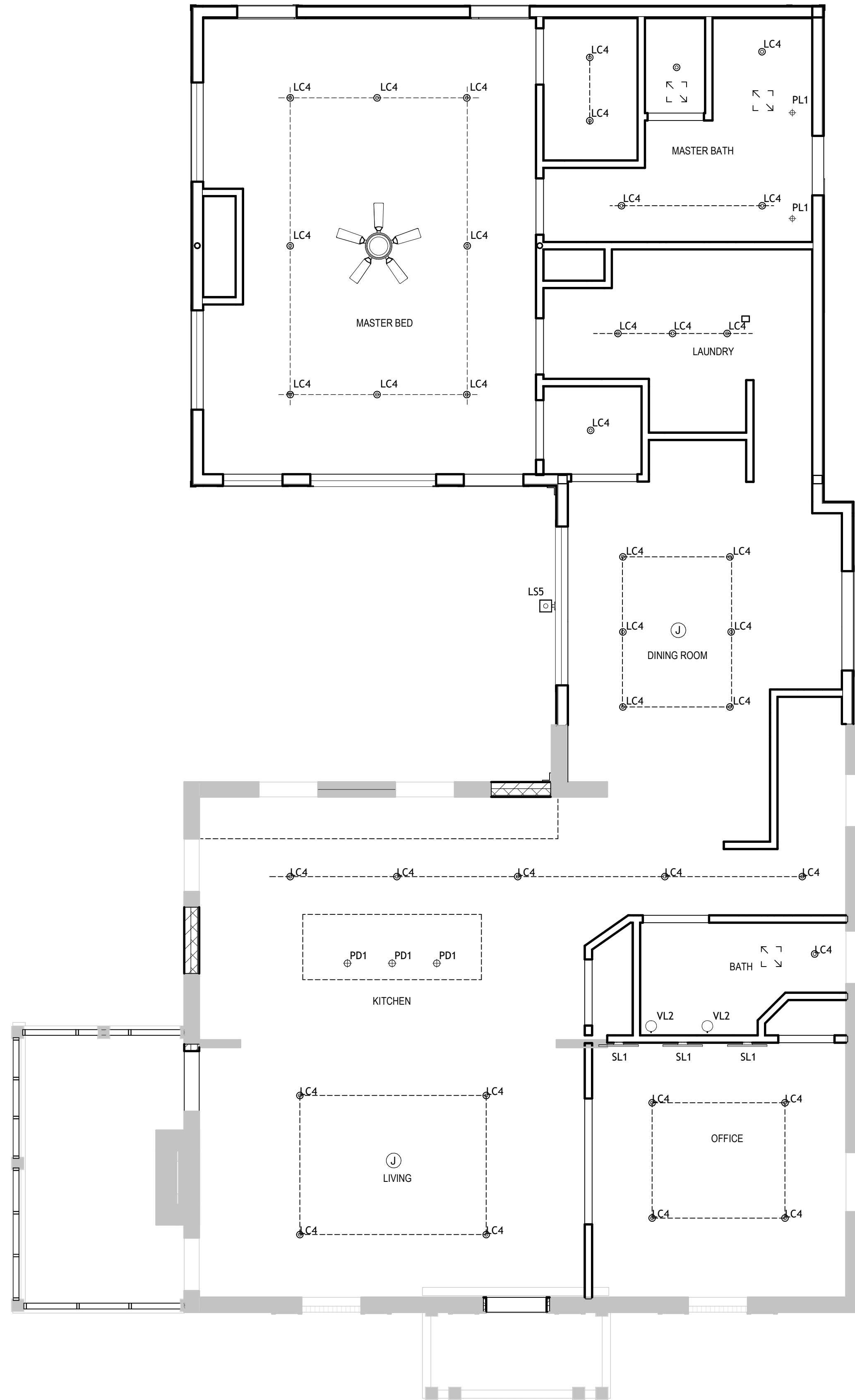
OWNER  
**COLIN UCKERT**

SHEET TITLE  
**BASEMENT FLOOR PLAN**

SHEET NUMBER

**A200**

12/21/21  
HALRB REVIEW SET



LEVEL 1  
1/4" = 1'-0" A201

**RCP NOTES**

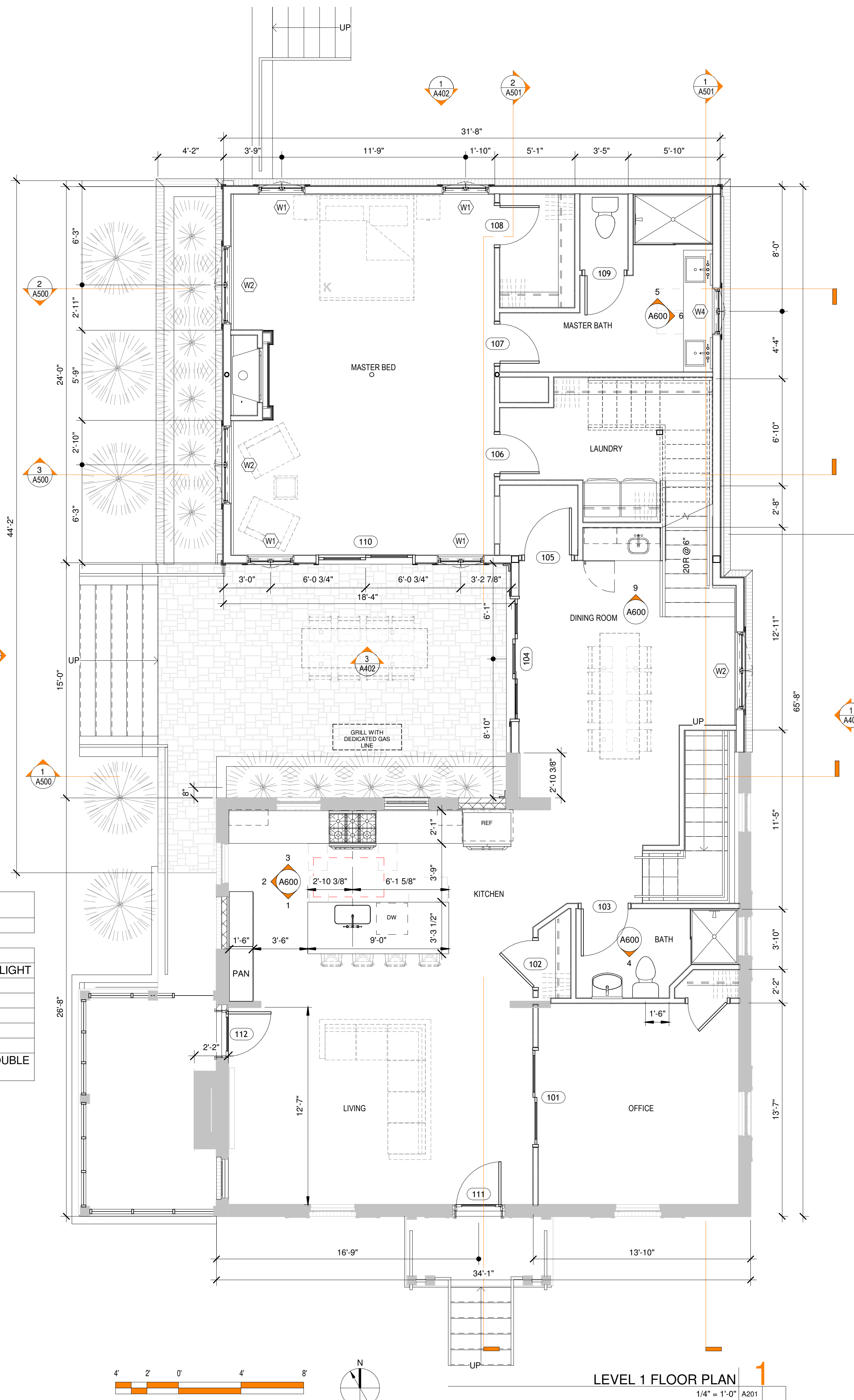
- 1) ALL BULBS TO BE LED 2700K TEMPERATURE
- 2) CONTRACTOR TO SUBMIT ALL FIXTURES FOR APPROVAL PRIOR TO PURCHASE
- 3) USB OUTLETS TO BE DUPLEX OUTLETS WITH TWO USB PORTS
- 4) CAN LIGHTS IN SLOPED CEILING TO BE ADJUSTIBLE ANGLE AND AIR SEALED, PROVIDE INSULATED COVER OVER LIGHT TO SHIELD HEAT
- 5) CAN LIGHTS IN WET AREAS TO BE WATER TIGHT

**RCP LEGEND**

- 220V DUPLEX OUTLET @ 1'-6"
- DUPLEX OUTLET @ 1'-6"
- DUPLEX OUTLET @ 4'-0"
- GFCI OUTLET @ 4'-0"
- SWITCH ON TIMER
- THREE WAY SWITCH
- FOUR WAY SWITCH
- JAMB SWITCH
- SINGLE POLE SWITCH
- DIMMER SWITCH
- JUNCTION BOX
- FAN/LIGHT COMBO
- RECESSED CAN LIGHT
- SEMI FLUSH WALL MOUNTED LIGHT

**LIGHTING FIXTURE SCHEDULE**

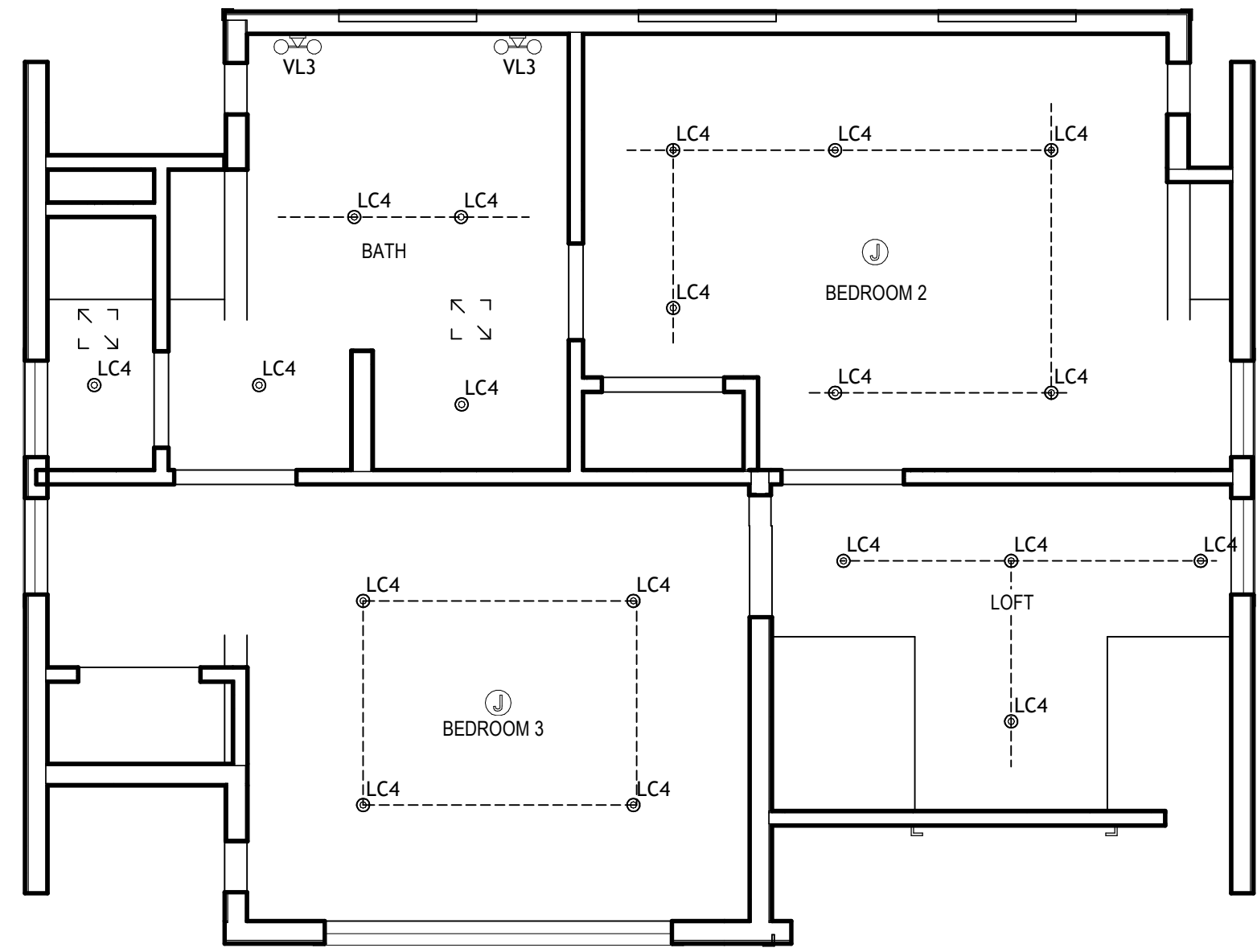
MARK	DESCRIPTION
LC4	4" LOW PROFILE LED RECESSED LIGHT
LS5	EXTERIOR 24" WALL SCNCE
PD1	EDISON PENDANT LIGHT
PL1	DECORATIVE PENDANT LIGHT
SL1	LIBRARY SCNCE LIGHT
VL2	WALL SCNCE
VL3	WALL SCNCE - BATH VANITY DOUBLE HEAD



LEVEL 1 FLOOR PLAN  
1/4" = 1'-0" A201

#	DESCRIPTION	DATE

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**LEVEL 2**  
1/4" = 1'-0" A202

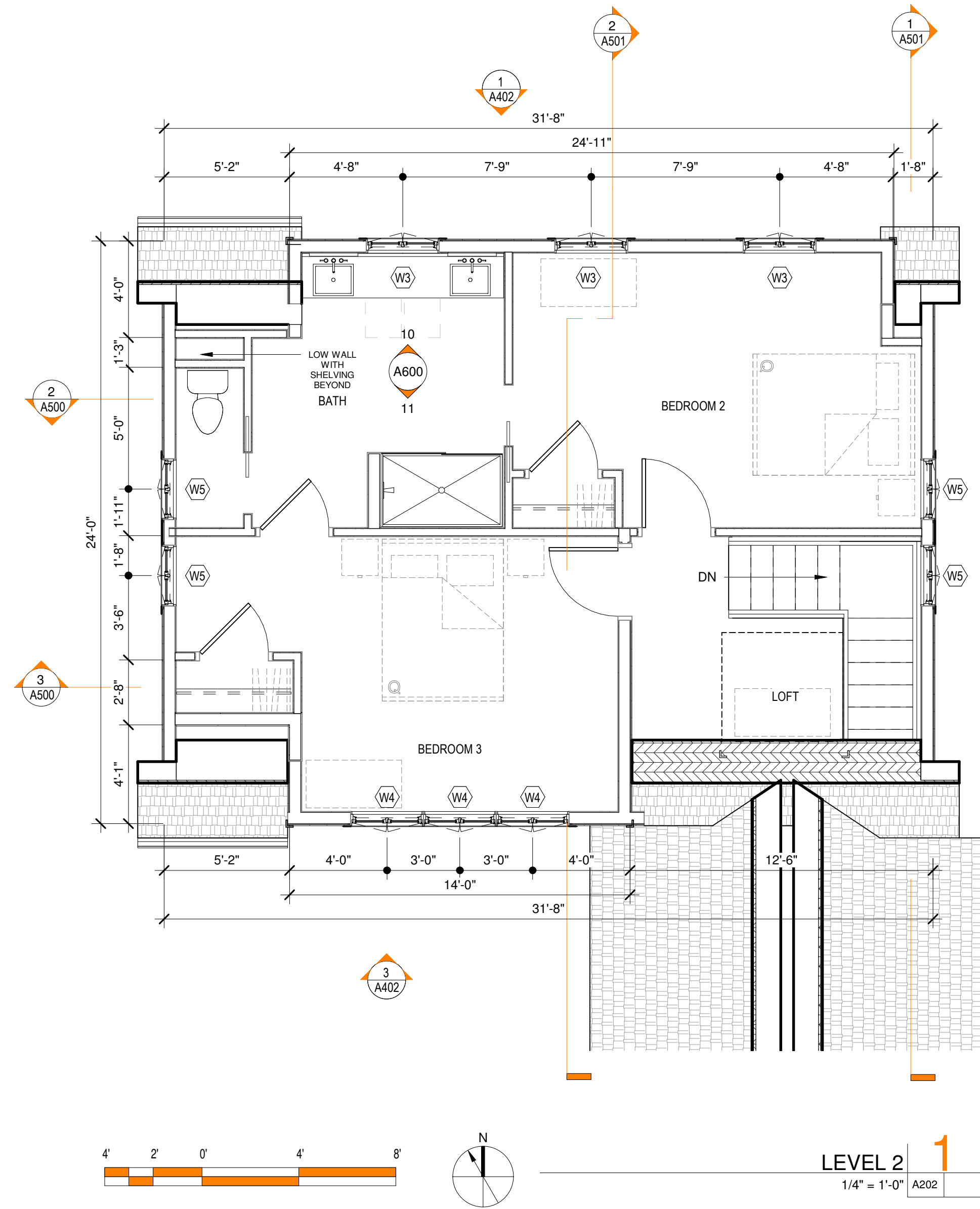
**RCP NOTES**

- 1) ALL BULBS TO BE LED 2700K TEMPERATURE
- 2) CONTRACTOR TO SUBMIT ALL FIXTURES FOR APPROVAL PRIOR TO PURCHASE
- 3) USB OUTLETS TO BE DUPLEX OUTLETS WITH TWO USB PORTS
- 4) CAN LIGHTS IN SLOPED CEILING TO BE ADJUSTIBLE ANGLE AND AIR SEALED. PROVIDE INSULATED COVER OVER LIGHT TO SHIELD HEAT
- 5) CAN LIGHTS IN WET AREAS TO BE WATER TIGHT

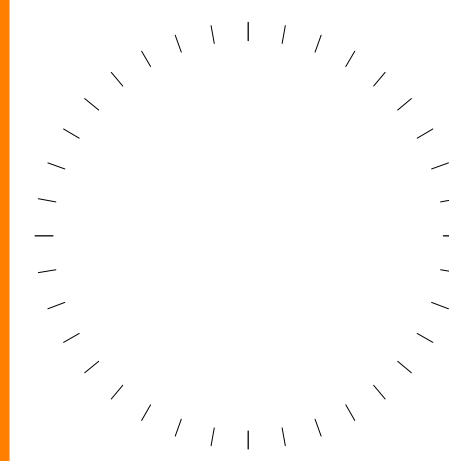
**RCP LEGEND**

- 220V DUPLEX OUTLET @ 1'-6"
- DUPLEX OUTLET @ 1'-6"
- DUPLEX OUTLET @ 4'-0"
- GFCI OUTLET @ 4'-0"
- SWITCH ON TIMER
- THREE WAY SWITCH
- FOUR WAY SWITCH
- JAMB SWITCH
- SINGLE POLE SWITCH
- DIMMER SWITCH
- JUNCTION BOX
- FAN/LIGHT COMBO
- RECESSED CAN LIGHT
- SEMI FLUSH WALL MOUNTED LIGHT

LIGHTING FIXTURE SCHEDULE	
MARK	DESCRIPTION
LC4	4" LOW PROFILE LED RECESSED LIGHT
LS5	EXTERIOR 24" WALL SCONCE
PD1	EDISON PENDANT LIGHT
PL1	DECORATIVE PENDANT LIGHT
SL1	LIBRARY SCONCE LIGHT
VL2	WALL SCONCE
VL3	WALL SCONCE - BATH VANITY DOUBLE HEAD



**LEVEL 2**  
1/4" = 1'-0" A202



#	DESCRIPTION	DATE

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PROJECT NAME AND ADDRESS  
**UCKERT RESIDENCE**  
3421 21st AVE N  
ARLINGTON, VA 22207

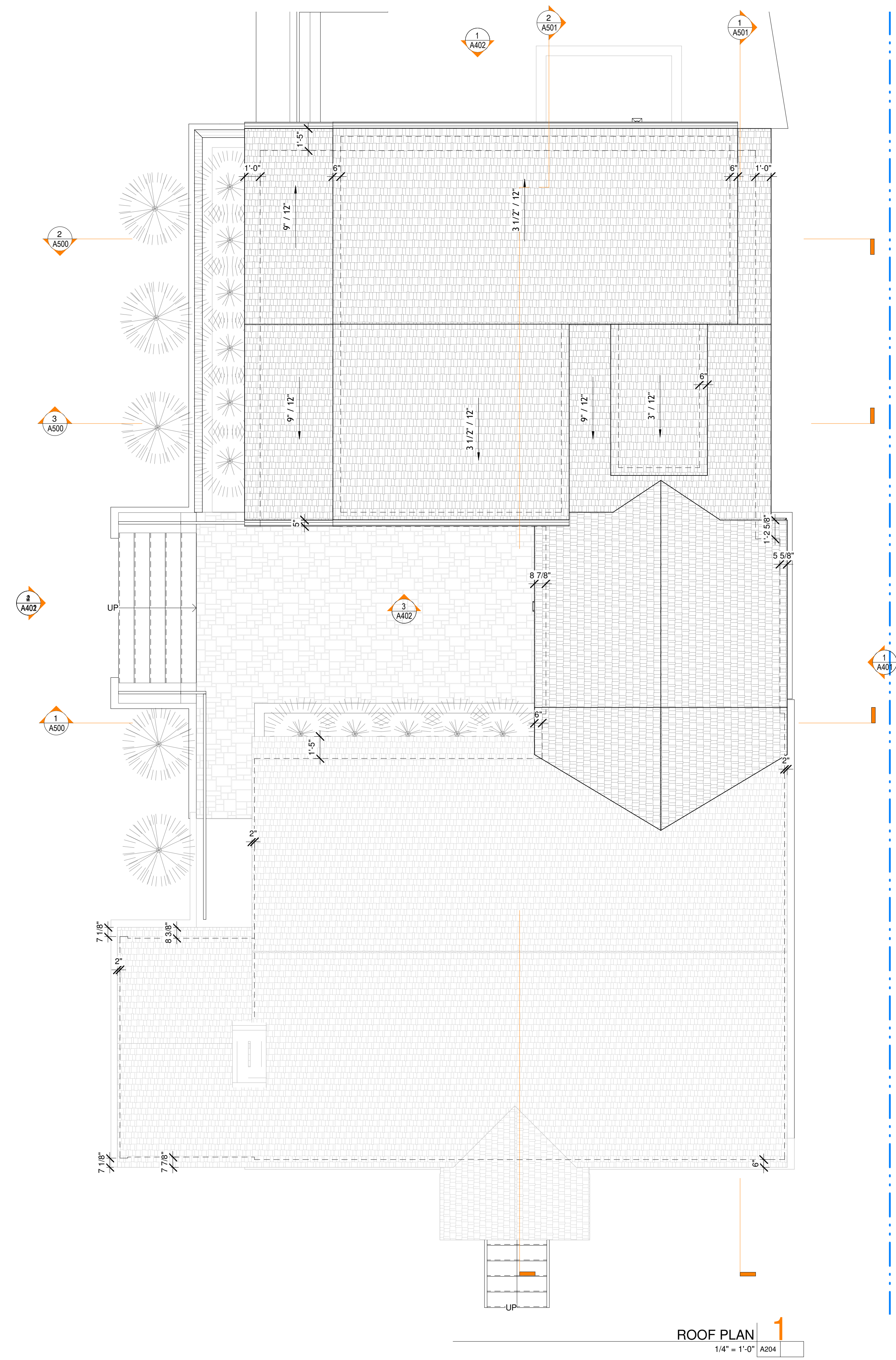
OWNER  
**COLIN UCKERT**

SHEET TITLE  
**FLOOR 2 PLAN**

SHEET NUMBER

**A202**

12/21/21  
HALRB REVIEW SET



ROOF PLAN **1**  
 1/4" = 1'-0" A204

PROJECT NAME AND ADDRESS  
**UCKERT RESIDENCE**  
 3421 21st AVE N  
 ARLINGTON, VA 22207

SHEET TITLE  
 ROOF PLAN

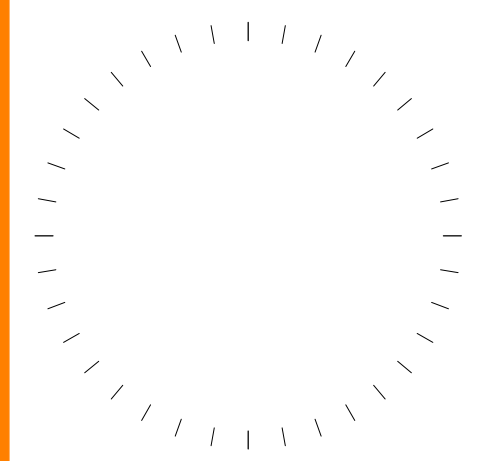
SHEET NUMBER

**A204**

12/21/21  
 HALRB REVIEW SET

#	DESCRIPTION	DATE

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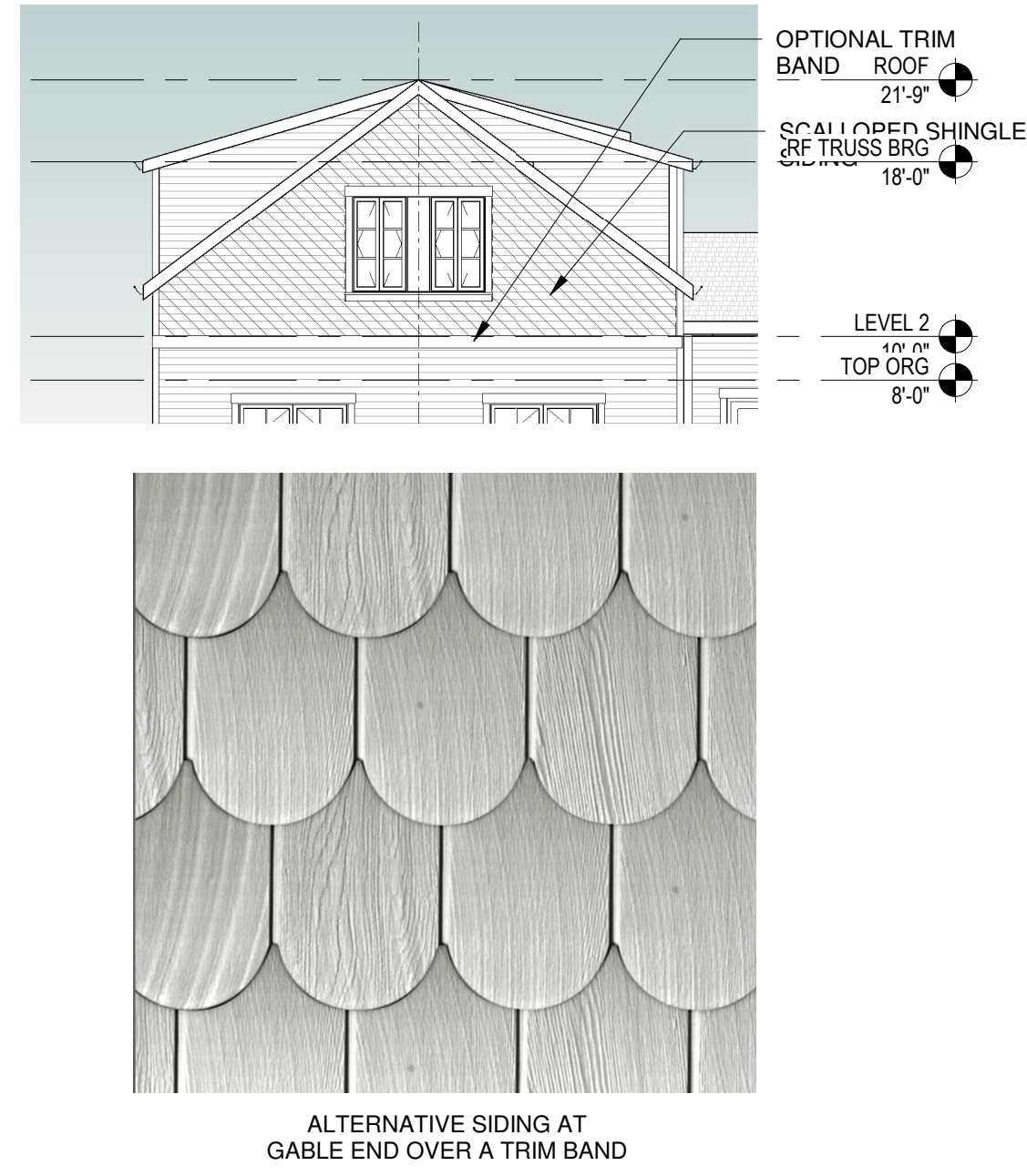
**LEE DESIGN . STUDIO**

6818 JACOBSON AVE  
 FALLS CHURCH, VA 22042  
 404.375.0733  
 WWW.LEEDESIGNSTUDIO.COM

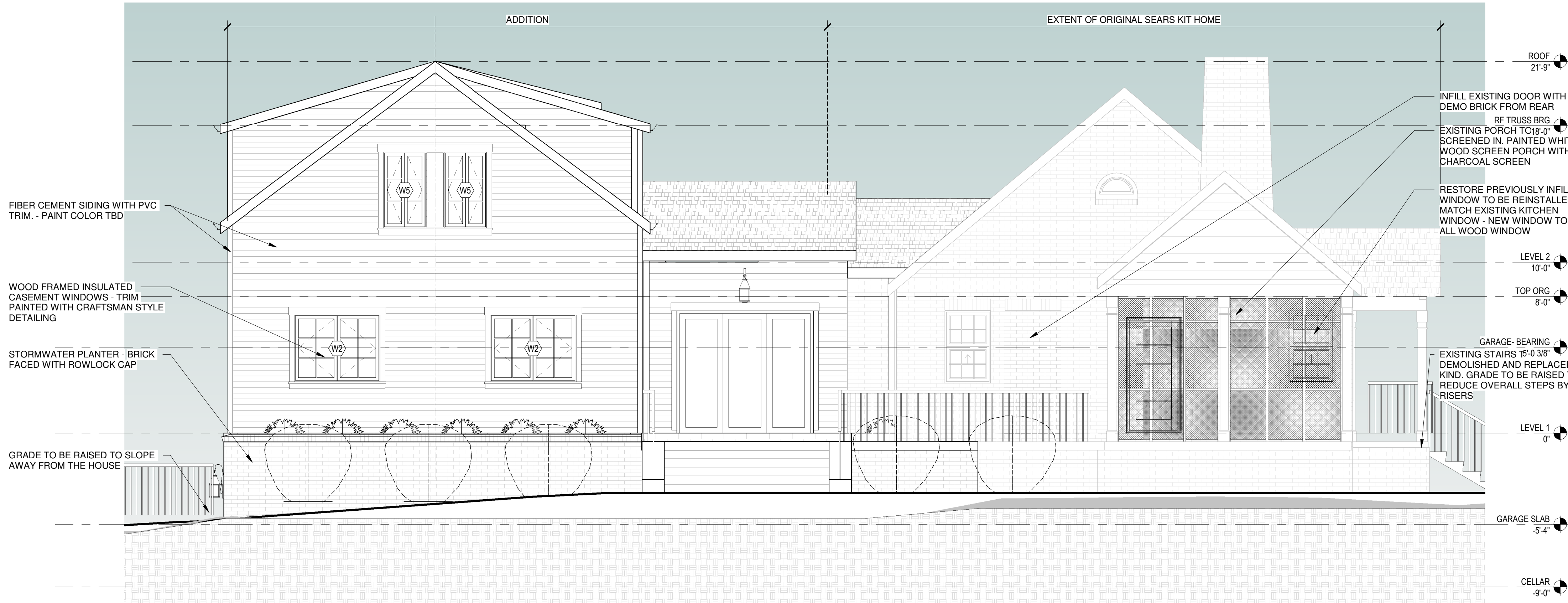
PROJECT # :  
 21052

OWNER  
**COLIN UCKERT**





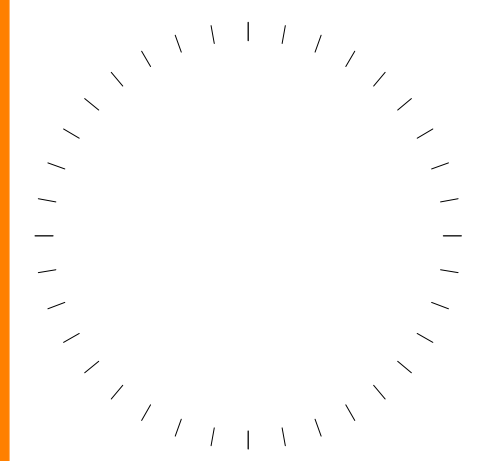
GABLE END ALT DESIGN 3  
1/8" = 1'-0" A401



WEST ELEVATION 2  
1/4" = 1'-0" A401



EAST ELEVATION 1  
1/4" = 1'-0" A401



#	DESCRIPTION	DATE

PROJECT NAME AND ADDRESS  
**UCKERT RESIDENCE**  
3421 21st AVE N  
ARLINGTON, VA 22207

OWNER  
**COLIN UCKERT**

SHEET TITLE  
**ELEVATIONS**

SHEET NUMBER

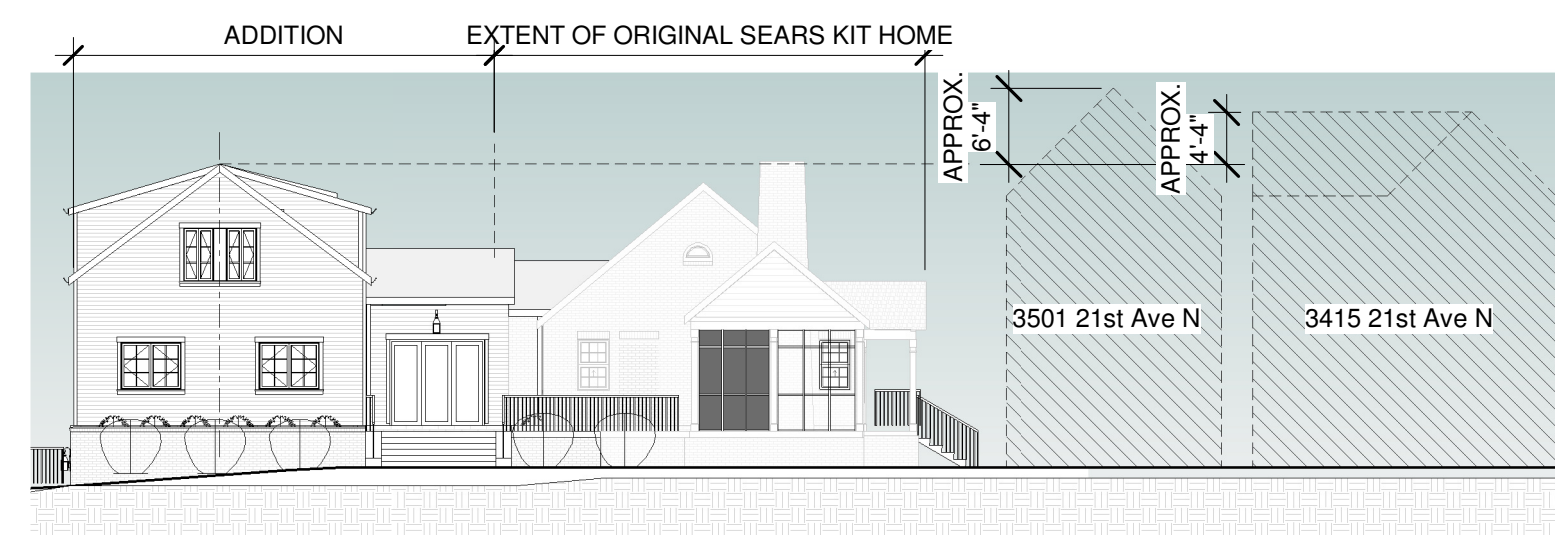
**A401**  
12/21/21  
HALRB REVIEW SET



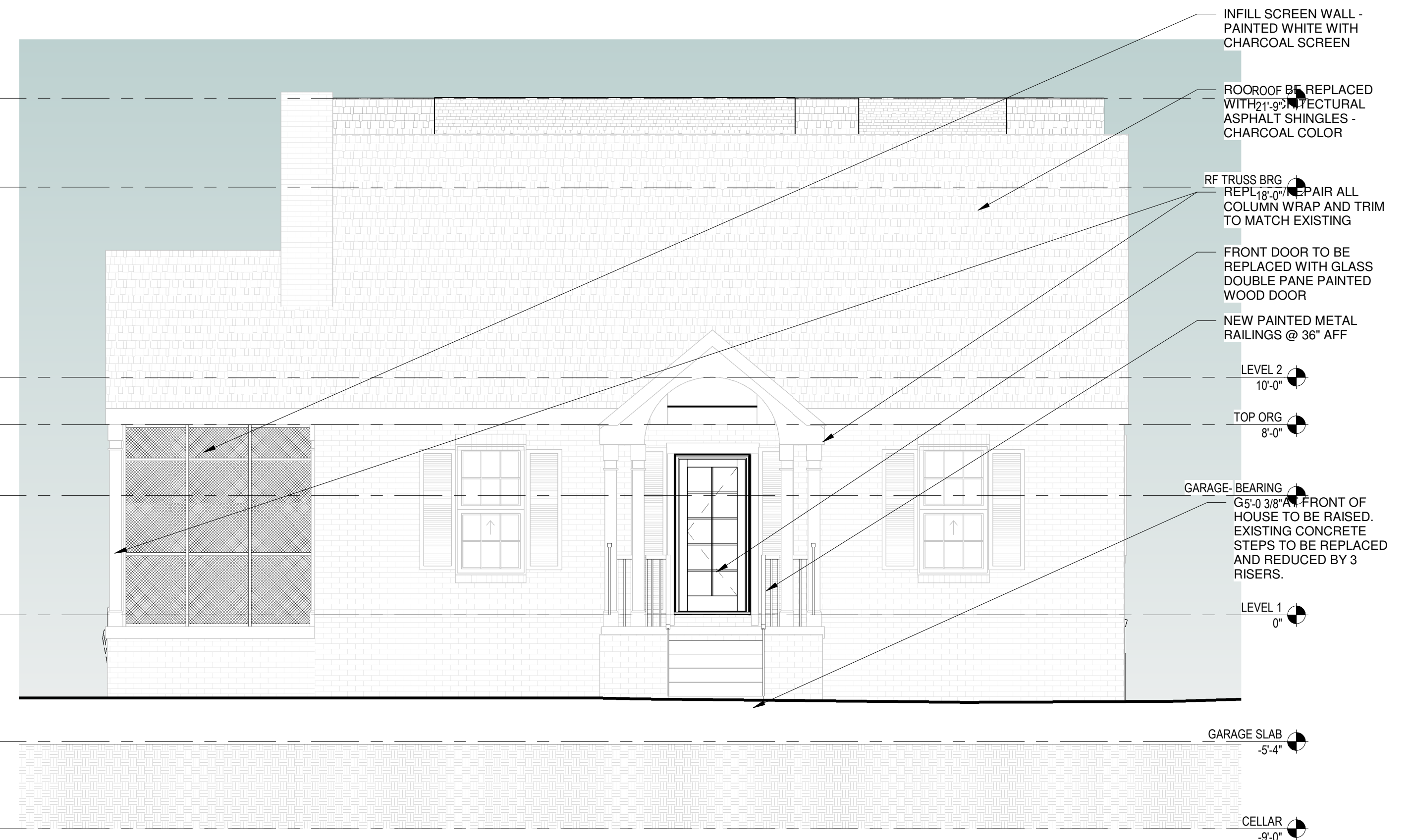
COURTYARD 1 **3**  
1/4" = 1'-0" A402



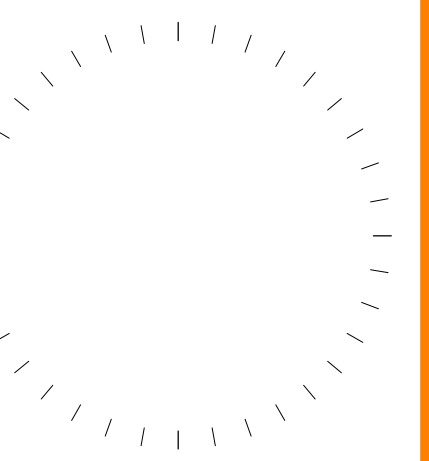
REAR ELEVATION **1**  
1/4" = 1'-0" A402 A200



WEST ELEVATION - HEIGHT  
COMPARISON TO NEIGHBORS **4**  
1/16" = 1'-0" A402



FRONT ELEVATION **2**  
1/4" = 1'-0" A402



#	DESCRIPTION	DATE

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PROJECT NAME AND ADDRESS  
**UCKERT RESIDENCE**  
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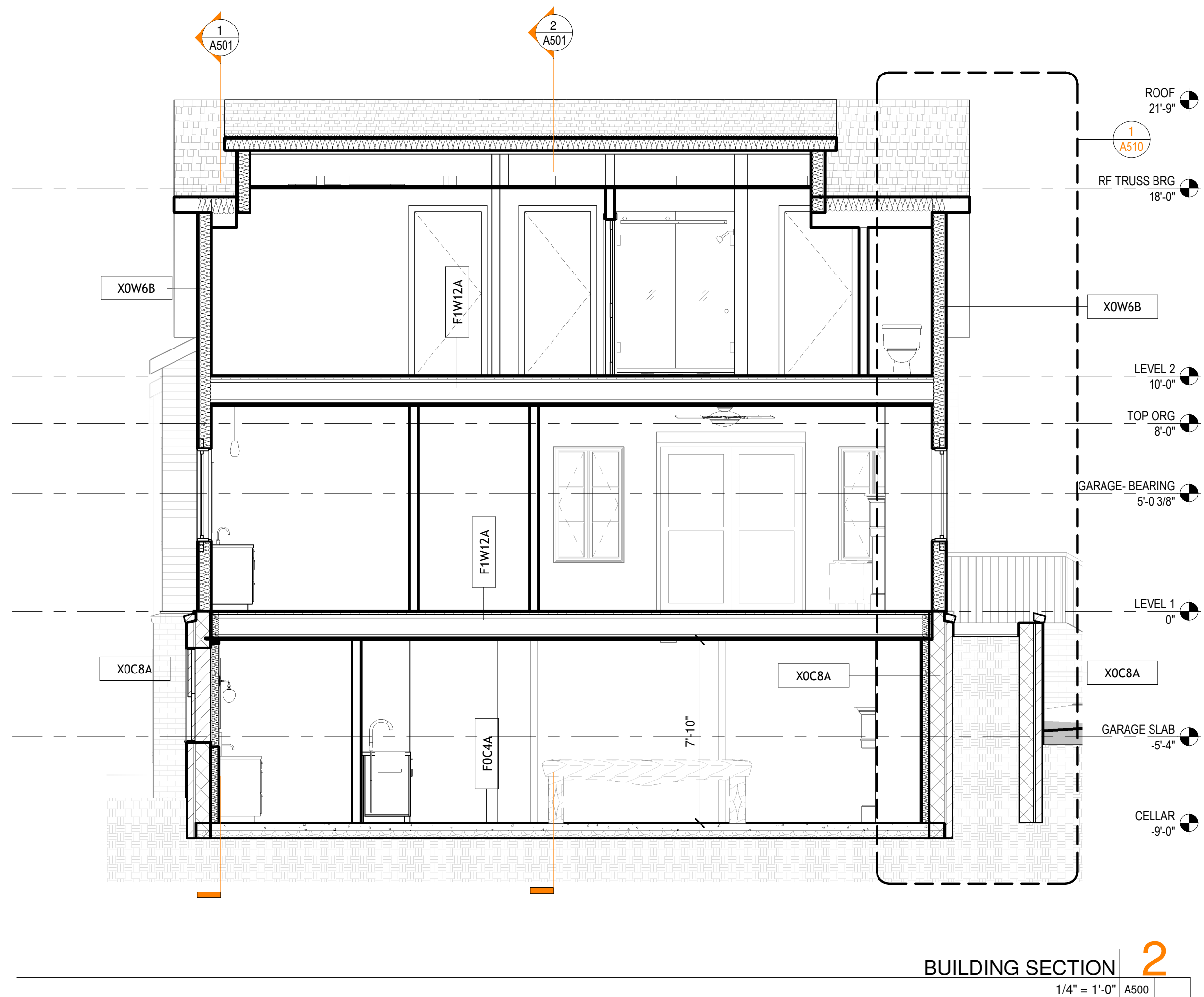
OWNER  
**COLIN UCKERT**

SHEET TITLE  
**ELEVATIONS**

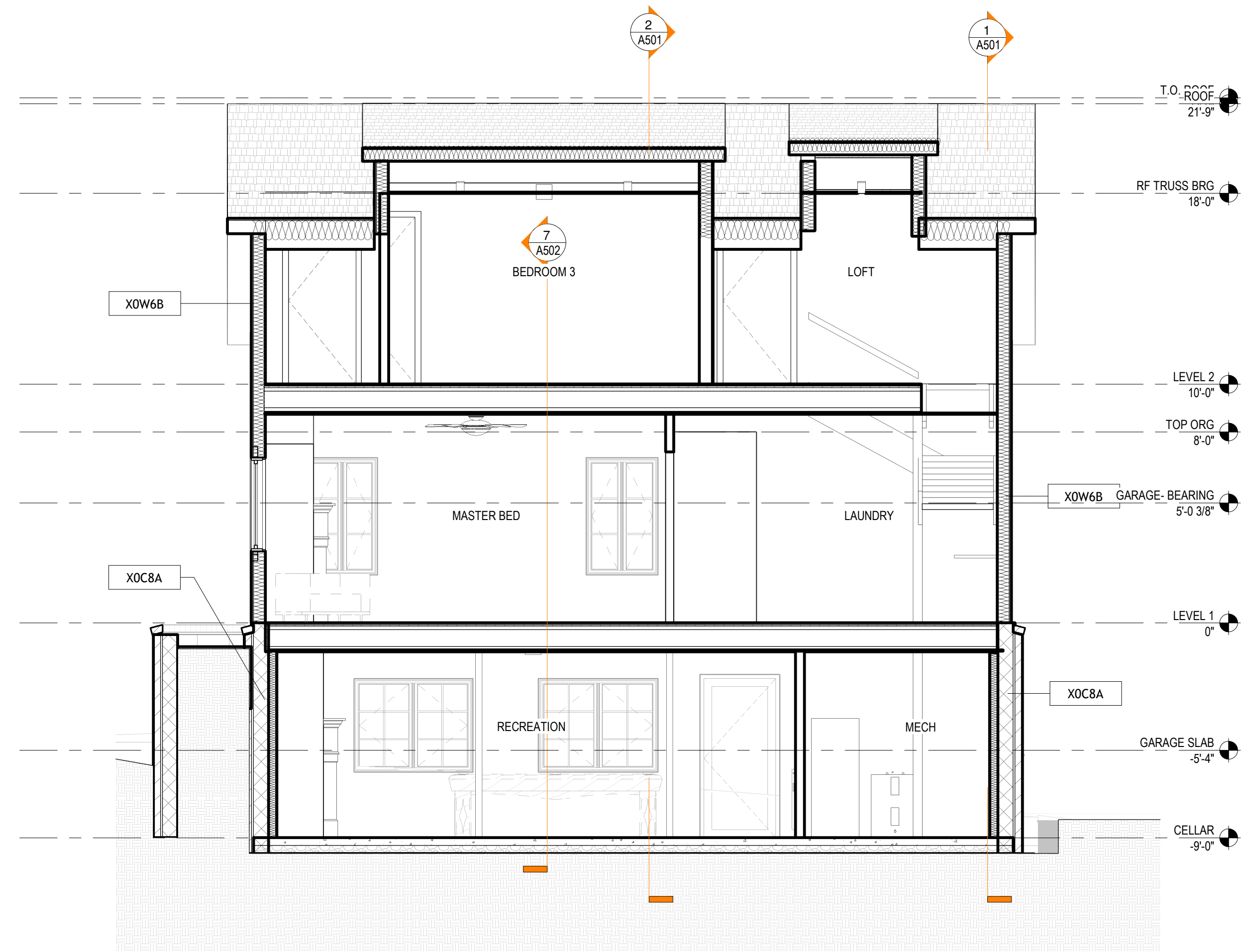
SHEET NUMBER

**A402**

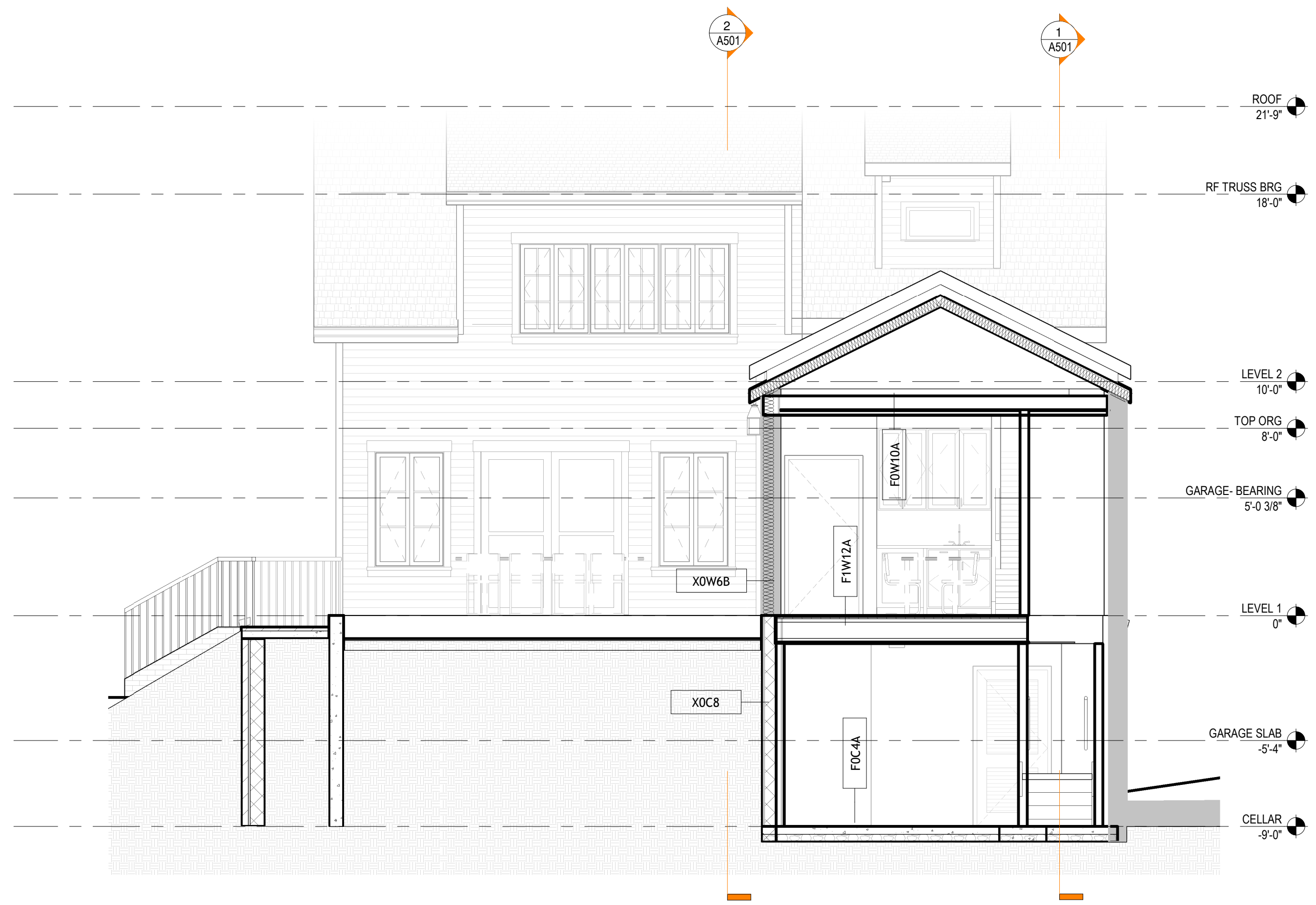
12/21/21  
HALRB REVIEW SET



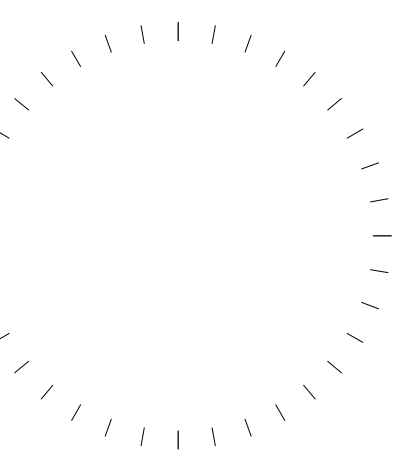
BUILDING SECTION 2  
1/4" = 1'-0" A500



BUILDING SECTION 3  
1/4" = 1'-0" A500



BUILDING SECTION 1  
1/4" = 1'-0" A500



#	DESCRIPTION	DATE

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PROJECT NAME AND ADDRESS  
**UCKERT RESIDENCE**  
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 ARLINGTON, VA 22207

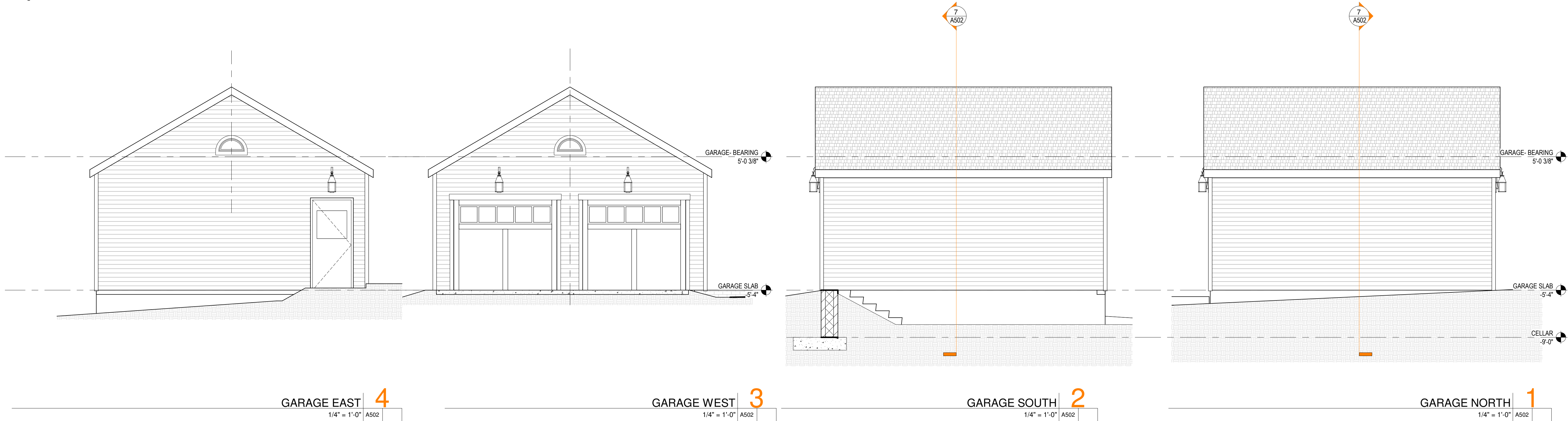
OWNER  
**COLIN UCKERT**

SHEET TITLE  
**BUILDING SECTIONS AND DETAILS**

SHEET NUMBER

**A500**

12/21/21  
 HALRB REVIEW SET

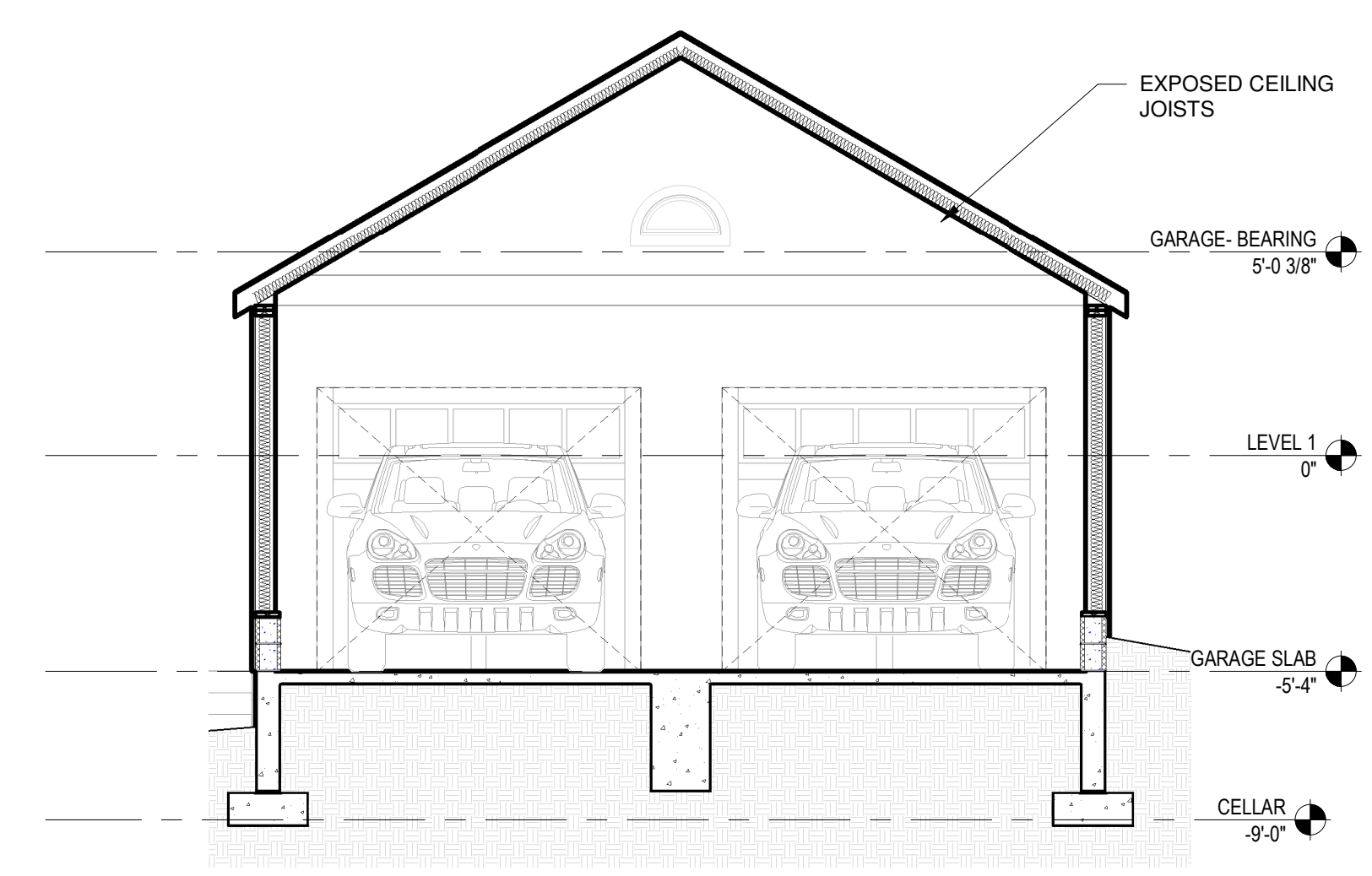


**GARAGE EAST 4**  
1/4" = 1'-0" A502

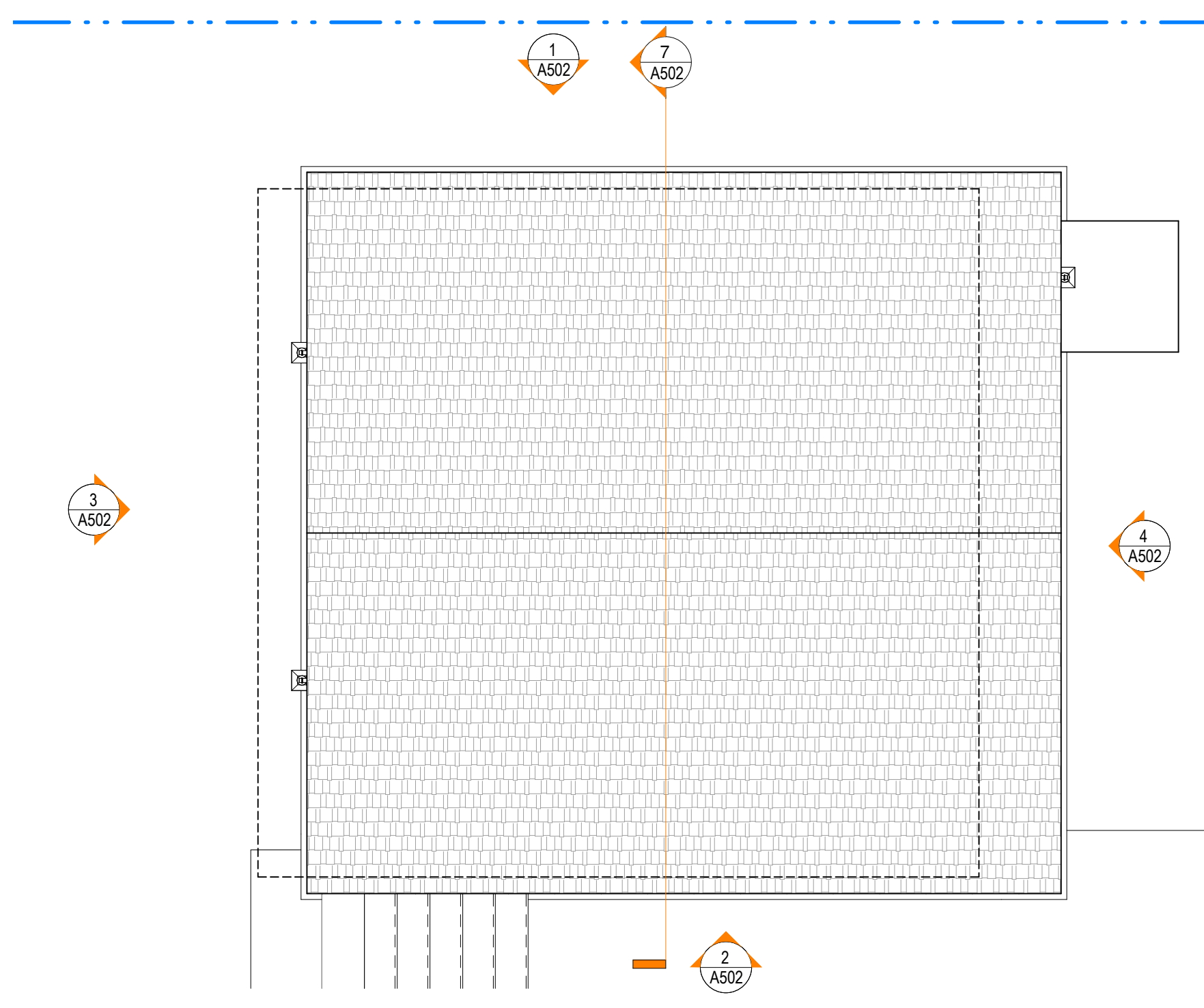
**GARAGE WEST 3**  
1/4" = 1'-0" A502

**GARAGE SOUTH 2**  
1/4" = 1'-0" A502

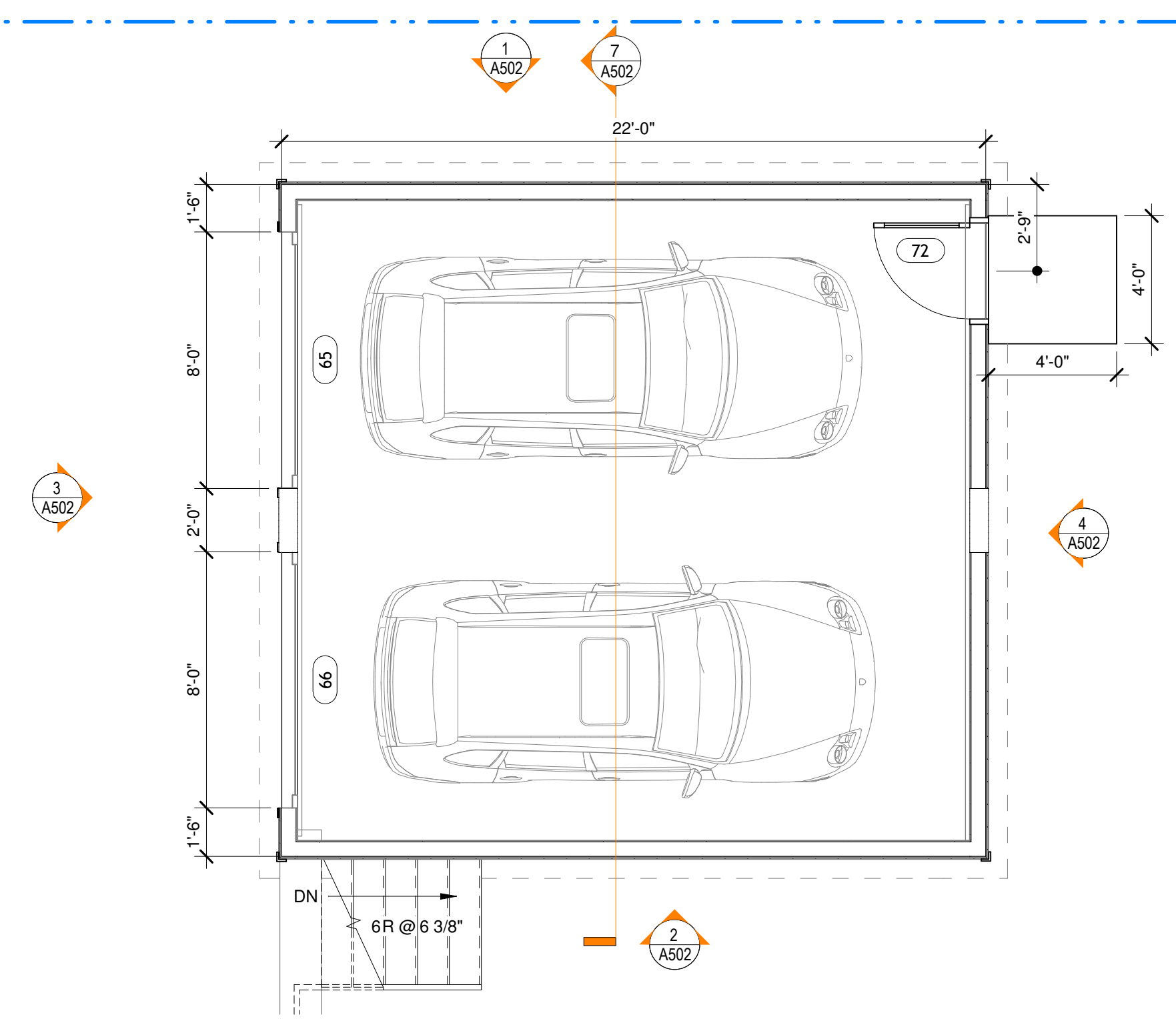
**GARAGE NORTH 1**  
1/4" = 1'-0" A502



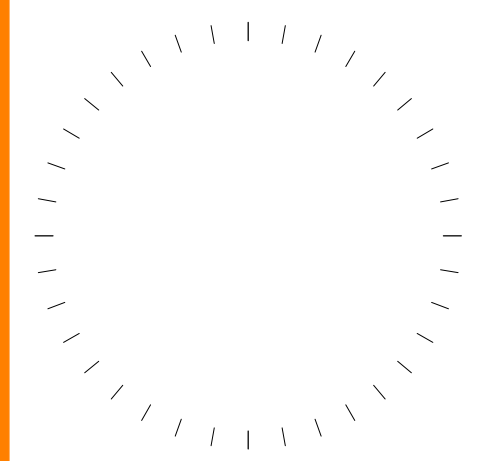
**GARAGE 1 7**  
1/4" = 1'-0" A502



**GARAGE ROOF PLAN 6**  
1/4" = 1'-0" A502



**LEVEL 1 GARAGE FLOOR PLAN 5**  
1/4" = 1'-0" A502



#	DESCRIPTION	DATE

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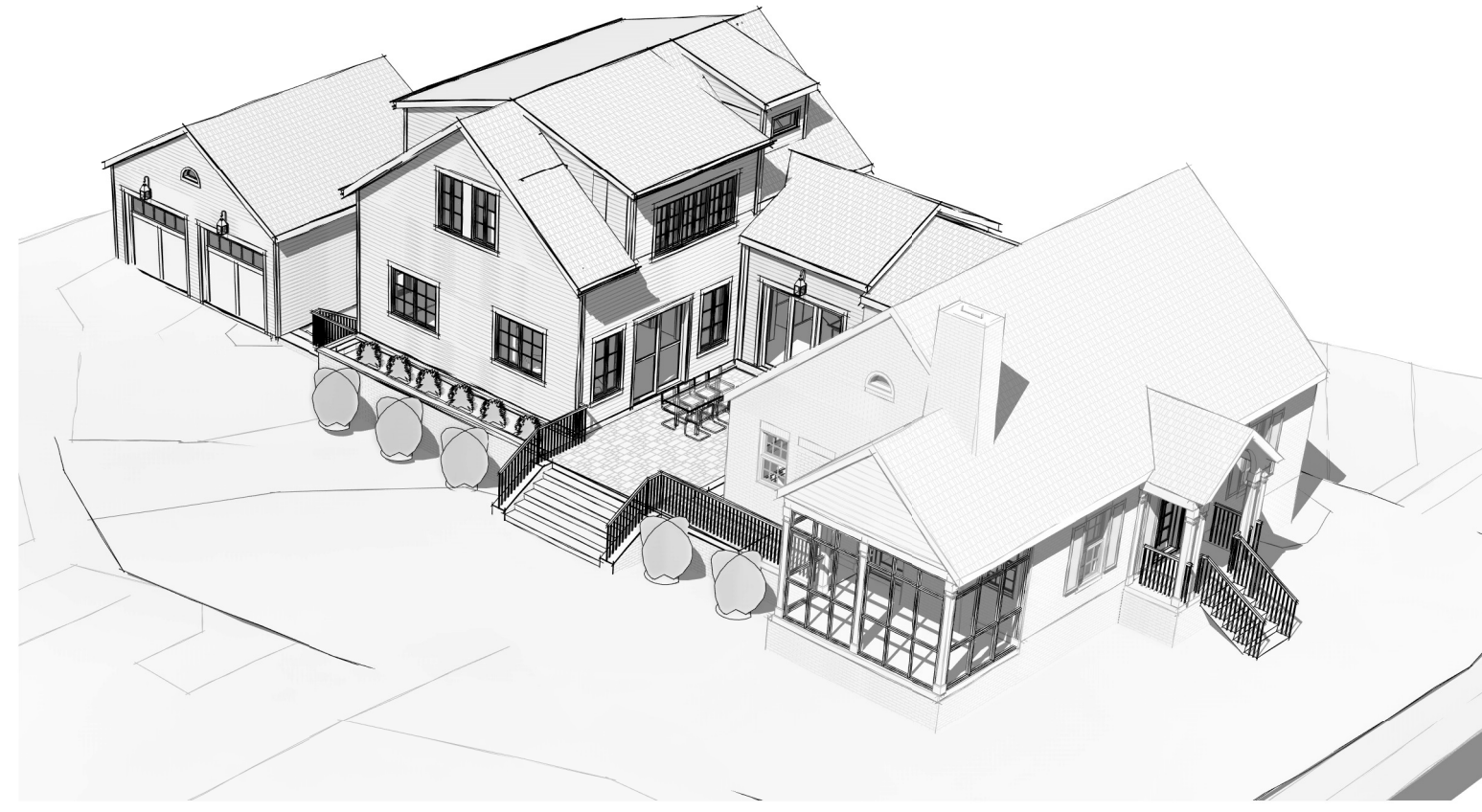
PROJECT NAME AND ADDRESS  
**UCKERT RESIDENCE**  
3421 21st AVE N  
ARLINGTON, VA 22207

OWNER  
**COLIN UCKERT**

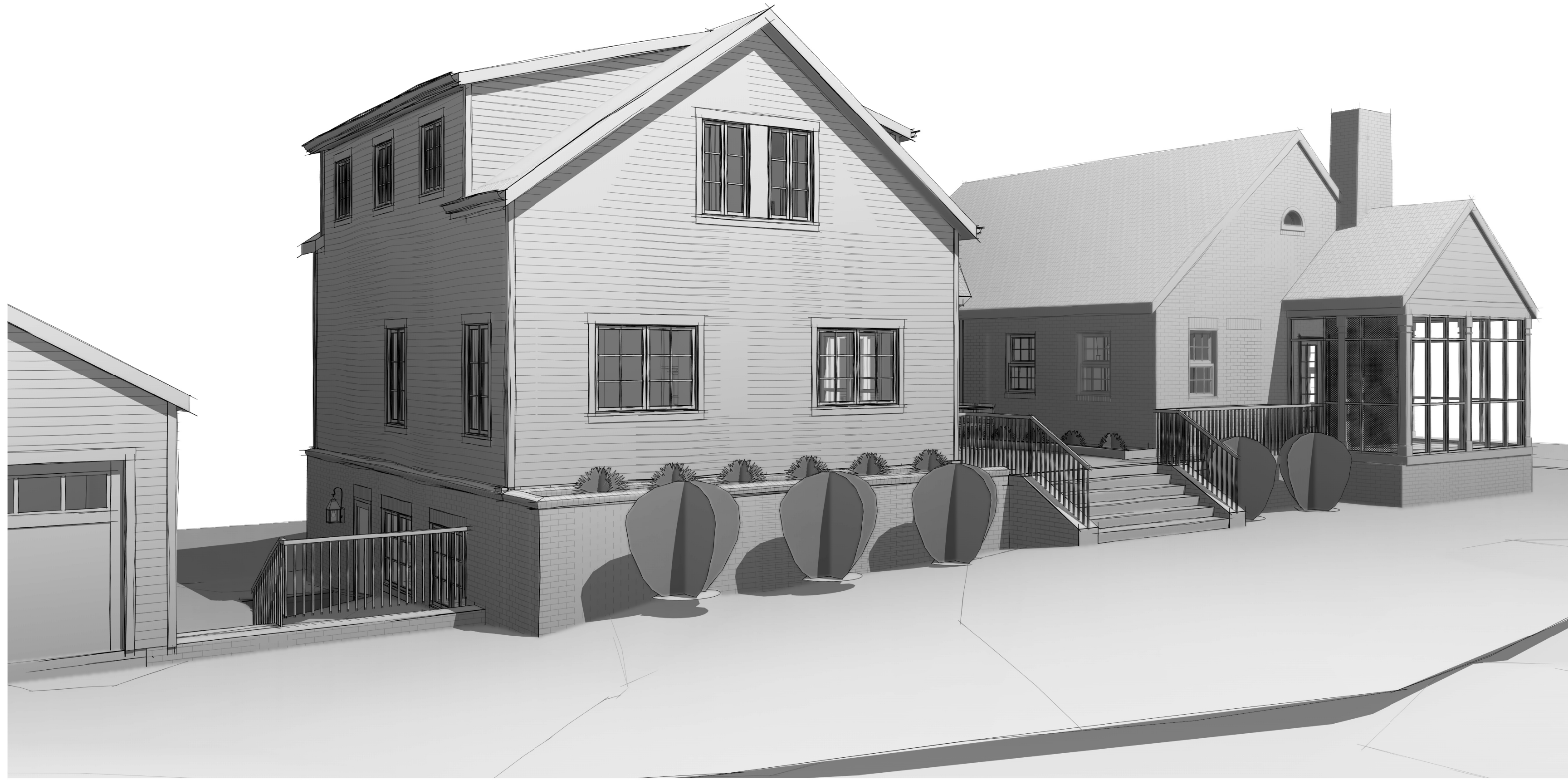
SHEET TITLE  
**CARRIAGE HOUSE & ELEVATIONS**

SHEET NUMBER  
**A502**

12/21/21  
**HALRB REVIEW SET**



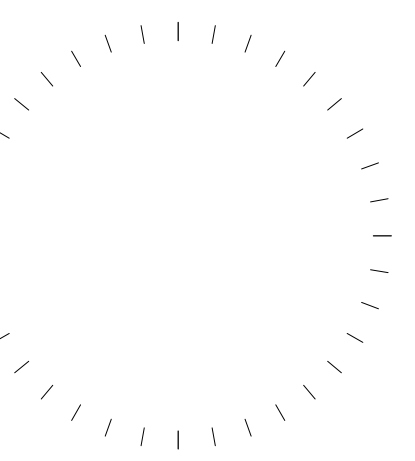
OVERHEAD- 2 STORY Copy 1 **3**  
A700



3D View 1 **1**  
A700



3D View 2 **2**  
A700



#	DESCRIPTION	DATE

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PROJECT NAME AND ADDRESS  
**UCKERT RESIDENCE**  
3421 21st AVE N  
ARLINGTON, VA 22207

OWNER  
**COLIN UCKERT**

SHEET TITLE  
**PERSPECTIVES**

SHEET NUMBER

## A700

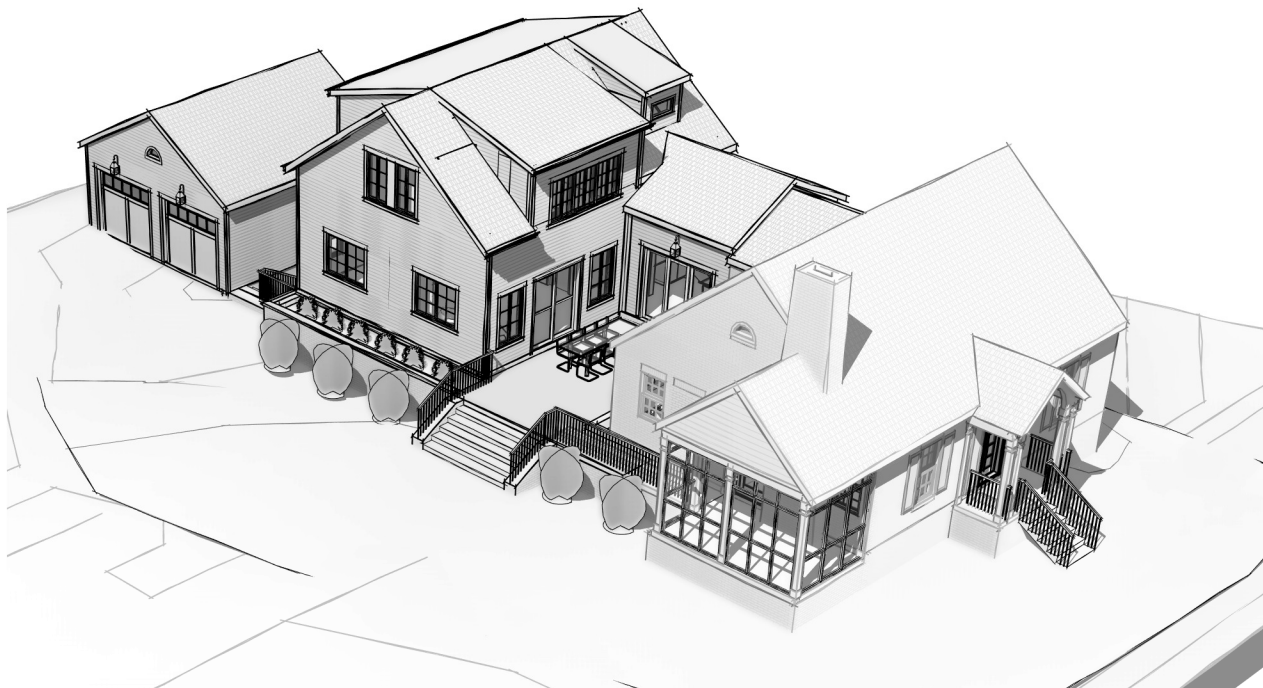
12/21/21  
HALRB REVIEW SET



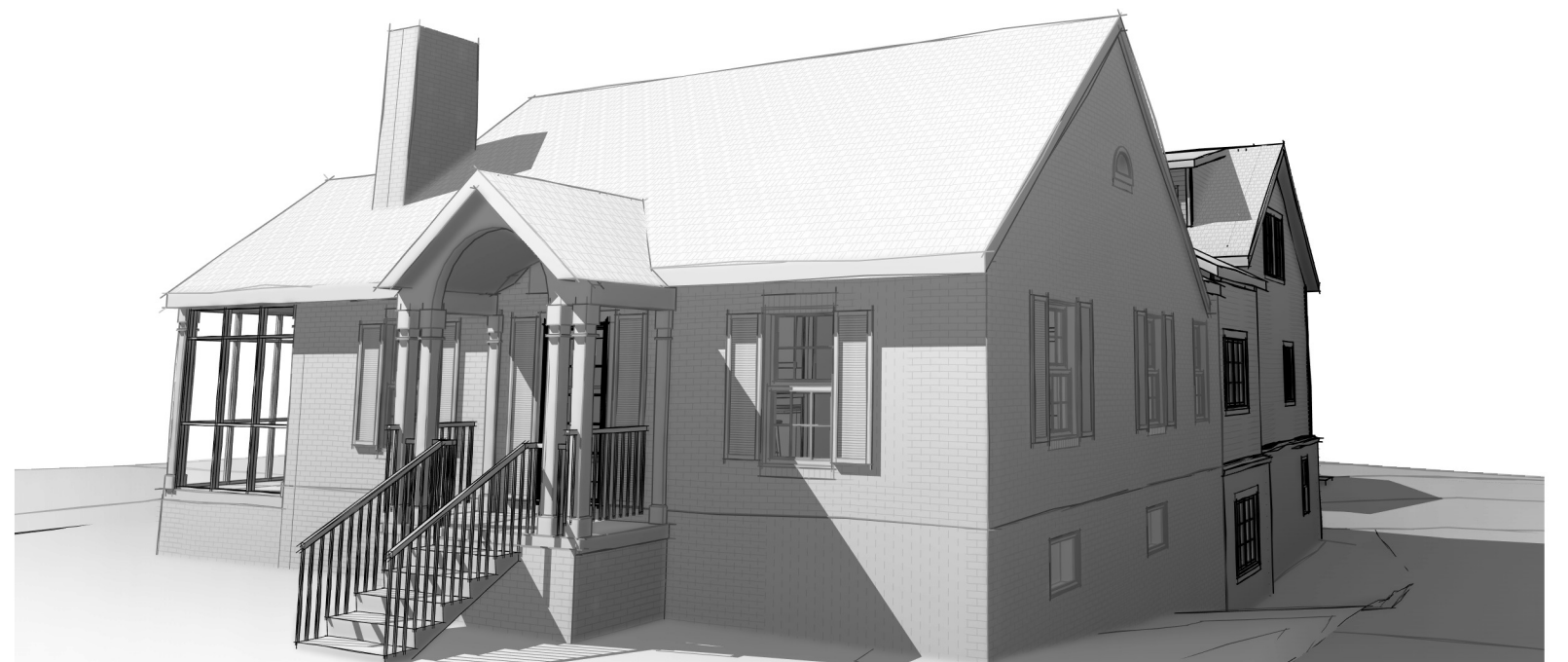
1 FRONT CORNER



2 REAR YARD



3 OVERHEAD



4 STREET VIEW

3421 21st AVE N  
ARLINGTON, VA 22207

**UCKERT RESIDENCE**

12/28/21

SCALE:

**LEEDESIGN.STUDIO**

6818 JACKSON AVE  
FALLS CHURCH, VA 22042

404.375.0733

MATT@LEEDESIGN.STUDIO