

# **Site Plan Review Committee (SPRC)**

## **Staff Report for 2608 Shirlington Road UCMUD Project**

There are multiple ways to provide feedback and input on the proposal, County Staff is happy to accept comments in any form. Please use any method listed below.

### **Mail-in Comments:**

Arlington County Planning Division c/o Kevin Lam  
2100 Clarendon Blvd. Suite 700  
Arlington, VA 22201

### **Contact Staff:**

*Contact the Arlington County Planning Staff reviewing this project either by phone or email*

Kevin Lam  
703-228-6982  
[klam@arlingtonva.us](mailto:klam@arlingtonva.us)

### **Contact the SPRC Chair:**

*The SPRC Chair is a member of the Planning Commission and conducts all SPRC meetings*

Nia Bagley  
[NiaBagley@yahoo.com](mailto:NiaBagley@yahoo.com)

- **SITE PLAN REVIEW COMMITTEE**

**DATE:** March 31, 2022  
**PLACE:** Site Plan Review Committee: UCMUD Review Meeting  
(Virtual) hosted on Microsoft Teams

**SPRC STAFF COORDINATOR:** Matthew Pfeiffer

**Item 1. 2608 Shirlington Road UCMUD (U-3612-21-1)**  
(RPC# 31-033-017, Parts of 31-033-080)  
Planning Commission and County Board meetings to be determined.  
*Kevin Lam (CPHD Staff)*

The Site Plan Review Committee (SPRC) is comprised of Planning Commission members, representatives from other relevant commissions and several appointed citizens. The SPRC reviews all site plans and major site plan amendments requests, which are submitted to the County Board and the Planning Commission for consideration. The major responsibilities of the SPRC are the following:

1. Review site plan or major site plan amendment requests in detail.
2. Advise the Planning Commission by recommending the appropriate action in regard to a specific plan and any conditions, which it might determine to be necessary or appropriate.
3. Provide a forum by which interested citizens, civic associations and neighborhood conservation committees can review and comment on a particular plan, or the effects that the proposed project might have on the neighborhood.

In order to save copying costs, staff has selectively chosen the reduced drawings to be included in this package. The complete full size drawings are available for review in the on the County's Webpage at <https://www.arlingtonva.us/Government/Projects/Project-Types/Use-Permit/2608-Shirlington-Road>

For more information on the Arlington County Planning Commission, go to their web site <http://commissions.arlingtonva.us/planning-commission/>

For more information on the Site Plan public review process, go to the Arlington County Planning Division's web site on Development Proposals/Site Plans [http://www.arlingtonva.us/Departments/CPHD/Planning/applications/site\\_plans/CPHDPlanningApplicationsSite\\_plansMain.aspx](http://www.arlingtonva.us/Departments/CPHD/Planning/applications/site_plans/CPHDPlanningApplicationsSite_plansMain.aspx)

To view the current Site Plan Review Committee schedule, go to the web site <http://commissions.arlingtonva.us/planning-commission/sprc/>

**2608 Shirlington Road (U-3612-21-1)**

2608 Shirlington Road (RPC# 31-033-017, Parts of 31-033-080)

**Public Review and Site Plan Review Committee (SPRC) Process:**

1. Site Plan Review Committee: UCMUD Review Meeting (Virtual) – March 31, 2022
  - Agenda topics:
    - Zoning Ordinance Compliance and Modifications
      - Density & Use
      - Building Placement
      - Building Height
      - Streetscape
      - Parking
      - Landscaping
    - Other

**Glossary of Terms:**

Area Median Income (AMI): The income at which half of the families of a particular household size have incomes higher and half have incomes lower.

By Right Development: May be approved administratively in the respective zoning district subject to all other applicable requirements of this zoning ordinance. Is not required to seek approval by the County Board.

Density: The ratio of a particular use given the area of land. Density measures the intensity of a given land use.

Floor Area Ratio (FAR): The gross floor area of all buildings on a lot divided by the lot area.

General Land Use Plan: The General Land Use Plan (GLUP) is the primary policy guide for future development in the County. The GLUP establishes the overall character, extent and location of various land uses.

Gross Floor Area: Gross floor area is the sum of the area of the horizontal surface of the several floors of a building measured from the exterior faces of exterior walls, to include all floor area not defined as gross parking area.

Arlington County Zoning Ordinance (ACZO): County adopted document that regulates the use and development standards of all land located within the County. There are various zoning districts within the zoning code and each district sets the standards for development. Examples of such requirements are: maximum heights, required parking, required setbacks, density, etc.

**SUMMARY:** The applicant, Shirlington Investments LLC, submitted a new Unified Commercial/Mixed Use Development (UCMUD) application for the development of a four-story residential building located at 2608 Shirlington Road.

Additional project details include:

- 30 residential units, including 3 affordable units
- At-grade parking garage, with 25 standard parking spaces and 10 tandem parking spaces (0.83 spaces/unit)
- Site area is 14,704 sf, including 1,081 sf of land requested to be acquired from the County
- Requested zoning modifications for reduced parking ratio and density exclusions

**Figure 1. Rendering Views from Shirlington Road**



**BACKGROUND:** The following provides additional information about the site and location.

- Existing site: The 0.34-acre (14,704 square foot) site is currently vacant and partially developed with gravel and asphalt surface parking.
- Neighborhood: The subject site is within the Green Valley Civic Association. The site is bounded by Shirlington Road to the east.
- To the north: One and two-story commercial businesses zoned C-2 Service Commercial-Community Business District.
- To the east: Vehicle sales and service establishments zoned M-1 Light Industrial District.
- To the west: Townhomes zoned RA14-26 Multiple-family Dwelling District.

To the south: One and two-story commercial businesses zoned C-2 Service Commercial-Community Business District.

Zoning: C-2, Service Commercial-Community Business District; RA14-26, Multiple-family Dwelling District.

GLUP Designation: “Low” Office-Apartment-Hotel (up to 72 dwelling units per acre); Low-Medium Residential (16-36 dwelling units per acre).

**Figure 2. Site Location**



Figure 3. Aerial View of Subject Property



Figure 4. Street View from Shirlington Road



**Development Potential:**

<b>Site Area:</b> 14,704 sf (0.34 acre)	<b>Density Allowed for Proposed Uses</b>	<b>Maximum Development</b>
By-right: C-2 District		
14,704 sf (0.34 acre)	One-family dwelling unit	2 dwelling units
	All other uses (1.5 FAR)	22,056 sf GFA
Special Exception UCMUD: C-2 District		
14,704 sf (0.34 acre)	Residential (2.0 FAR)	29,408 sf GFA
	Residential and commercial (2.0 FAR)	29,408 sf GFA

**Proposed Development:**

- 4-story residential building
- 30 residential units, including 3 affordable units
- At-grade parking garage, with 25 standard parking spaces and 10 tandem parking spaces (0.83 spaces/unit)
- Requested zoning modifications for reduced parking ratio and density exclusions

The following provides a statistical summary for the proposed UCMUD.

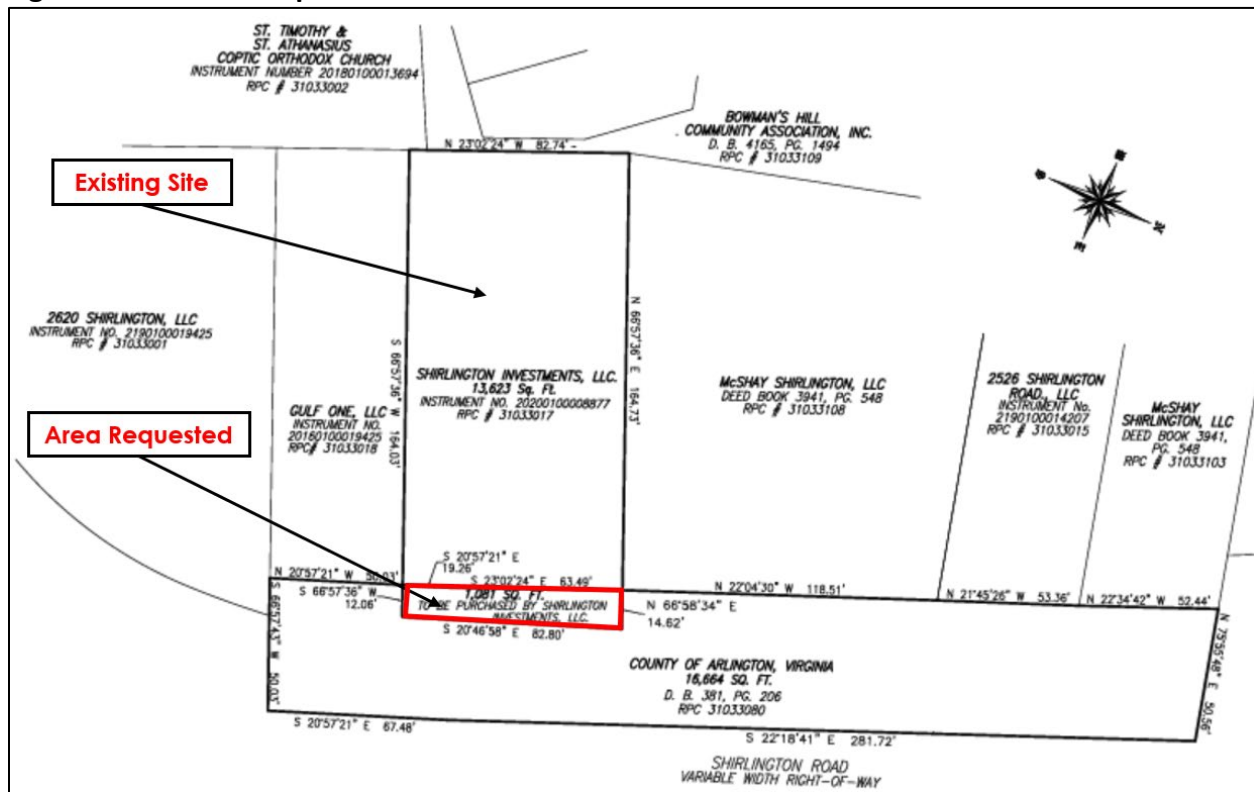
<b>U-3612-21-1 - 2608 Shirlington Road</b>	
Site Area	14,704 sf (0.34 acre)
<b>Density</b>	
Residential Units	30 units
Affordable Units	3 units
Total GFA	29,217 sf
Residential GFA	29,217 sf
Parking GFA	11,023 sf
Exclusions	586 sf
Residential Density	1.99 FAR
Base Density	1.49 FAR
Bonus Density (Affordable Housing)	0.5 FAR
UCMUD Residential Density Permitted <sup>1</sup>	2.0 FAR
<b>Building Height</b>	
Average Site Elevation (ASE)	85.17 ft
Main Roof Height (from ASE)	42.03 ft
Roof Structure Height (from ASE)	59.03 ft
UCMUD Maximum Main Roof Height Permitted (from ASE)	45.00 ft
Adjoining Curb Grade (ACG)	72.08 ft
Main Roof Height (from ACG)	55.11 ft
Roof Structure Height (from ACG)	72.11 ft
UCMUD Maximum Height Permitted (from ACG)	56.00 ft
Number of Stories	4 stories



UCMUD Stories Permitted	5-8 stories
<b>Parking</b>	
Total Parking Spaces	25 spaces
Residential Parking Spaces	25 spaces
Tandem Parking Spaces <sup>2</sup>	10 spaces
Proposed Parking Ratio	0.83 space per unit
ACZO Required Residential Parking Ratio	1.125 spaces per unit
<b>Green Building</b>	
LEED Certification	Earthcraft Gold
Notes:	
<sup>1</sup> Per ACZO Section 10.2.4.L., for projects with at least 1.0 F.A.R. of housing, up to an additional 0.5 F.A.R. of density shall be allowed if the project contains a total of 10 percent or more of its total housing units as affordable dwelling units, pursuant to the definition of affordable dwelling units in use by the county at the time of the application. However, under no circumstances may the total F.A.R. of all uses on the site exceed 2.0. <sup>2</sup> Tandem parking space do not contribute to parking ratio calculation.	

**Vacation Request:** As part of the proposed development, the applicant has submitted an application to acquire 1,081 sf from County parcel RPC #31-033-080, which will be considered by the County Board concurrent to the UCMUD project.

**Figure 5. Vacation Request Area**



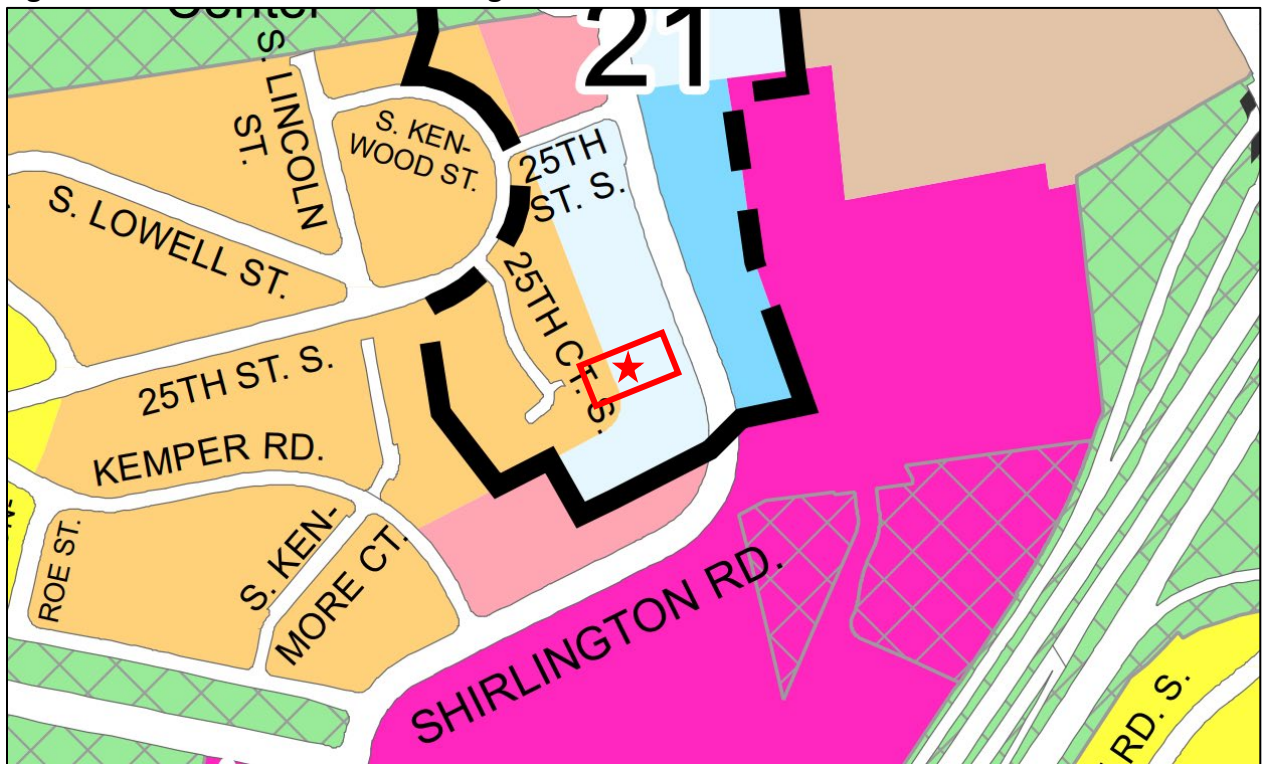
**DISCUSSION:**

**Adopted Plans and Policies:** The following regulations, plans, and guiding documents are applicable to development on this site:

- General Land Use Plan (GLUP)
- Unified Commercial/Mixed Use Development (UCMUD) Zoning Ordinance Regulations
- Green Valley Village Center Action Plan


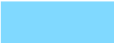
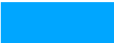
**GLUP:** The site is designated “Low” Office-Apartment-Hotel (up to 72 dwelling units per acre) and Low-Medium Residential (16-36 dwelling units per acre). The site is also located in the Green Valley Village Center Special Revitalization District (GLUP Note #21).

**Figure 6. General Land Use Plan Designation**



**Land Use Designation\*      Range of Density/Typical Use      Zoning\*\***

**Office-Apartment-Hotel**

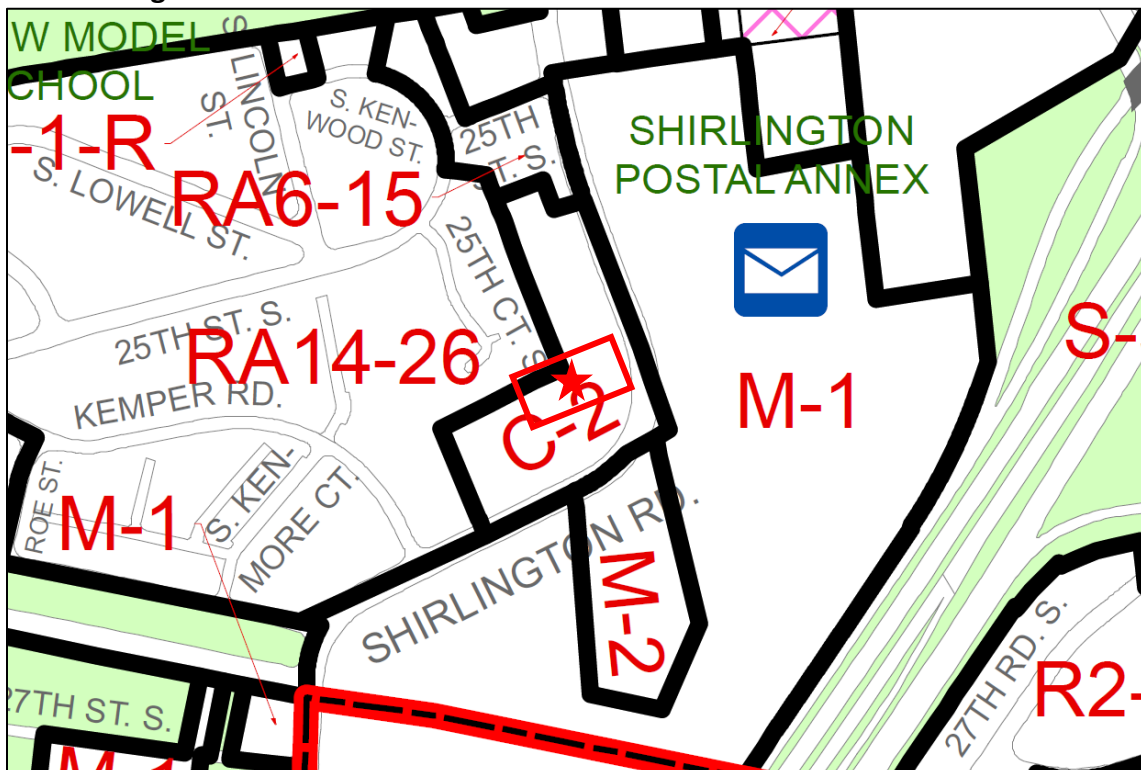
		Office Density	Apartment Density	Hotel Density	
	Low	Up to 1.5 F.A.R.	Up to 72 units/acre	Up to 110 units/acre	C-O-1.5, C-O-1.0
	Medium	Up to 2.5 F.A.R.	Up to 115 units/acre	Up to 180 units/acre	C-O-2.5
	High	Up to 3.8 F.A.R.	Up to 4.8 F.A.R.	Up to 3.8 F.A.R.	C-O, C-O Crystal City, C-O Rosslyn, RA-H-3.2

### Residential

	Low	1-10 units per acre	R-20, R-10, R-10T, R-8, R-6, R-5
	Low	11-15 units per acre	R2-7, R15-30T
	Low-Medium	16-36 units per acre	R15-30T, RA14-26, RA8-18
	Medium	Up to 37-72 units per acre	RA7-16, RA6-15, RA-H
	High-Medium	Up to 3.24 F.A.R. (Floor Area Ratio) Residential	RA-4.8
	High	Up to 4.8 F.A.R. Residential Up to 3.8 F.A.R. Hotel	RA-H-3.2, C-O Rosslyn

**UCMUD Zoning Ordinance Regulations:** In 2003, the County Board adopted a zoning ordinance amendment to permit a new category of special exception use permits within C-2 and C-3 zoning districts with the intent of encouraging pedestrian scale, mixed use development while revitalizing existing commercial areas and preserving local businesses. The UCMUD regulations were created to provide a special exception use permit option for future development in C-2 and C-3 zoning districts in areas which do not have other area specific zoning tools in place. As established in ACZO Section 10.2.4., the County Board may approve UCMUD projects within the Green Valley Village Center Special Revitalization District that meet certain development standards such as density, building placement, heights, landscaping and streetscape.

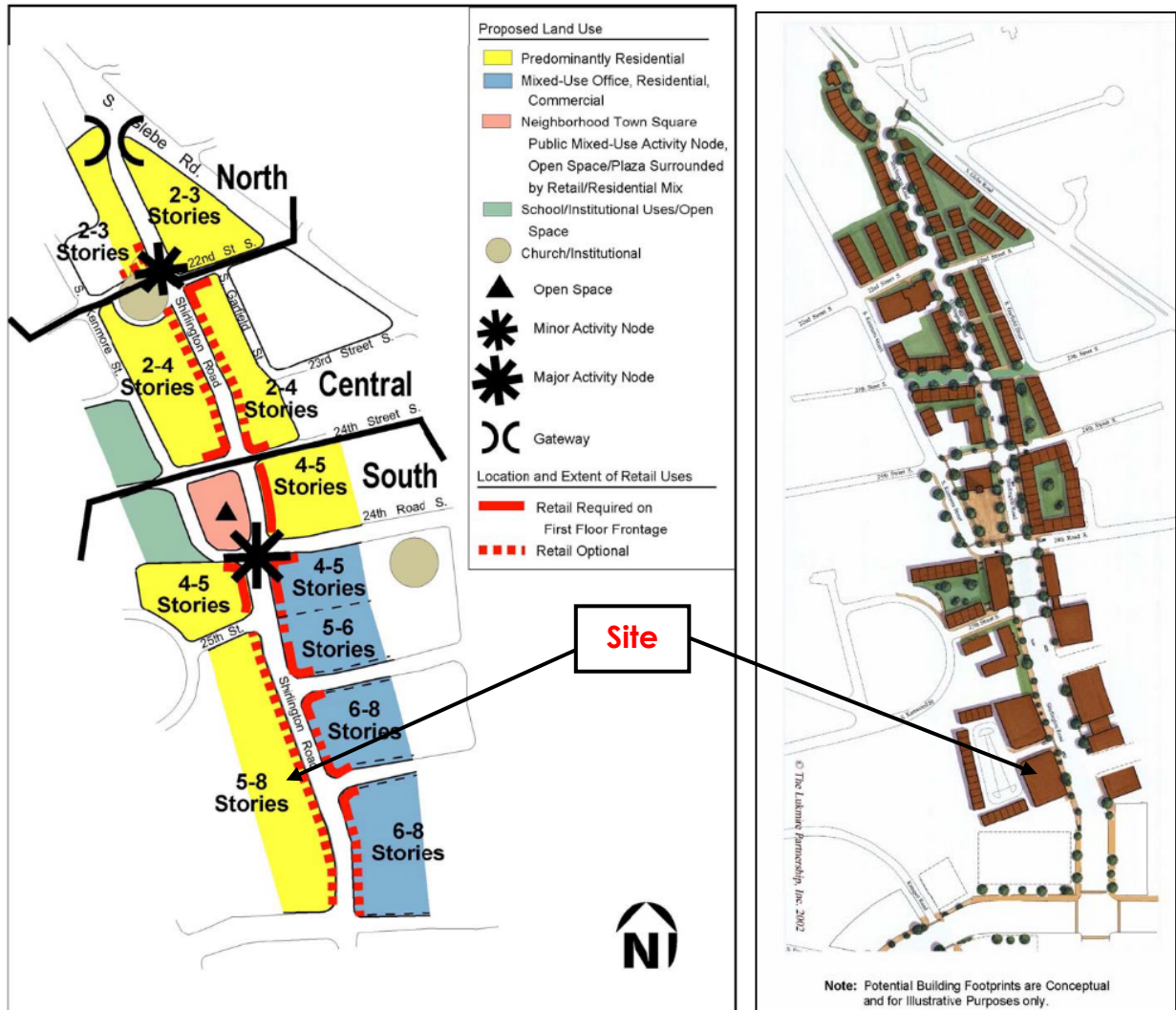
Figure 7. Zoning



Since the site is zoned C-2, Service Commercial-Community Business District, the project will be reviewed according to the development standards of ACZO Section 10.2.4. The zoning ordinance checklist on page 13 shows how the proposed UCMUD complies with the applicable regulations.

Unlike site plans which typically have greater flexibility in terms of development standards, UCMUD projects are processed as a use permit and reviewed according to certain development standards codified in the ACZO. These development standards seek to emphasize predictability and consistency in terms of the built-form, architectural style and streetscape design. Therefore, UCMUD projects can be considered more similar to form-based code projects, such as those in the Columbia Pike Special Revitalization District. However, unlike Columbia Pike form-based code projects, UCMUD projects are reviewed by the UCMUD Review Committee, which is comprised of members of the SPRC. UCMUDs are also subject to separate Administrative Regulations for UCMUD Use Permit Applications.

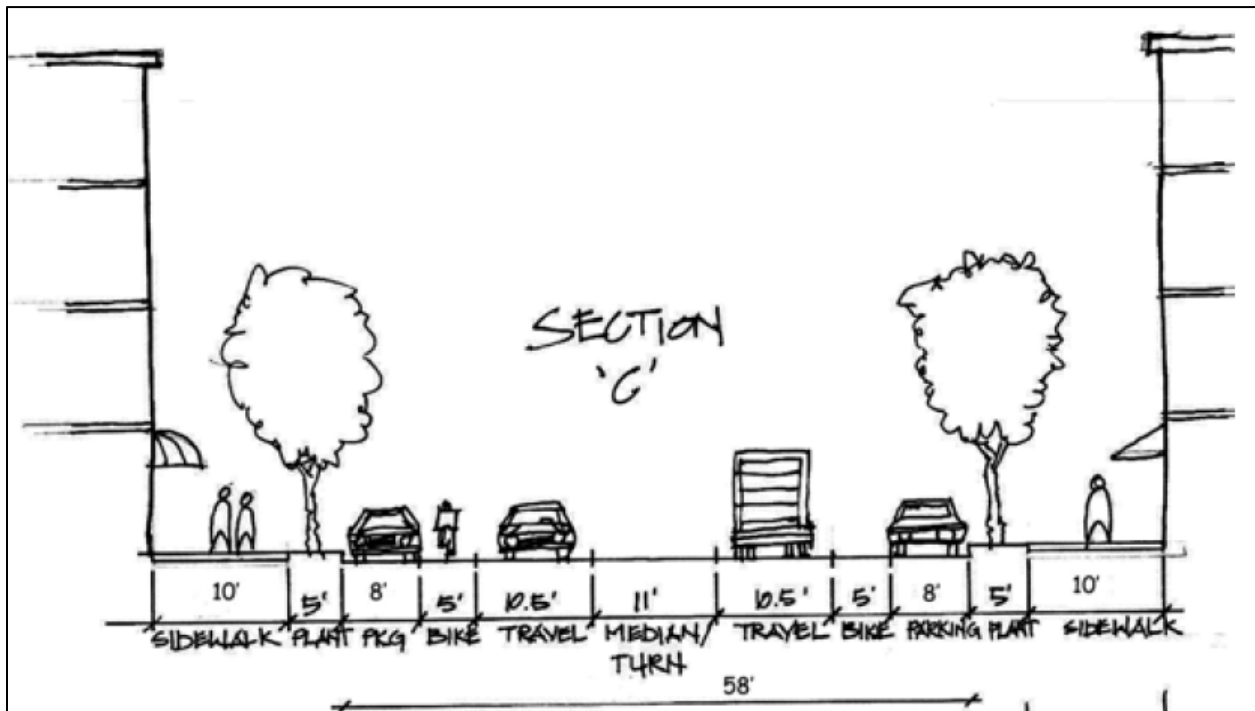
**Figure 8. Green Valley Village Center Action Plan Concept Plan (left), Illustrative Plan (right)**



**Green Valley Village Center Action Plan:** The site is located within the boundaries of the Green Valley Village Center Action Plan. Adopted in 2004, the plan outlines a vision for revitalizing the Green Valley community by encouraging mixed-use, pedestrian-friendly development centered around the John Robinson Jr. Town Square. The plan establishes various development standards and urban design guidelines to provide a framework for future growth along Shirlington Road, including:

- Residential or mixed-use buildings of 5-8 stories on the west side of Shirlington Road south of the Town Square
- Additional density incentives for the provision of on-site affordable housing
- Buildings should consist predominantly of masonry or wood and respect neighborhood styles
- Buildings south of 22<sup>nd</sup> Street should be placed at the back of the sidewalk
- Streetscape should consist of a 10-foot clear sidewalk and a 5-foot planting strip
- Streetscape elements should include furniture, street trees, concrete pavers and lighting

**Figure 9. Green Valley Village Center Action Plan: Shirlington Road (South of 24<sup>th</sup> Road) Cross Section**



**Density and Use:** The Green Valley Village Center Special Revitalization District permits UCMUDs with a combined residential and commercial density of up to 2.0 FAR. On block faces identified as “Retail Optional” in the plan, residential density of up to 1.5 FAR is permitted. An additional 0.5 FAR of density is allowed if the project contains 10% or more of its total housing units as affordable units. The applicant is proposing a 30-unit residential building with a base density of 1.487 FAR. Since the site is located on a “Retail Optional” block, the applicant is

Figure 10. UCMUD Zoning Ordinance Checklist

	Green Valley Village Center Special Revitalization District ("C-2", "C-3")	Proposed UCMUD – 2608 Shirlington Road	Compliant (✓)
<b>DENSITY &amp; USE</b>			
Residential & Commercial (Max)	2.0 FAR <sup>1</sup>	1.987 FAR	✓
Residential (Max)	1.5 FAR ("Retail Optional" Block)	1.487 FAR	✓
<b>PLACEMENT &amp; ORIENTATION (&amp; MASSING)</b>			
Buildings Sited to Build-to Lines	Back of Sidewalk <sup>2</sup>	Back of Sidewalk	✓
Minimum % of Façade Immediately Adjacent to Back of Sidewalk	75% (Streets Designated as Arterial in MTP & Shirlington Rd.)	59%	No
Minimum Building Setback for Parcels Adjacent to "R" District	20 ft.	21.5 ft.	✓
<b>STREETSCAPE</b>			
Periphery of Site Fronting on public R-O-W landscaped with curb, gutter, sidewalk, street lighting, street furniture and other elements	Cover Entire Area from FOC to FOB & Relevant Block Frontages Conform to Streetscape & Streetscape Standards of the Green Valley Village Center Action Plan	10 ft sidewalk, 5 ft planting strip	✓
Streetscape Improvements for Sites Within Area Of A Sector Plan, Station Area Plan, Or Special Revitalization District	Consistent with Green Valley Village Center Action Plan	TBD	No
<b>PARKING &amp; LOADING</b>			
Location Of Surface And/Or Structured Parking And Loading Areas	Rear or Side of Buildings	Rear and Side of Building	✓
Screening of Parking Area Abutting "R" District with "Low" GLUP Designation	6 ft. Solid Wall Ht.	Solid wall	✓
Façade Treatment of At or Above Grade Parking within a Structure	Consistent Materials & Design with Building Façade of larger Building Structures. <sup>3</sup>	Garage door screening	✓
<b>Automobile Parking Spaces</b>			
Parking for Residential Projects or residential Portions of Projects	1 1/8 (1.125) spaces per DU	0.83 spaces per DU	No
Modifications of Use Permitted	With County Board approval, some or all parking requirements may be provided through off-site committed parking, on-street parking, cash contributions for public parking purposes or other similar mechanisms, when found not to have an adverse affect on the surrounding neighborhood and will contribute to a better transportation system in the area.	Modification for reduced parking.	
<b>TRASH COLLECTION &amp; STORAGE AREAS</b>			

<sup>1</sup> Development fronts on block face identified as "Retail Required" or "Retail Optional" in the Green Valley Village Center Action Plan.

<sup>2</sup> Build-to Line determined through use permit approval.

<sup>3</sup> Structured parking above a level of ground floor retail may extend to the build-to line provided it has this façade treatment.

**Figure 10. UCMUD Zoning Ordinance Checklist**

	<b>Green Valley Village Center Special Revitalization District ("C-2", "C-3")</b>	<b>Proposed UCMUD – 2608 Shirlington Road</b>	<b>Compliant (✓)</b>
Inside Main Building or In Designated Area Outside the Structure		Inside Main Building	✓
<b>BUILDING HEIGHT</b>			
Maximum Building Height (Excluding Penthouse)	45 ft.	42.03 ft.	✓
<b>NUMBER OF STORIES</b>			
Maximum Number of Stories – Projects South of 24 <sup>th</sup> Street South	5 Stories (With Total Building Height Not to Exceed 56 ft Measured from the Adjoining Curb Grade Along Shirlington Rd)	4 Stories (55.11 ft. Measured from the Adjoining Curb Grade Along Shirlington Rd)	✓
<b>BUILDING ENTRANCES</b>			
Location of Primary Entrances	Shirlington Road	Shirlington Road	✓
<b>LANDSCAPING</b>			
Minimum % of Total Site to be Landscaped – Site Area of 20,000 sq ft or Less	10%	10%	✓
<b>BONUS DENSITY</b>			
Affordable Housing (ADUs),	0.5 FAR (max) <sup>4</sup>	0.5 FAR	✓

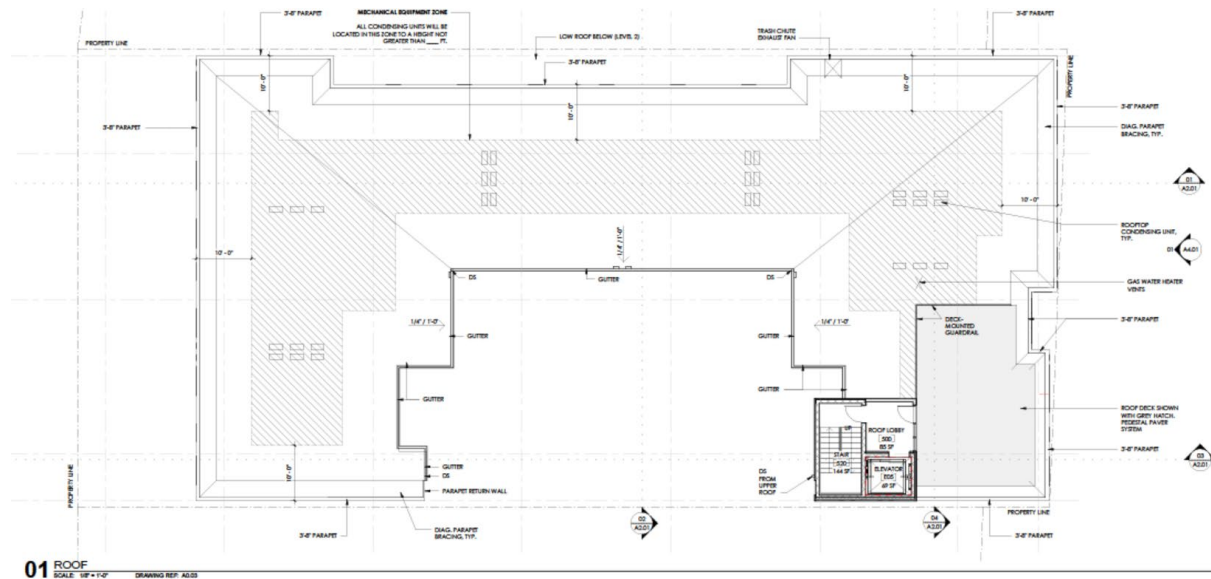
<sup>4</sup> Project must have at least 1.0 of residential FAR and at least 10% or more of its housing units as affordable. Total FAR may not exceed 2.0 FAR.

setting aside 3 units as affordable (10% of total units) for an additional 0.5 FAR of density. As a result, the total density of the UCMUD is 1.987 FAR.

**Figure 11. Proposed Floor Plans**



**Figure 12. Proposed Roof Plan**



**Building Placement and Layout:** The applicant proposes a 4-story residential building with at-grade garage parking. Approximately 59% of the building's frontage abuts the back of the sidewalk on Shirlington Road, which is less than the required 75%. The building has side



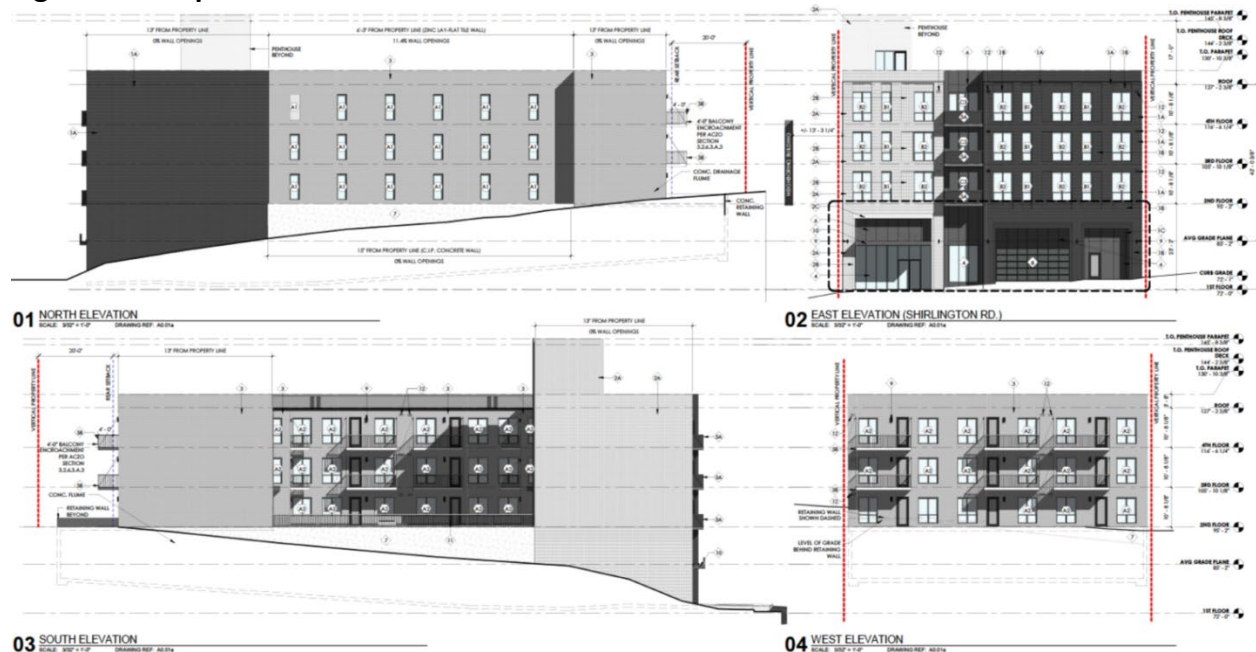
setbacks of 1.25 feet and a rear setback of 21.5 feet from the rear property line. The front balconies encroach 1.6 feet into the public right-of-way, while the rear balconies encroach 4 feet into the rear setback. The building also includes a courtyard terrace and pool on the second floor and a small rooftop deck. The rooftop deck will be accessed via a roof structure that does not contribute to additional residential floor space.

**Figure 13. Rendering Views of Courtyard (left) and from Shirlington Road (right)**



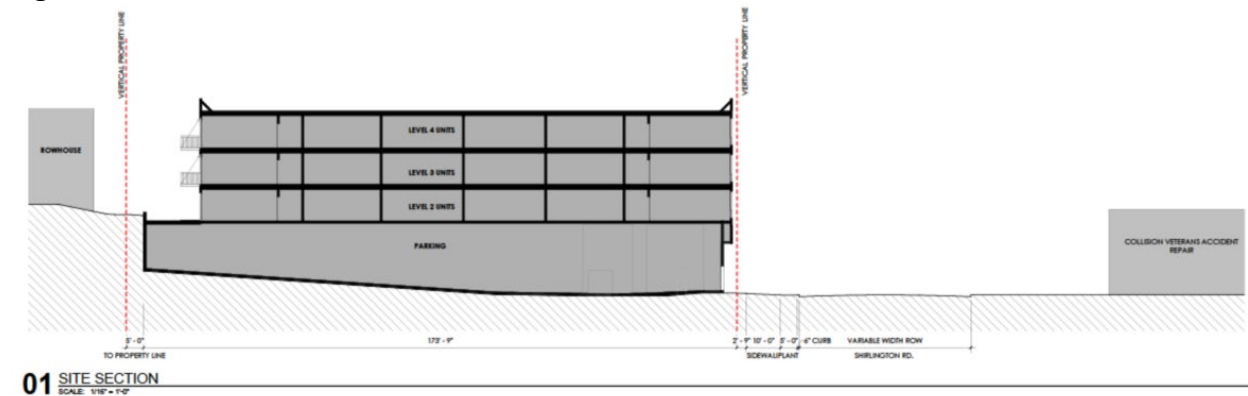
**Building Height:** The proposed building height is 42.03 feet as measured from the average site elevation. Given the sloped topography of the site, the proposed building height is 55.11 feet as measured from the adjoining curb grade. In addition, the building will have a 17-foot roof structure which will provide access to the rooftop deck.

**Figure 14. Proposed Elevations**



**Streetscape:** The proposed streetscape will consist of a 10-foot clear sidewalk and a planting strip of at least 5 feet. Although the project meets the recommended sidewalk and planting strip width, the applicant will need to demonstrate compliance with the streetscape elements and urban design guidelines of the Green Valley Village Center Action Plan. These include providing improvements such as furniture, street trees, concrete pavers and lighting. In addition, as part of the County’s adopted Capital Improvement Plan FY 22-24, this section of Shirlington Road has been programmed for future public improvements. These improvements are intended to implement various adopted plans, such as the Green Valley Village Center Action Plan, the Four Mile Run Valley Plan, the Bicycle Element of the Master Transportation Plan and the Vision Zero Action Plan. The UCMUD project’s final streetscape design will align with the future cross section and curb-line of Shirlington Road.

**Figure 15. Site and Street Section**



**Figure 16. Parking Garage Layout**



**Parking:** The applicant is requesting a modification to the residential parking ratio per ACZO Section 10.2.4.D.3. The ACZO requires a parking ratio of 1.125 spaces per unit, or 34 parking spaces. The at-grade parking garage will consist of 25 standard parking spaces and 10 tandem parking spaces, for a reduced residential parking ratio of 0.83 spaces per unit. The 10 additional

tandem parking spaces are not factored into the residential parking ratio and will be marketed and made available to tenants of the 2-bedroom units. Pursuant to ACZO Section 10.2.4.D.3, the County Board may allow some or all of a project's parking requirement to be provided through the use of off-site committed, parking, on-street parking, cash contributions for public parking purposes, or other similar mechanisms. The site is located outside of a Metro corridor and is therefore not subject to the residential parking guidelines for multifamily projects. The parking garage will be accessed in the front of the building off of Shirlington Road. In addition, the applicant proposes a total of 12 bicycle parking spaces for residents and visitors.

**Landscaping:** The applicant is proposing a 1,531 sf landscaped area in the rear of the site. The majority of the landscape area is located on top of the parking garage and will consist of 8-inch deep planting trays. New trees are proposed to be planted in the rear yard between the property line and the parking garage retaining wall and 3 street trees are proposed to be planted on Shirlington Road. The courtyard will also have additional planting and shrubbery.

**Transportation:**

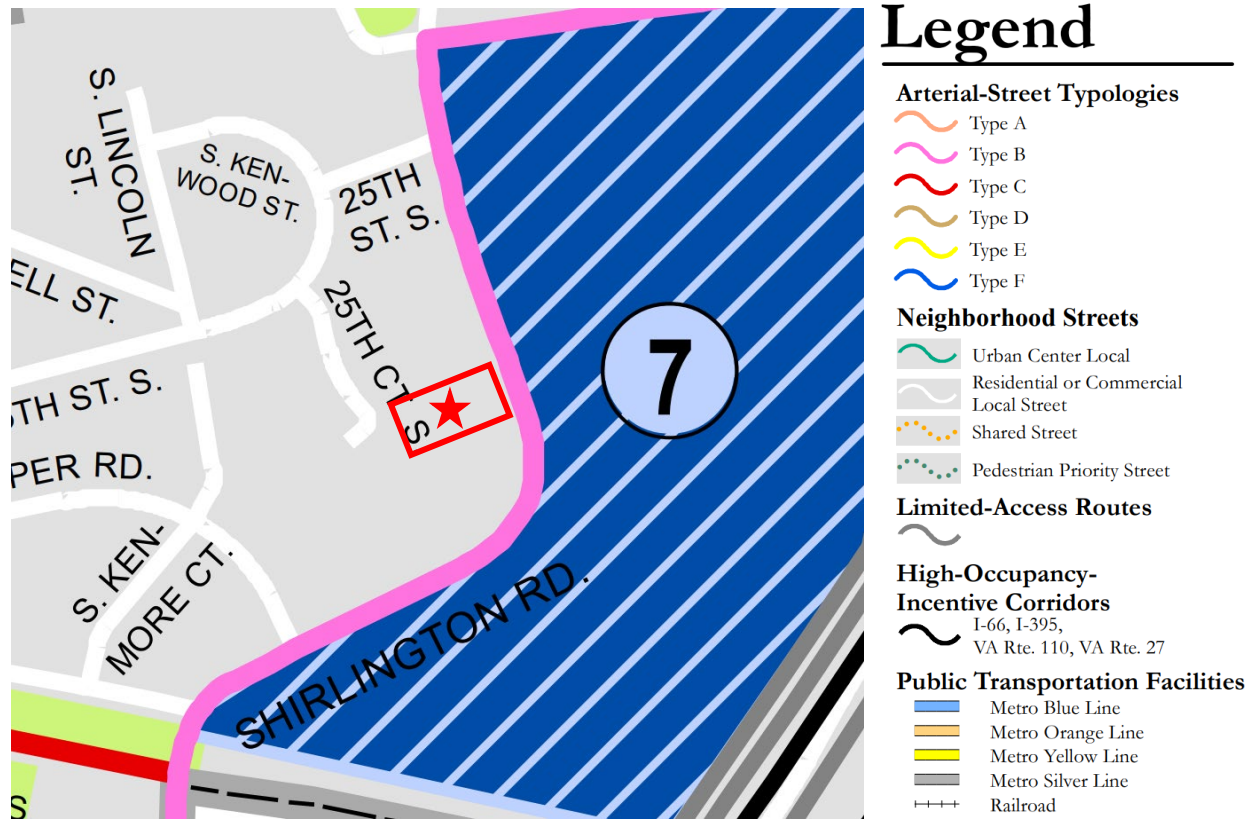
Existing Conditions: The site is bounded by Shirlington Road on the east. This section of Shirlington Road is a 3-lane street with 2 travel lanes and 1 turn lane. There is on-street parking on the west side of Shirlington Road and dedicated bike lanes in each direction. The existing sidewalk is 3 feet wide with a 3-foot planting strip. The Master Transportation Plan (MTP) identifies this section of Shirlington Road as a Type-B Primarily Urban Mixed-Use arterial, which recommends a 6 to 12-foot sidewalk with a 6-foot furniture zone/tree pits.

Future Street Configuration: While the applicant is not proposing any changes to the street configuration, this section of Shirlington Road has been programmed for future public improvements as part of the County's adopted Capital Improvement Plan FY 22-24. Potential future street improvements will include protected bicycle facilities as well as a 10-foot sidewalk and 6-foot planting strip on the west side of Shirlington Road.

Transit Service: An existing bus stop is located nearby at Shirlington Road and 25<sup>th</sup> Street South with MetroBus and Arlington Transit (ART) Bus service:

- MetroBus Routes 10B, 23A, 23B and 23T
- ART Route 87

Figure 17. Master Transportation Plan Map



**Site Access:** All vehicular access to the site will be from Shirlington Road via one curb cut, providing access to the parking garage. All parking, trash, and loading is to occur within the garage. Resident bicycle parking is also located in the garage. Pedestrian access to the building is off of the Shirlington Road frontage, where the main lobby entrance is to the west of the garage entry.

**Utilities:** Water and sanitary sewer connections to serve the development are proposed. The proposed development will be required to address site runoff through on-site stormwater management facilities.

**SPRC Neighborhood Members:**

Portia Clark	Green Valley Civic Association	<a href="mailto:portiaclark1@gmail.com">portiaclark1@gmail.com</a>
Chris Werner	Bowman's Hill Community Association	<a href="mailto:christopher.r.werner@gmail.com">christopher.r.werner@gmail.com</a>

**Planning Commissioner Chairing This Item:**

Nia Bagley – SPRC Chair      Planning Commission      [niabagley@yahoo.com](mailto:niabagley@yahoo.com)

**Staff Members:**

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Jane Kim                      DES - Transportation                      [jskim@arlingtonva.us](mailto:jskim@arlingtonva.us)

**Applicant Information:**

**Applicant/Owner**

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