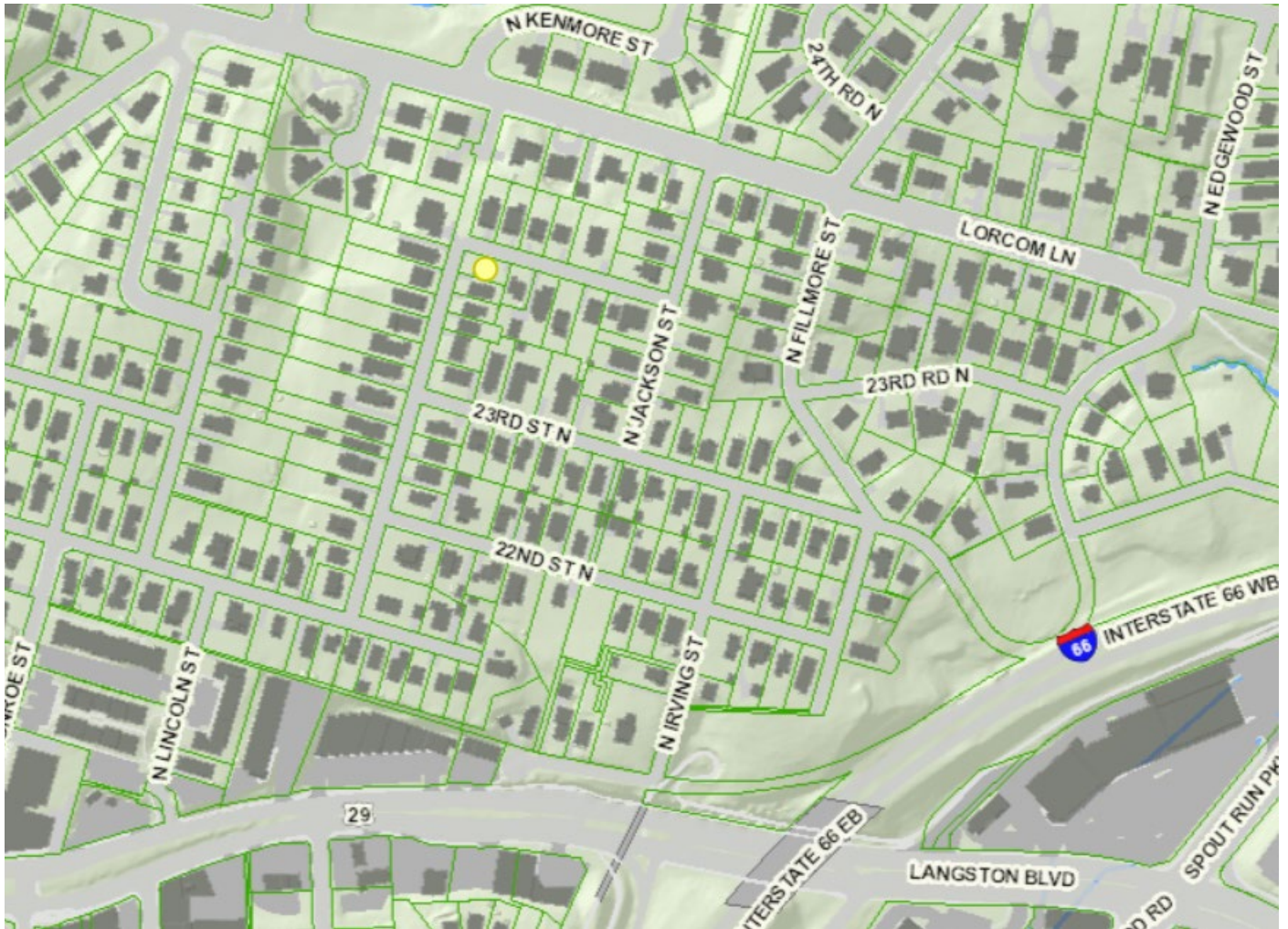


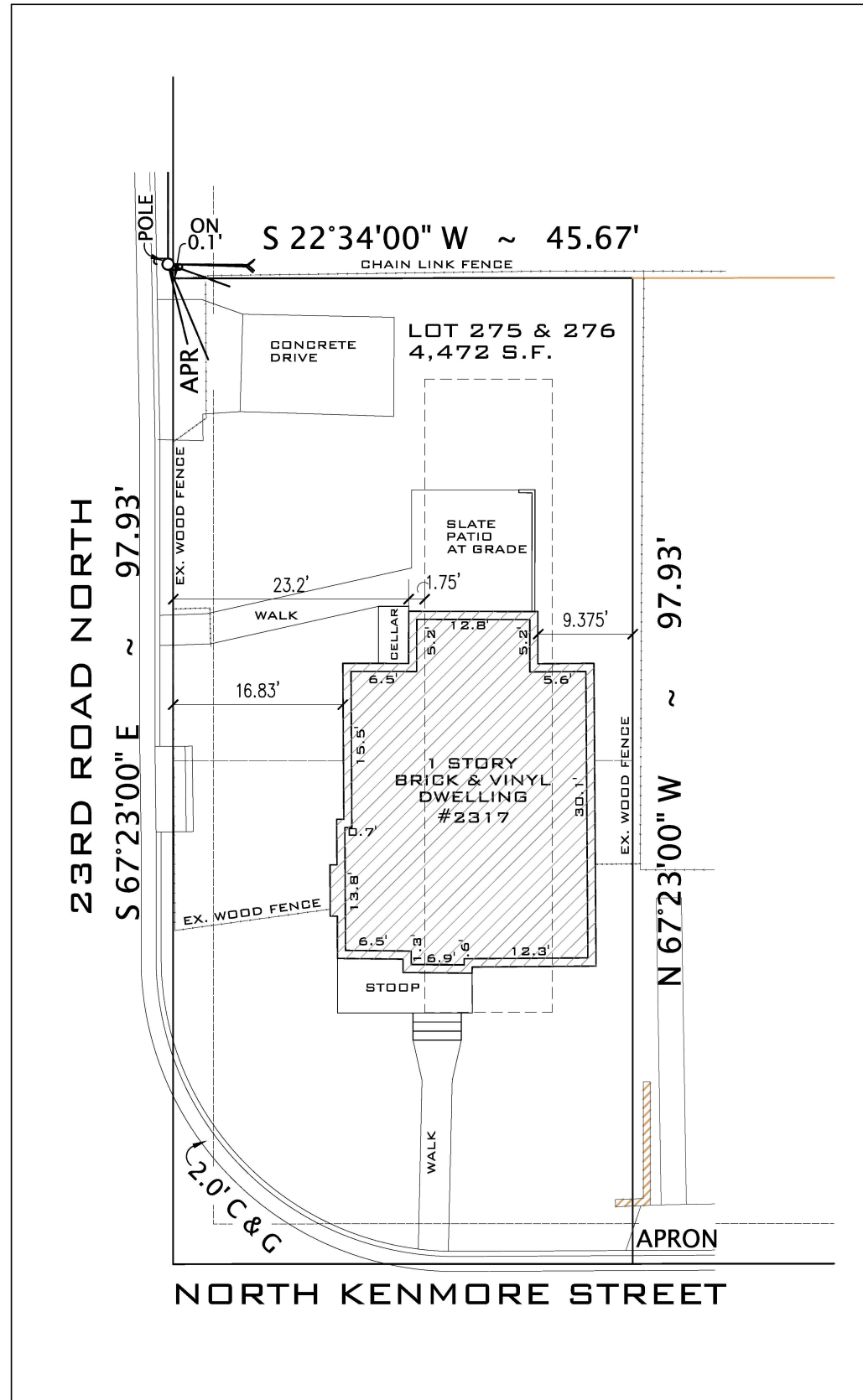
# Historical Affairs and Landmark Review Board

Arlington County, Virginia

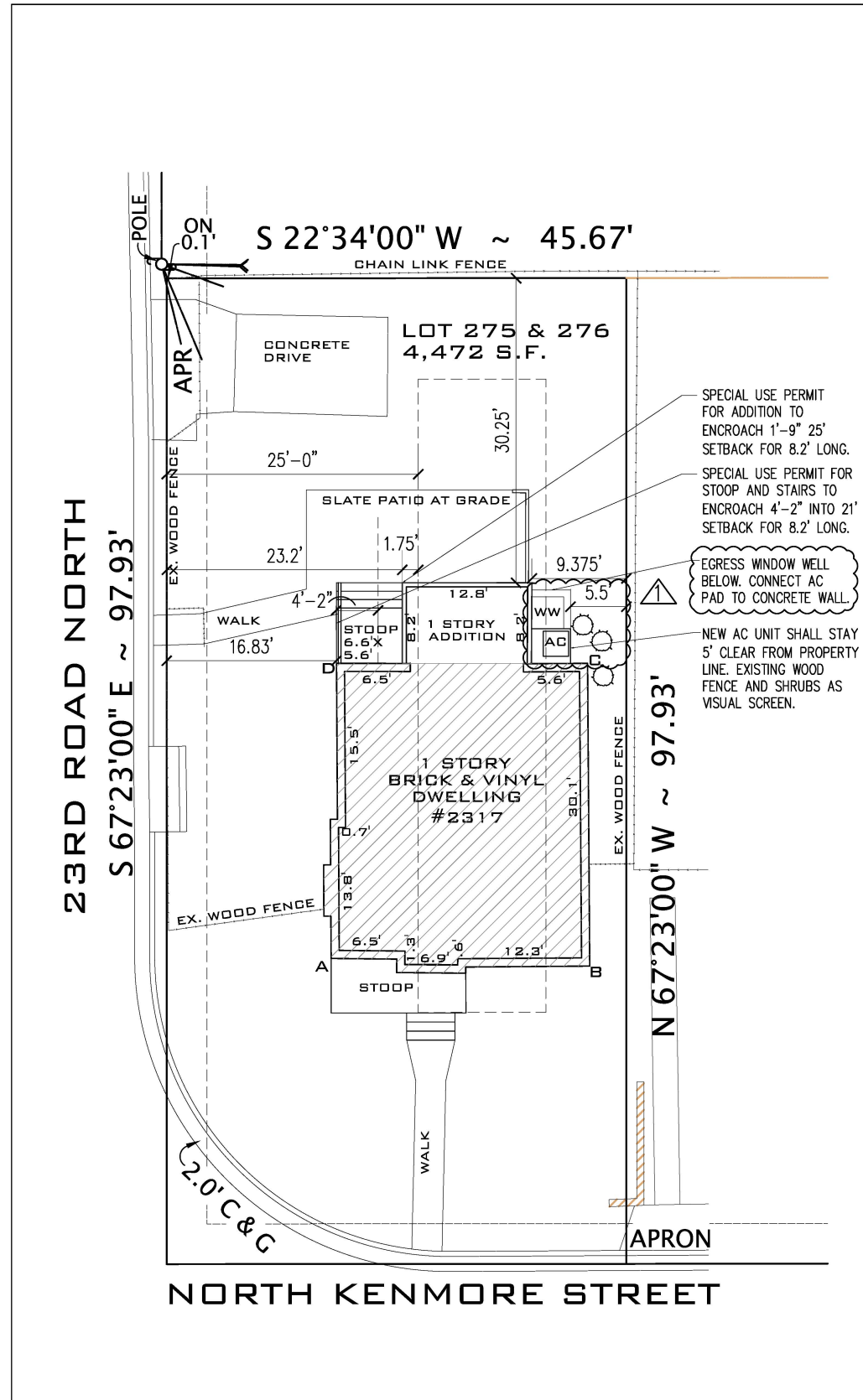


## HALRB Meeting February 15, 2023, CoA22-14A

**2317 N. Kenmore St.:** A request to modify CoA 22-14 to increase roof ridge height by 4' and add a dormer in rear.



**EXISTING SITE PLAN**  
 Scale: 1/16" = 1'-0"



**NEW SITE PLAN**  
 Scale: 1/16" = 1'-0"

SPECIAL USE PERMIT FOR ADDITION TO ENCROACH 1'-9" 25' SETBACK FOR 8.2' LONG.

SPECIAL USE PERMIT FOR STOOP AND STAIRS TO ENCROACH 4'-2" INTO 21' SETBACK FOR 8.2' LONG.

EGRESS WINDOW WELL BELOW. CONNECT AC PAD TO CONCRETE WALL.

NEW AC UNIT SHALL STAY 5' CLEAR FROM PROPERTY LINE. EXISTING WOOD FENCE AND SHRUBS AS VISUAL SCREEN.

**FITZHARRIS  
 DESIGNS**  
 ARCHITECTS + DESIGNERS

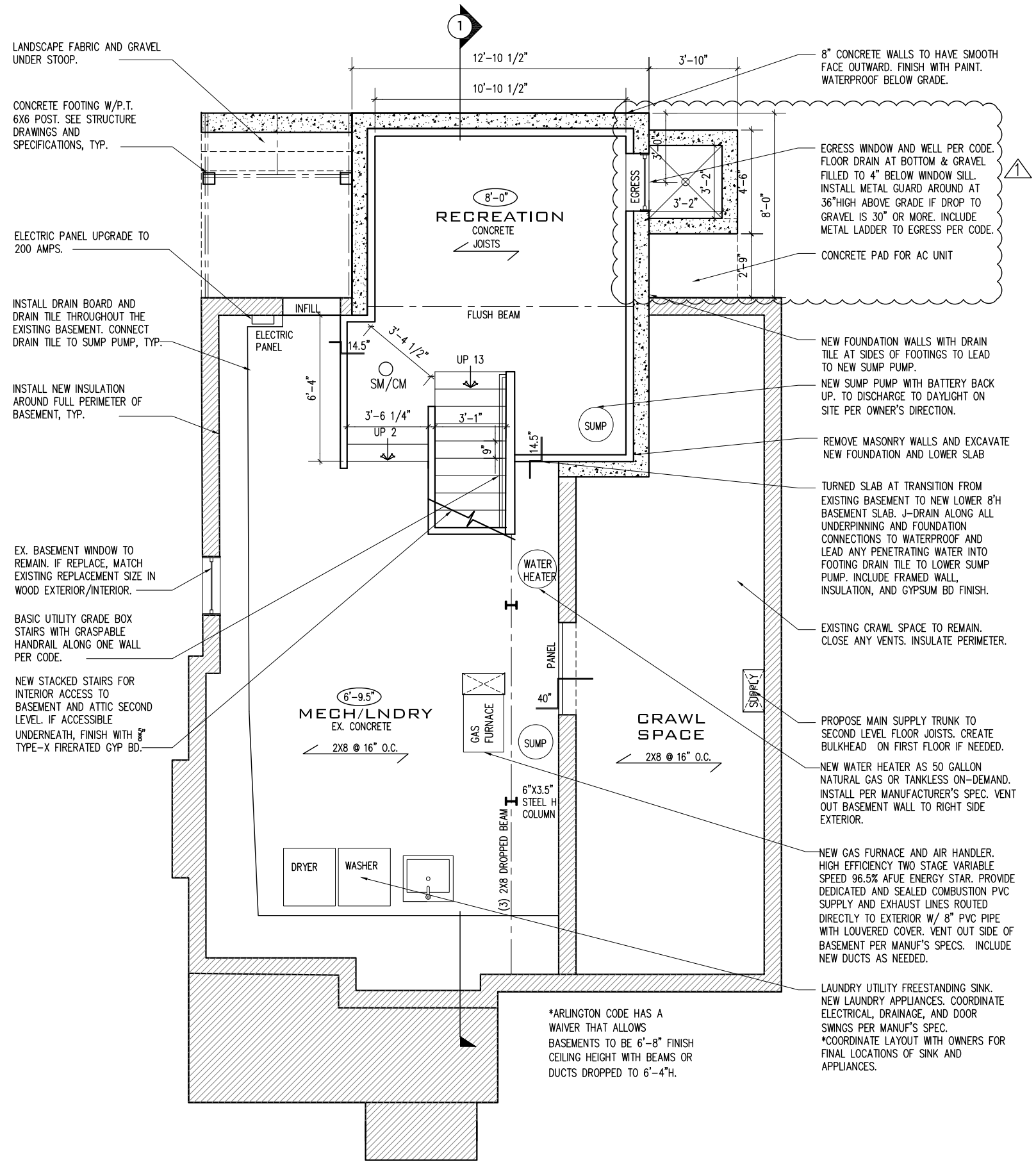
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**SCHMITT RESIDENCE**  
 2317 North Kenmore Street  
 Arlington, VA 22201  
 Renovation & Addition

Issue:	Date:
DRC	2022.04.20
REVISION 1	2023.01.15

SITE PLANS

**A001**



LANDSCAPE FABRIC AND GRAVEL UNDER STOOP.

CONCRETE FOOTING W/P.T. 6X6 POST. SEE STRUCTURE DRAWINGS AND SPECIFICATIONS, TYP.

ELECTRIC PANEL UPGRADE TO 200 AMPS.

INSTALL DRAIN BOARD AND DRAIN TILE THROUGHOUT THE EXISTING BASEMENT. CONNECT DRAIN TILE TO SUMP PUMP, TYP.

INSTALL NEW INSULATION AROUND FULL PERIMETER OF BASEMENT, TYP.

EX. BASEMENT WINDOW TO REMAIN. IF REPLACE, MATCH EXISTING REPLACEMENT SIZE IN WOOD EXTERIOR/INTERIOR.

BASIC UTILITY GRADE BOX STAIRS WITH GRASPABLE HANDRAIL ALONG ONE WALL PER CODE.

NEW STACKED STAIRS FOR INTERIOR ACCESS TO BASEMENT AND ATTIC SECOND LEVEL. IF ACCESSIBLE UNDERNEATH, FINISH WITH 5/8" TYPE-X FIRERATED GYP BD.

8" CONCRETE WALLS TO HAVE SMOOTH FACE OUTWARD. FINISH WITH PAINT. WATERPROOF BELOW GRADE.

EGRESS WINDOW AND WELL PER CODE. FLOOR DRAIN AT BOTTOM & GRAVEL FILLED TO 4" BELOW WINDOW SILL. INSTALL METAL GUARD AROUND AT 36" HIGH ABOVE GRADE IF DROP TO GRAVEL IS 30" OR MORE. INCLUDE METAL LADDER TO EGRESS PER CODE.

CONCRETE PAD FOR AC UNIT

NEW FOUNDATION WALLS WITH DRAIN TILE AT SIDES OF FOOTINGS TO LEAD TO NEW SUMP PUMP.  
NEW SUMP PUMP WITH BATTERY BACK UP. TO DISCHARGE TO DAYLIGHT ON SITE PER OWNER'S DIRECTION.

REMOVE MASONRY WALLS AND EXCAVATE NEW FOUNDATION AND LOWER SLAB

TURNED SLAB AT TRANSITION FROM EXISTING BASEMENT TO NEW LOWER 8'H BASEMENT SLAB. J-DRAIN ALONG ALL UNDERPINNING AND FOUNDATION CONNECTIONS TO WATERPROOF AND LEAD ANY PENETRATING WATER INTO FOOTING DRAIN TILE TO LOWER SUMP PUMP. INCLUDE FRAMED WALL, INSULATION, AND GYPSUM BD FINISH.

EXISTING CRAWL SPACE TO REMAIN. CLOSE ANY VENTS. INSULATE PERIMETER.

PROPOSE MAIN SUPPLY TRUNK TO SECOND LEVEL FLOOR JOISTS. CREATE BULKHEAD ON FIRST FLOOR IF NEEDED.

NEW WATER HEATER AS 50 GALLON NATURAL GAS OR TANKLESS ON-DEMAND. INSTALL PER MANUFACTURER'S SPEC. VENT OUT BASEMENT WALL TO RIGHT SIDE EXTERIOR.

NEW GAS FURNACE AND AIR HANDLER. HIGH EFFICIENCY TWO STAGE VARIABLE SPEED 96.5% AFUE ENERGY STAR. PROVIDE DEDICATED AND SEALED COMBUSTION PVC SUPPLY AND EXHAUST LINES ROUTED DIRECTLY TO EXTERIOR W/ 8" PVC PIPE WITH LOUVERED COVER. VENT OUT SIDE OF BASEMENT PER MANUF'S SPECS. INCLUDE NEW DUCTS AS NEEDED.

LAUNDRY UTILITY FREESTANDING SINK. NEW LAUNDRY APPLIANCES. COORDINATE ELECTRICAL, DRAINAGE, AND DOOR SWINGS PER MANUF'S SPEC.  
\*COORDINATE LAYOUT WITH OWNERS FOR FINAL LOCATIONS OF SINK AND APPLIANCES.

\*ARLINGTON CODE HAS A WAIVER THAT ALLOWS BASEMENTS TO BE 6'-8" FINISH CEILING HEIGHT WITH BEAMS OR DUCTS DROPPED TO 6'-4"H.

**NEW BASEMENT PLAN**

Scale: 3/16" = 1'-0"

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DESIGNS**  
ARCHITECTS + DESIGNERS

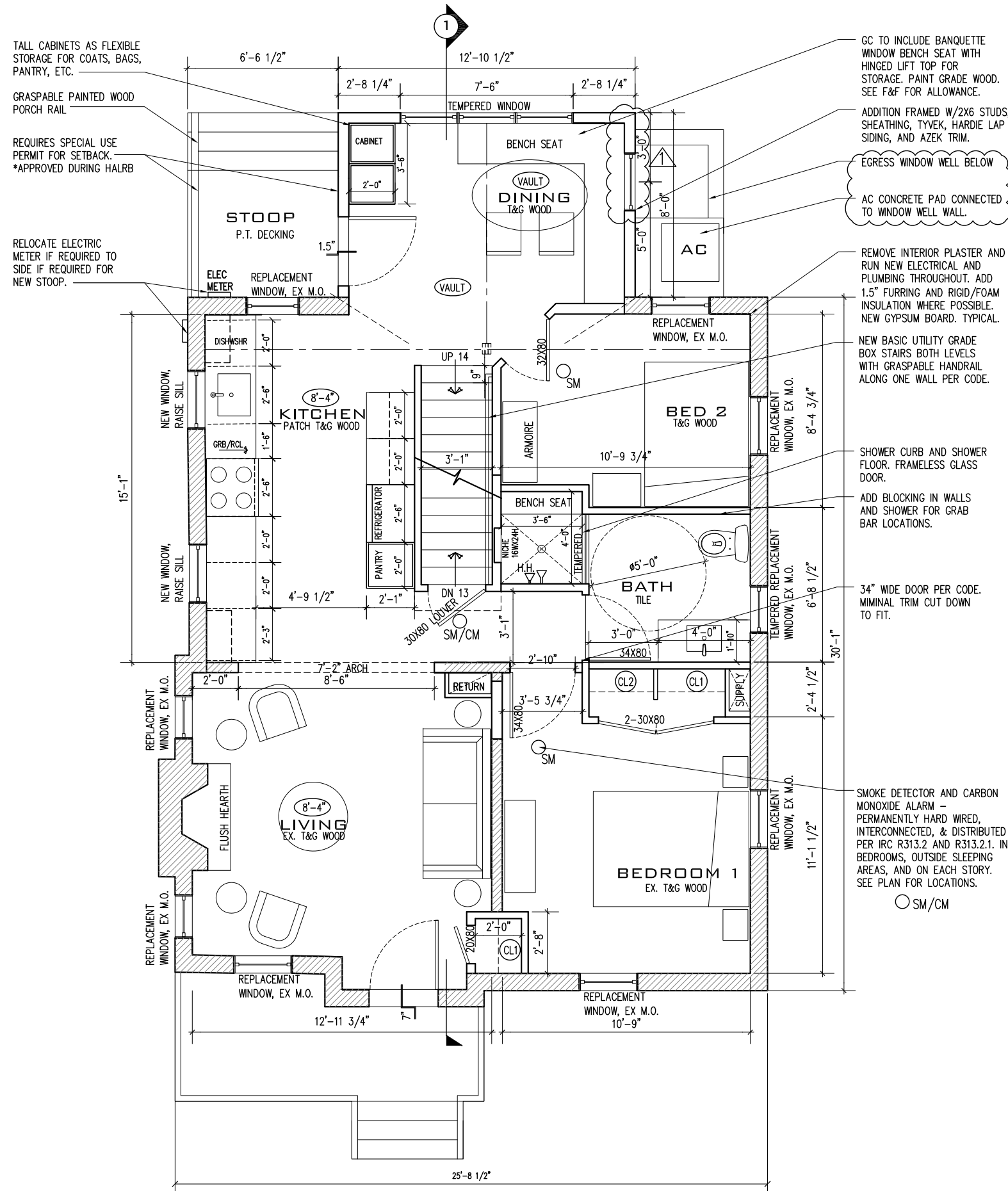
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NEW PLANS

**A101**



**GENERAL KITCHEN NOTES**

1. ALL CABINET END AND SIDE PANELS DEPTH SHALL FINISH FLUSH WITH FACE OF CABINET DOOR/DRAWER. ANY FILLER PANELS SHALL FINISH FLUSH WITH FACE OF CABINET DOOR FACE. CONTINUE TO FLOOR. NO RECESS TOE AT SIDES. NO SHOEMOLD ANYWHERE AT CABINETRY - SCRIBE BASE. TYPICAL.
2. INCLUDE HVAC SUPPLEMENTAL AIR IF REQUIRED BY CODE FOR EXHAUST CFM. COORDINATE W/APPLIANCE SPECS.

ALL GENERAL PLAN DIMENSIONS ARE SHOWN TO FRAMING. FINISHES AT EXTERIOR AND INTERIORS ARE ADDITIONAL. ENLARGE PLANS FOR CABINETRY SHOW FINISH/TOLERANCE/FILLER SPACE.

\*NO SHOEMOLD IN NEW AREAS. INSTALL FLOORING BEFORE BASE BOARD, CABINETS, & MILLWORK SO NO SHOEMOLD. TYPICAL AT ALL NEW FLOORING.

TYPICAL MILLWORK NOTE: GC TO PROVIDE PROFESSIONAL QUALITY PAINT GRADE WOOD WITH 1-1/2" SOLID STOCK AT EXPOSED FACE. \*NO QUARTER ROUND AT BASE OF MILLWORK OR CABINETS ANYWHERE. SCRIBE AS NEEDED.

**GENERAL BATHROOM NOTES**

1. RECESS SHAMPOO NICHE IN ALL SHOWER/TUBS AT 16"W BY 24"H. BOTTOM AT 42"H +/- ALIGN WITH TILE.
2. SHOWERS HEADS MOUNTED AT 84"H AND SHOWER CONTROLS AT 44"H.
3. PROVIDE BLOCKING IN WALL FOR ALL PLUMBING ACCESSORIES LIKE TOWEL BARS, HOOKS, TP HOLDER, ETC.
4. PROVIDE BLOCKING FOR GRAB BARS IN BATHROOM AND SHOWER. COORDINATE LOCATION WITH OWNERS.
5. TOILET PAPER HOLDER AT 28" H AND 32" CLEAR OF REAR WALL.
6. ROBE HOOKS AT 68"H.
7. TOWEL BARS AT 68"H IF ABOVE SOMETHING OR AT 42" IF SINGLE.
8. SINKS MUST BE 15" CLEAR OF SIDE WALL PER CODE.

**CLOSET KEY NOTES -**  
\*FINALIZE HEIGHTS WITH OWNERS

- (CL1) 1 HEAVY DUTY METAL ROD AT 64"H. (2) 16"D WD SHLVS ABV.
- (CL2) 2 HEAVY DUTY MTL RODS AT 38" & 80"H. (2) 16"D WD SHLVS ABV.
- (CL3) 5 PAINTED 16"D (UNLESS OTHERWISE NOTED) WOOD SHELVES WITH 1-1/2" THICK SOLID FACE.
- (CL4) ELFA SYSTEM OR SIMILAR. OWNER TO PURCHASE SEPARATELY.

GC TO INCLUDE BANQUETTE WINDOW BENCH SEAT WITH HINGED LIFT TOP FOR STORAGE. PAINT GRADE WOOD. SEE F&F FOR ALLOWANCE.

ADDITION FRAMED W/2X6 STUDS, SHEATHING, TYVEK, HARDIE LAP SIDING, AND AZEK TRIM.

EGRESS WINDOW WELL BELOW

AC CONCRETE PAD CONNECTED TO WINDOW WELL WALL.

REMOVE INTERIOR PLASTER AND RUN NEW ELECTRICAL AND PLUMBING THROUGHOUT. ADD 1.5" FURRING AND RIGID/FOAM INSULATION WHERE POSSIBLE. NEW GYPSUM BOARD. TYPICAL.

NEW BASIC UTILITY GRADE BOX STAIRS BOTH LEVELS WITH GRASPABLE HANDRAIL ALONG ONE WALL PER CODE.

SHOWER CURB AND SHOWER FLOOR. FRAMELESS GLASS DOOR.

ADD BLOCKING IN WALLS AND SHOWER FOR GRAB BAR LOCATIONS.

34" WIDE DOOR PER CODE. MINIMAL TRIM CUT DOWN TO FIT.

SMOKE DETECTOR AND CARBON MONOXIDE ALARM - PERMANENTLY HARD WIRED, INTERCONNECTED, & DISTRIBUTED PER IRC R313.2 AND R313.2.1. IN BEDROOMS, OUTSIDE SLEEPING AREAS, AND ON EACH STORY. SEE PLAN FOR LOCATIONS.

○ SM/CM

TALL CABINETS AS FLEXIBLE STORAGE FOR COATS, BAGS, PANTRY, ETC.

GRASPABLE PAINTED WOOD PORCH RAIL

REQUIRES SPECIAL USE PERMIT FOR SETBACK. \*APPROVED DURING HALRB

RELOCATE ELECTRIC METER IF REQUIRED TO SIDE IF REQUIRED FOR NEW STOOP.

**NEW FIRST FLOOR PLAN**

Scale: 3/16" = 1'-0"

**FITZHARRIS  
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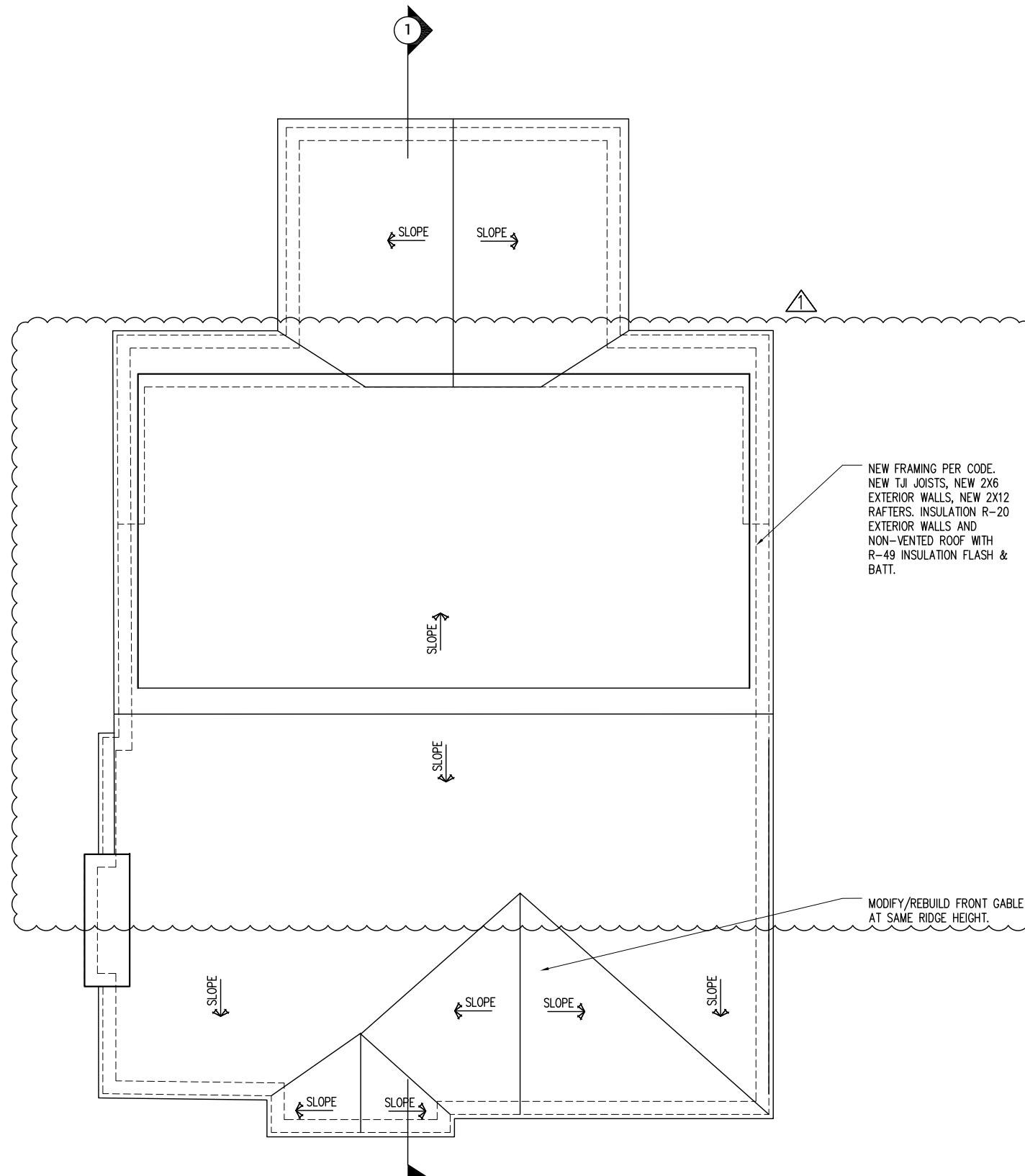
**SCHMITT RESIDENCE**  
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Renovation & Addition

Issue:	Date:
DRC	2022.04.20
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NEW PLANS

**A102**





**NEW ROOF PLAN**

Scale: 3/16" = 1'-0"



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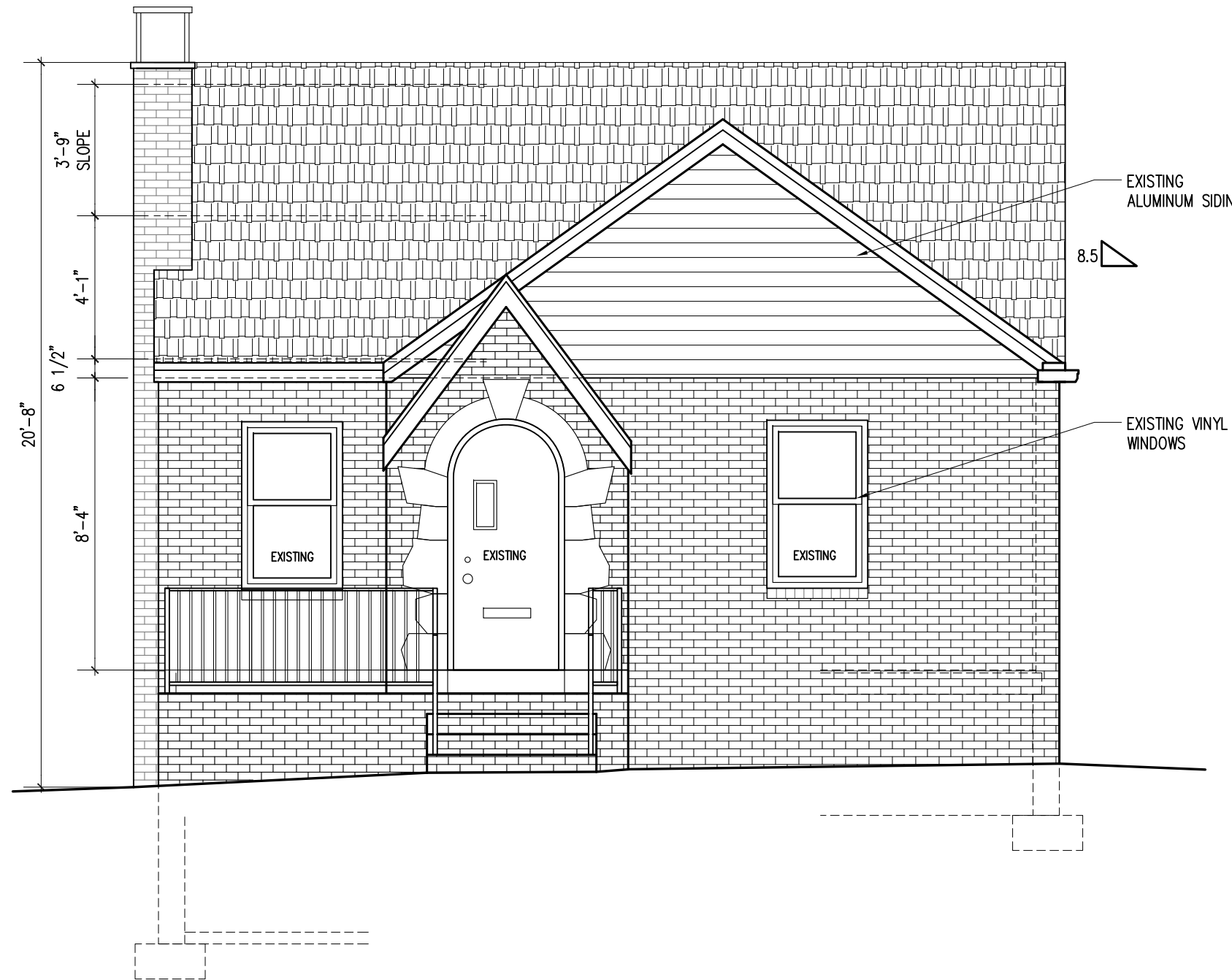
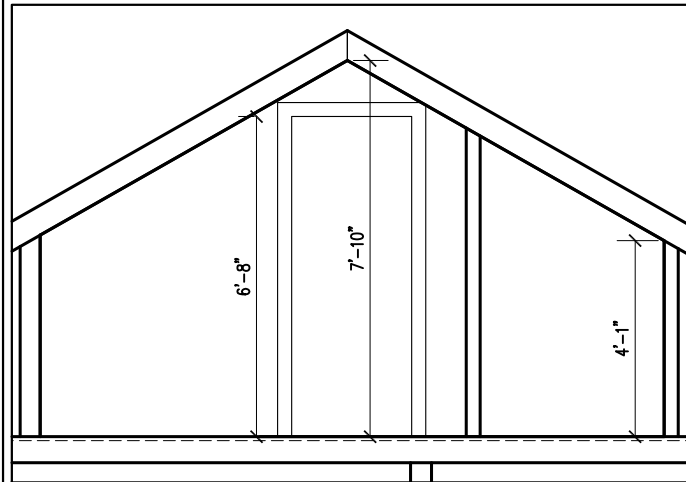
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NEW PLANS

**A104**



**EXISTING WEST FRONT ELEVATION**  
 Scale: 1/4" = 1'-0"

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 DRC 2022.04.20

ELEVATION

**A201**

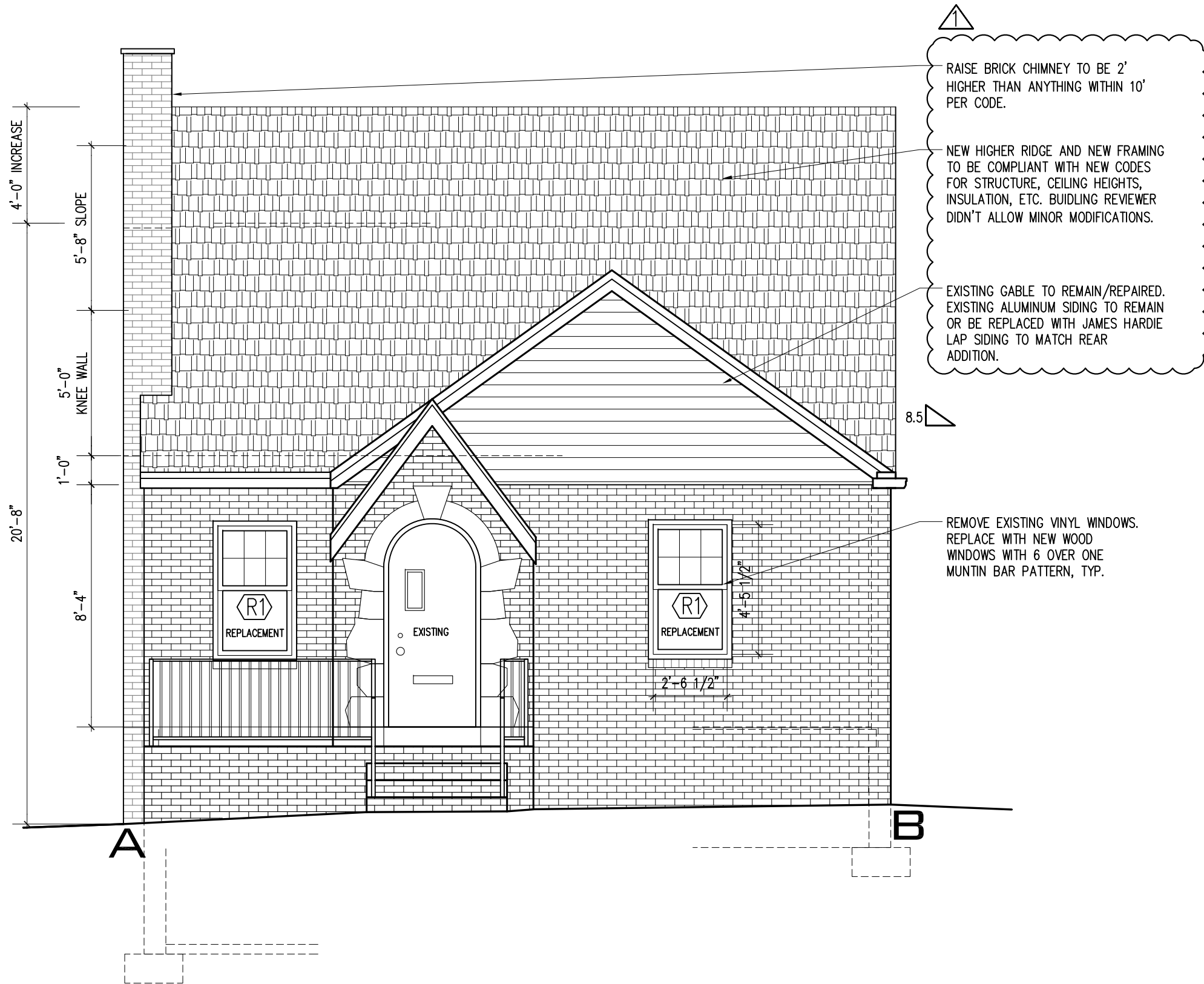
**TYPICAL EXTERIOR SPECIFICATIONS**

I. EXISTING FOOTPRINT:  
 A. SIDING AND BRICK REMAIN AS EXISTING.  
 B. 5/4 WOOD TRIM  
 C. REPLACE WINDOWS AS NOTED

II. ADDITION FOOTPRINT:  
 A. JAMES HARDIE LAP SIDING  
 B. 5/4 SOLID MILLABLE AZEK FOR PAINTED TRIM BOARDS  
 C. WOOD WINDOWS WITH SDL MUNTIN BARS 6 OVER 1, U.N.O.

**TYPICAL WINDOW NOTE:**  
 WINDOWS TAGGED AS NEW SHALL BE CHANGED OUT FOR NEW WOOD WINDOWS IN FULL SIZE FOR EXISTING BRICK OPENINGS. NEW WINDOWS SHALL HAVE MUNTIN PATTERN AS SHOWN.

**PENDING BUDGET:**  
 REPLACE OTHER "EXISTING" 1 OVER 1 VINYL WINDOWS WITH NEW WOOD WINDOWS IN 6 OVER 1 MUNTIN BAR PATTERN.



**NEW SOUTH SIDE ELEVATION**

Scale: 1/4" = 1'-0"

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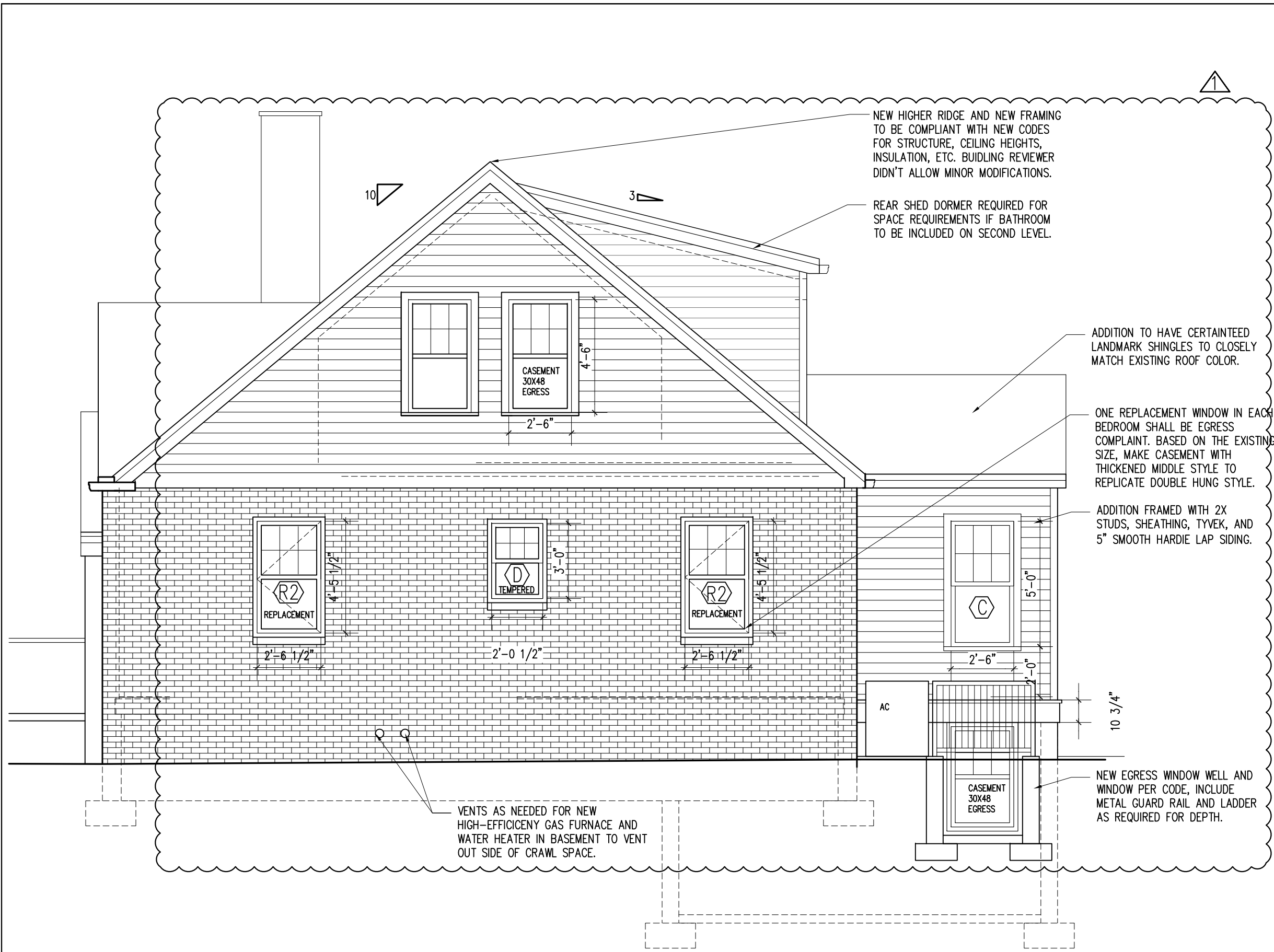
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ELEVATION

**A205**





**NEW SOUTH SIDE ELEVATION**  
 Scale: 1/4" = 1'-0"

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ELEVATION

**A206**

**TYPICAL EXTERIOR SPECIFICATIONS**

- I. EXISTING FOOTPRINT:  
 A. SIDING AND BRICK REMAIN AS EXISTING.  
 B. 5/4 WOOD TRIM  
 C. ONLY REPLACE WINDOWS AS NOTED

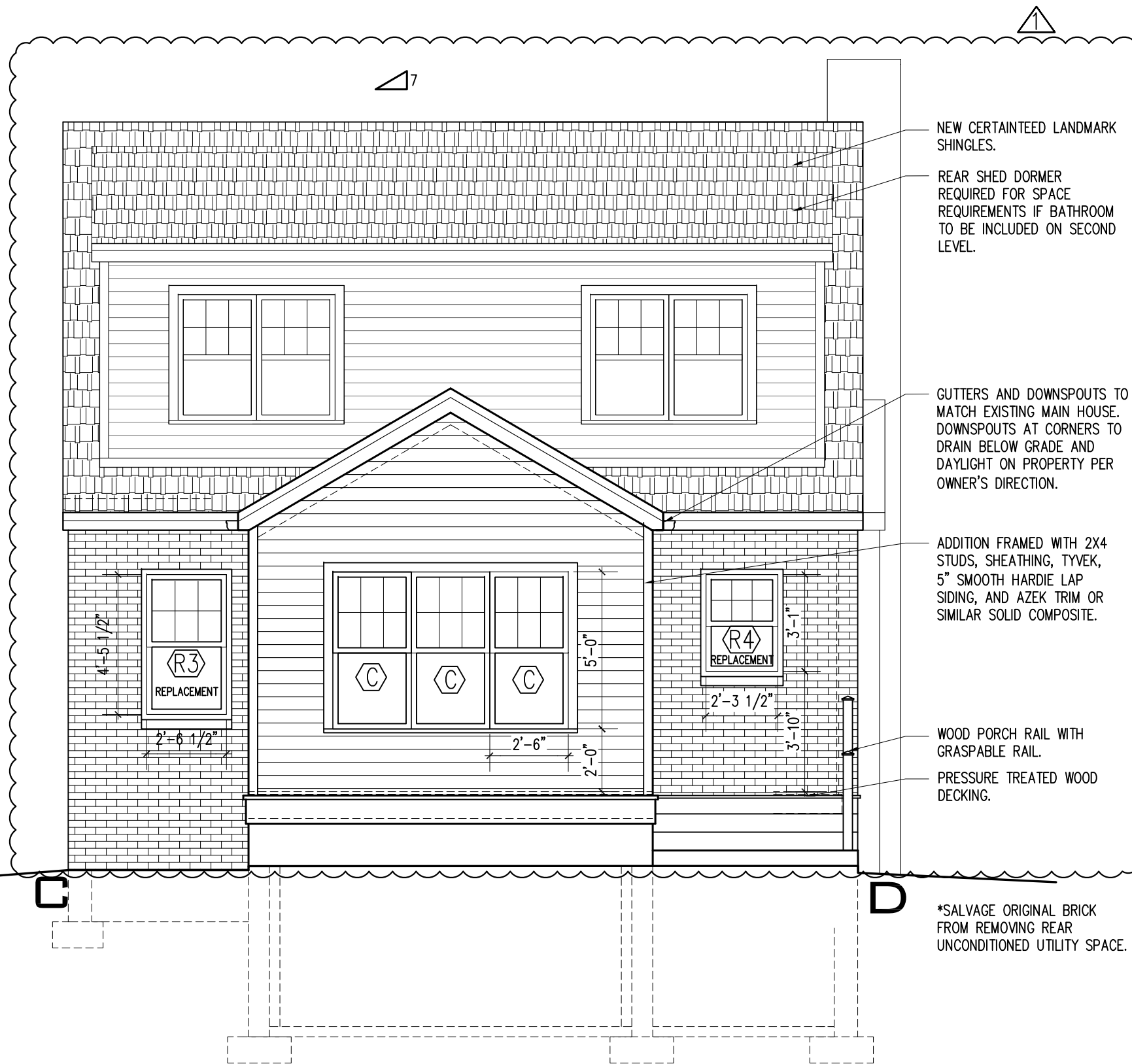
- II. ADDITION FOOTPRINT:  
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 B. 5/4 SOLID MILLABLE AZEK FOR PAINTED TRIM BOARDS  
 C. WOOD WINDOWS WITH SDL MUNTIN BARS 6 OVER 1, U.N.O.

**TYPICAL WINDOW NOTE:**

WINDOWS TAGGED AS NEW SHALL BE CHANGED OUT FOR NEW WOOD WINDOWS IN FULL SIZE FOR EXISTING BRICK OPENINGS. NEW WINDOWS SHALL HAVE MUNTIN PATTERN AS SHOWN.

**PENDING BUDGET:**

REPLACE OTHER "EXISTING" 1 OVER 1 VINYL WINDOWS WITH NEW WOOD WINDOWS IN 6 OVER 1 MUNTIN BAR PATTERN.



**NEW EAST REAR ELEVATION**

Scale: 1/4" = 1'-0"

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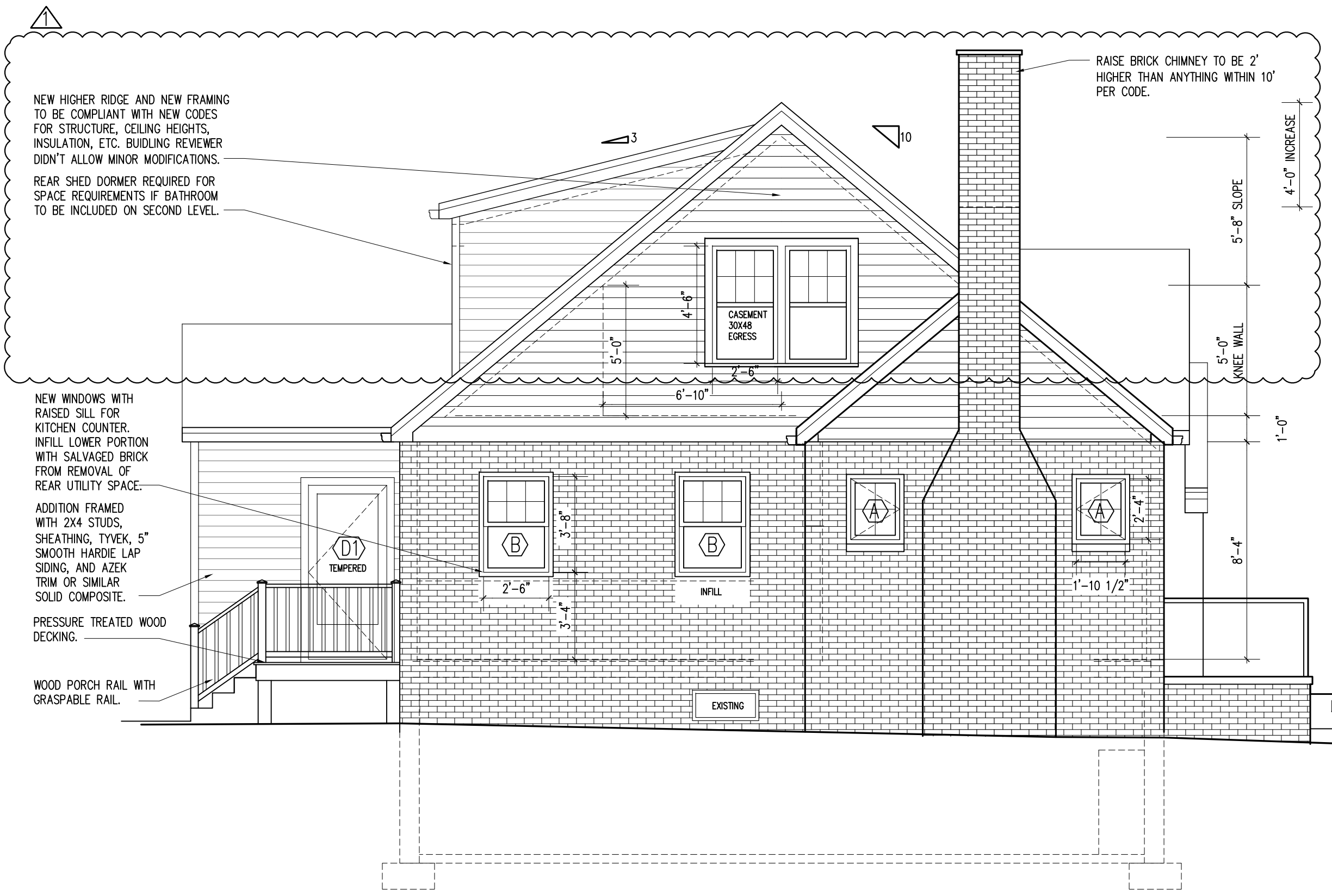
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ELEVATION

**A207**



NEW HIGHER RIDGE AND NEW FRAMING TO BE COMPLIANT WITH NEW CODES FOR STRUCTURE, CEILING HEIGHTS, INSULATION, ETC. BUILDING REVIEWER DIDN'T ALLOW MINOR MODIFICATIONS.

REAR SHED DORMER REQUIRED FOR SPACE REQUIREMENTS IF BATHROOM TO BE INCLUDED ON SECOND LEVEL.

NEW WINDOWS WITH RAISED SILL FOR KITCHEN COUNTER. INFILL LOWER PORTION WITH SALVAGED BRICK FROM REMOVAL OF REAR UTILITY SPACE.

ADDITION FRAMED WITH 2X4 STUDS, SHEATHING, TYVEK, 5" SMOOTH HARDIE LAP SIDING, AND AZEK TRIM OR SIMILAR SOLID COMPOSITE.

PRESSURE TREATED WOOD DECKING.

WOOD PORCH RAIL WITH GRASPABLE RAIL.

RAISE BRICK CHIMNEY TO BE 2' HIGHER THAN ANYTHING WITHIN 10' PER CODE.

CASEMENT  
30X48  
EGRESS

D1  
TEMPERED

B

B

A

A

EXISTING

**NEW NORTH SIDE ELEVATION**

Scale: 1/4" = 1'-0"

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ELEVATION

**A207**

NEW HIGHER RIDGE BEAM AND NEW 2X FRAMING PER CODE COMPLIANCE FOR STRUCTURE, HEIGHTS, AND INSULATION ISSUES.

REAR DORMER CONT. IF BATHROOM IS INCLUDED ON SECOND FLOOR IN DESIGN FOR SPACE REQUIREMENTS.

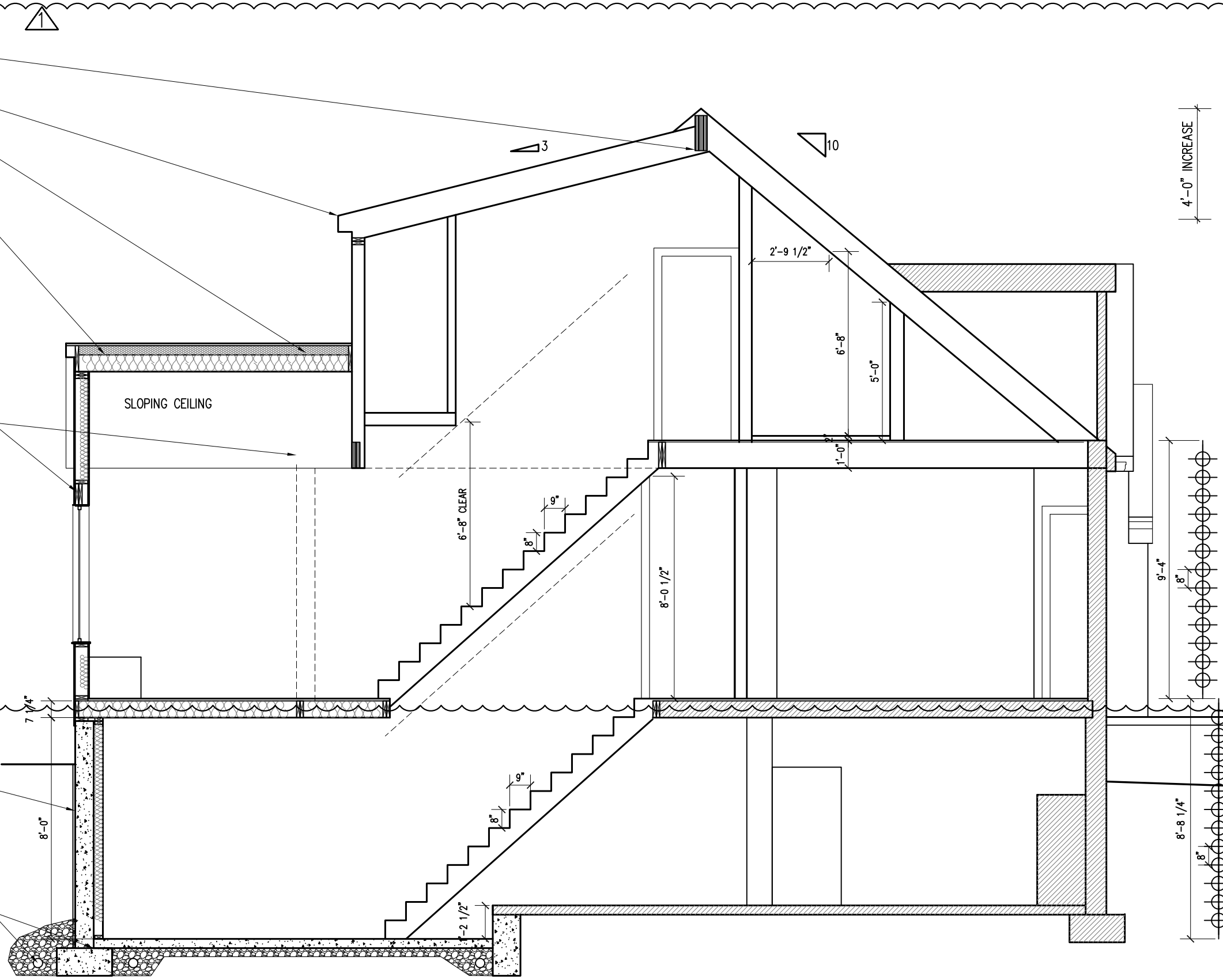
FRAME NEW ROOF WITH 2X12 AND VAULTED CEILING. SEE STRUCTURE.

CLOSED CELL SPRAY FOAM INSULATION 4" THICK FOR R-26 AGAINST ROOF SHEATHING. FILL REST WITH BATT INSULATION. TOTAL R-49. TYPICAL.

NEW BEAM OVER WINDOWS AND STAIRS TO CATCH POINT LOAD FROM ABOVE. SEE STRUCTURAL ENGINEER DRAWINGS, TYP.

WATERPROOF DRAINAGE BOARD AT EXTERIOR OF NEW CONCRETE FOUNDATION WALL.

NEW POURED CONCRETE FOOTING, SLAB, AND FOUNDATION WALL. GRAVEL AND DRAIN TILE. DRAIN TO SUMP PUMP WITH BATTERY OR WATER PRESSURE BACK UP. DISCHARGE TO DAYLIGHT ON SITE AWAY FROM FOUNDATION.



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SECTION

**A209**

**1 - SECTION THROUGH STAIR**

Scale: 1/4" = 1'-0"



and side panel





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**HALRB APPROVED**  
COA ISSUED ON May 18, 2022  
Issue: \_\_\_\_\_ Date: \_\_\_\_\_  
**FIELD CHANGES TO EXTERIOR  
COMPONENTS OF APPROVED DRAWINGS ARE  
NOT PERMITTED. FOR INFORMATION CALL  
703-228-3830.**

PHOTOGRAPHS

**A002**

**TYPICAL EXTERIOR SPECIFICATIONS**

- I. EXISTING FOOTPRINT:  
 A. SIDING AND BRICK REMAIN AS EXISTING.  
 B. 5/4 WOOD TRIM  
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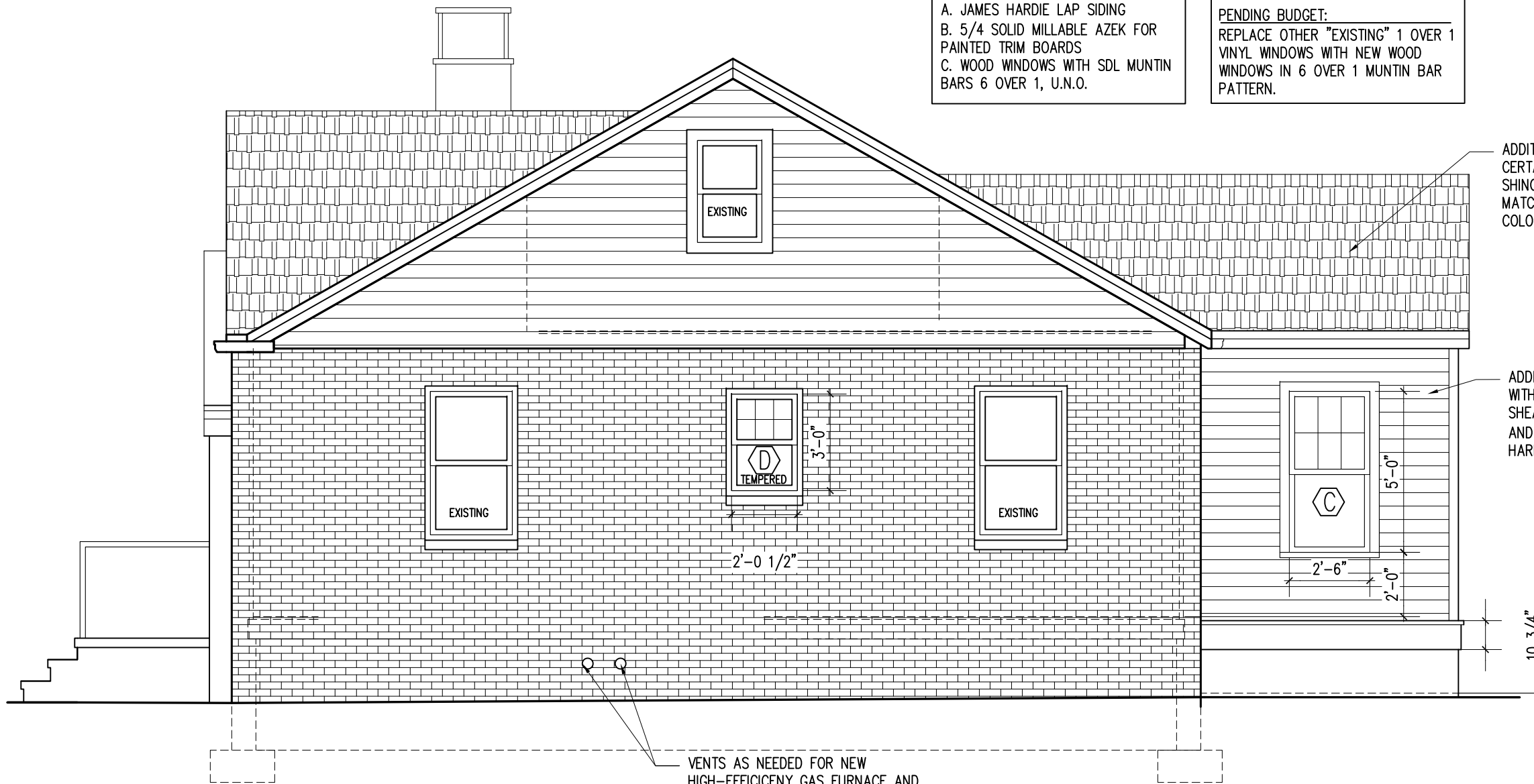
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**TYPICAL WINDOW NOTE:**

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**PENDING BUDGET:**

REPLACE OTHER "EXISTING" 1 OVER 1 VINYL WINDOWS WITH NEW WOOD WINDOWS IN 6 OVER 1 MUNTIN BAR PATTERN.



**NEW SOUTH SIDE ELEVATION**

Scale: 1/4" = 1'-0"

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**SCHMITT RESIDENCE**

2317 North Kenmore Street  
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**HALRB APPROVED**

DATE ISSUED ON 18, 2022

DATE FOR FIELD CHANGES TO EXISTING  
 HALRB 2022.04.20  
 2022.05.11

COMPONENTS OF APPROVED PLANS ARE NOT PERMITTED. FOR INFORMATION CALL

ELEVATION NO.

**A205**



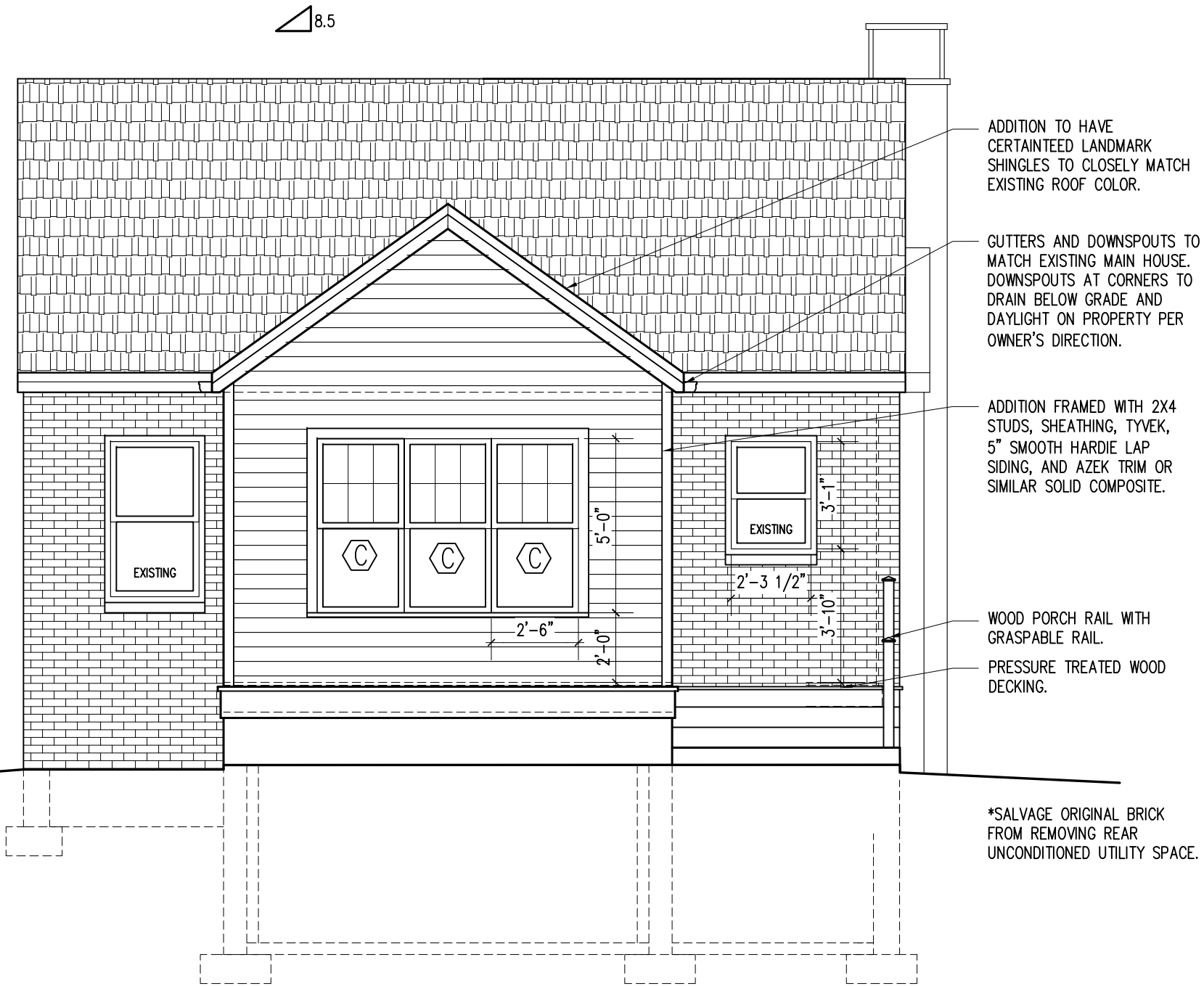
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**TYPICAL WINDOW NOTE:**  
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**PENDING BUDGET:**  
 REPLACE OTHER "EXISTING" 1 OVER 1 VINYL WINDOWS WITH NEW WOOD WINDOWS IN 6 OVER 1 MUNTIN BAR PATTERN.



**NEW EAST REAR ELEVATION**

Scale: 1/4" = 1'-0"

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**HALRB APPROVED**

ISSUED ON **18, 2022**

FIELD CHANGES TO EXTERIOR  
 COMPONENTS OF APPROVED PLANS ARE  
 NOT PERMITTED. FOR INFORMATION CALL  
 703.598.9318

ELEVATION

**A206**

**TYPICAL EXTERIOR SPECIFICATIONS**

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 C. REPLACE WINDOWS AS NOTED

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**TYPICAL WINDOW NOTE:**  
 WINDOWS TAGGED AS NEW SHALL BE CHANGED OUT FOR NEW WOOD WINDOWS IN FULL SIZE FOR EXISTING BRICK OPENINGS. NEW WINDOWS SHALL HAVE MUNTIN PATTERN AS SHOWN.

**PENDING BUDGET:**  
 REPLACE OTHER "EXISTING" 1 OVER 1 VINYL WINDOWS WITH NEW WOOD WINDOWS IN 6 OVER 1 MUNTIN BAR PATTERN.

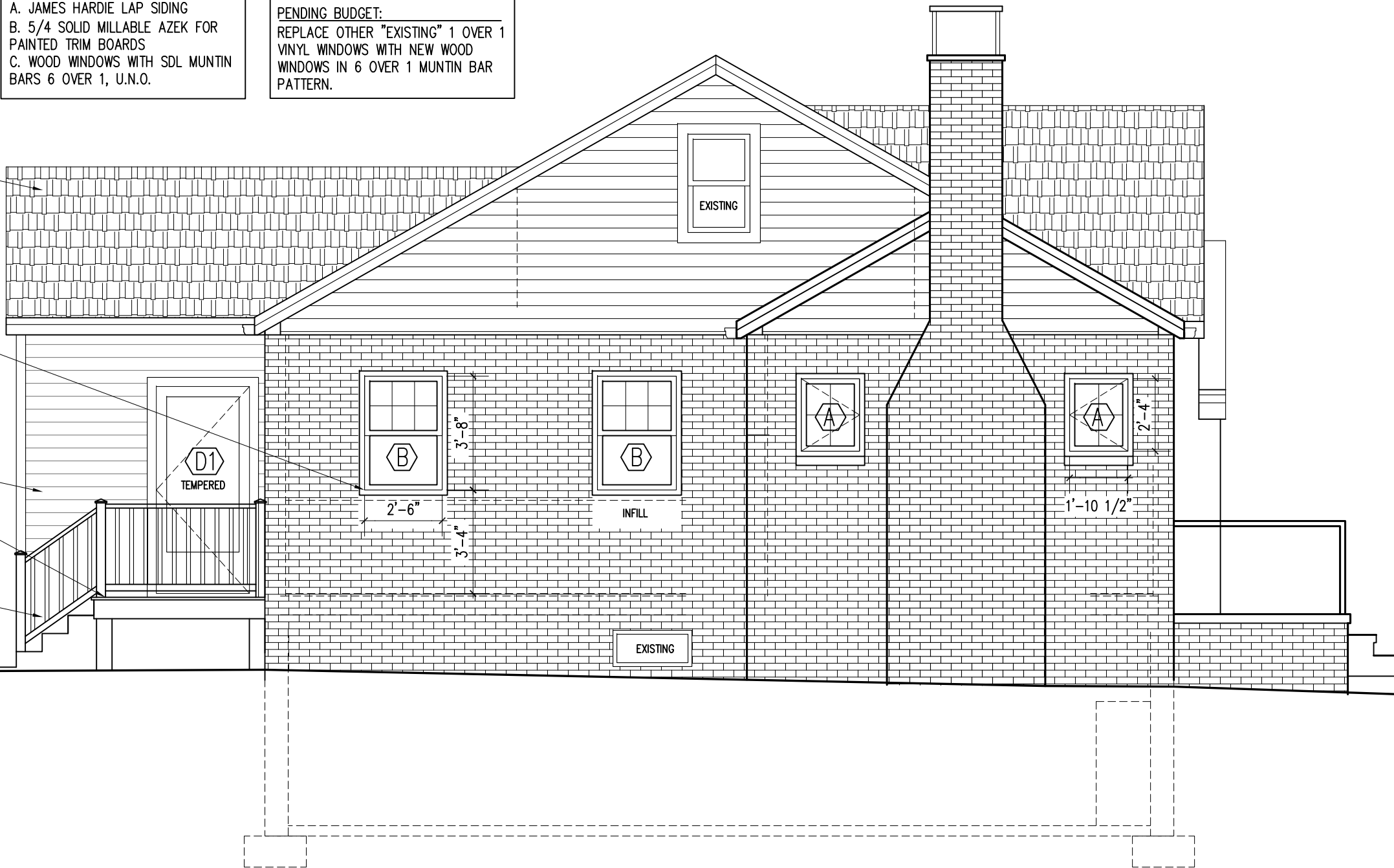
ADDITION TO HAVE CERTAINTED LANDMARK SHINGLES TO CLOSELY MATCH EXISTING ROOF COLOR.

NEW WINDOWS WITH RAISED SILL FOR KITCHEN COUNTER. INFILL LOWER PORTION WITH SALVAGED BRICK FROM REMOVAL OF REAR UTILITY SPACE.

ADDITION FRAMED WITH 2X4 STUDS, SHEATHING, TYVEK, 5" SMOOTH HARDIE LAP SIDING, AND AZEK TRIM OR SIMILAR SOLID COMPOSITE.

PRESSURE TREATED WOOD DECKING.

WOOD PORCH RAIL WITH GRASPABLE RAIL.



**NEW NORTH SIDE ELEVATION**

Scale: 1/4" = 1'-0"

**FITZHARRIS  
 DESIGNS**  
 ARCHITECTS + DESIGNERS

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**SCHMITT RESIDENCE**

2317 North Kenmore Street  
 Arlington, VA 22201  
 Renovation & Addition

**HALRB APPROVED**

ISSUED ON **DATE 18, 2022**

FIELD CHANGES TO EXISTING FOR  
 HALRB 2022.04.20  
 2022.05.11

**COMPONENTS OF APPROVED PLANS ARE NOT PERMITTED. FOR INFORMATION CALL**

ELEVATION NO.

**A207**