



BARCROFT APARTMENTS PHASE I REHABILITATION INCLUDING ALTERATIONS AND ADDITIONS

SECTION 3 BUILDINGS 22-26

1130 S GEORGE MASON DR.
ARLINGTON, VA 22204

HALRB SUBMISSION
JUNE 14, 2023



OWNER/CLIENT

JAIR LYNCH REAL ESTATE PARTNERS
1400 16th St NW, Suite 430
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LAND-USE ATTORNEY

WALSH COLUCCI LUBELEY & WALSH
2200 Clarendon Boulevard, Suite 1300
Arlington, Virginia 22201

ARCHITECT

BONSTRA | HARESIGN ARCHITECTS
1728 14th Street NW, Suite 300
Washington, DC 20009

CIVIL ENGINEER

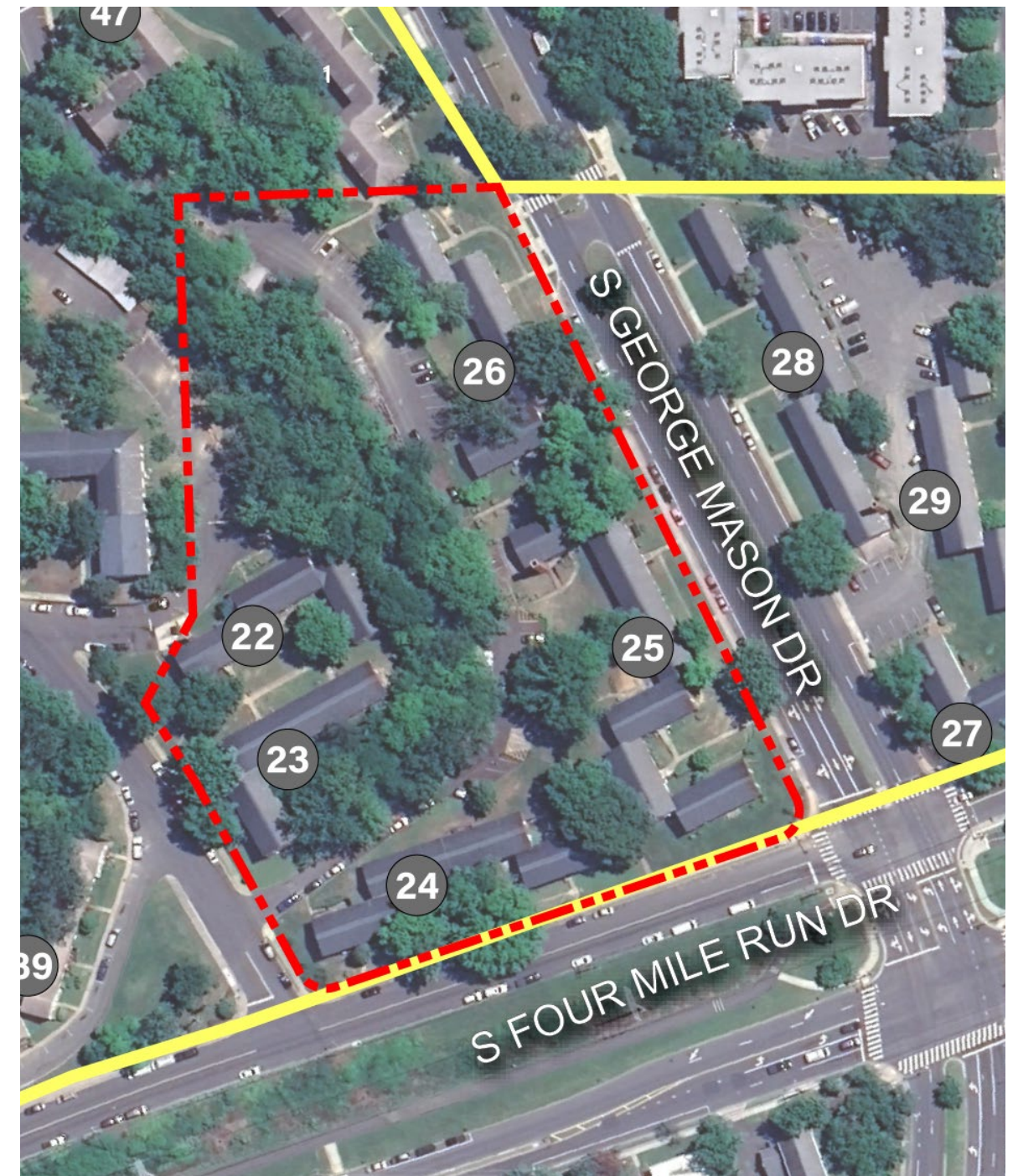
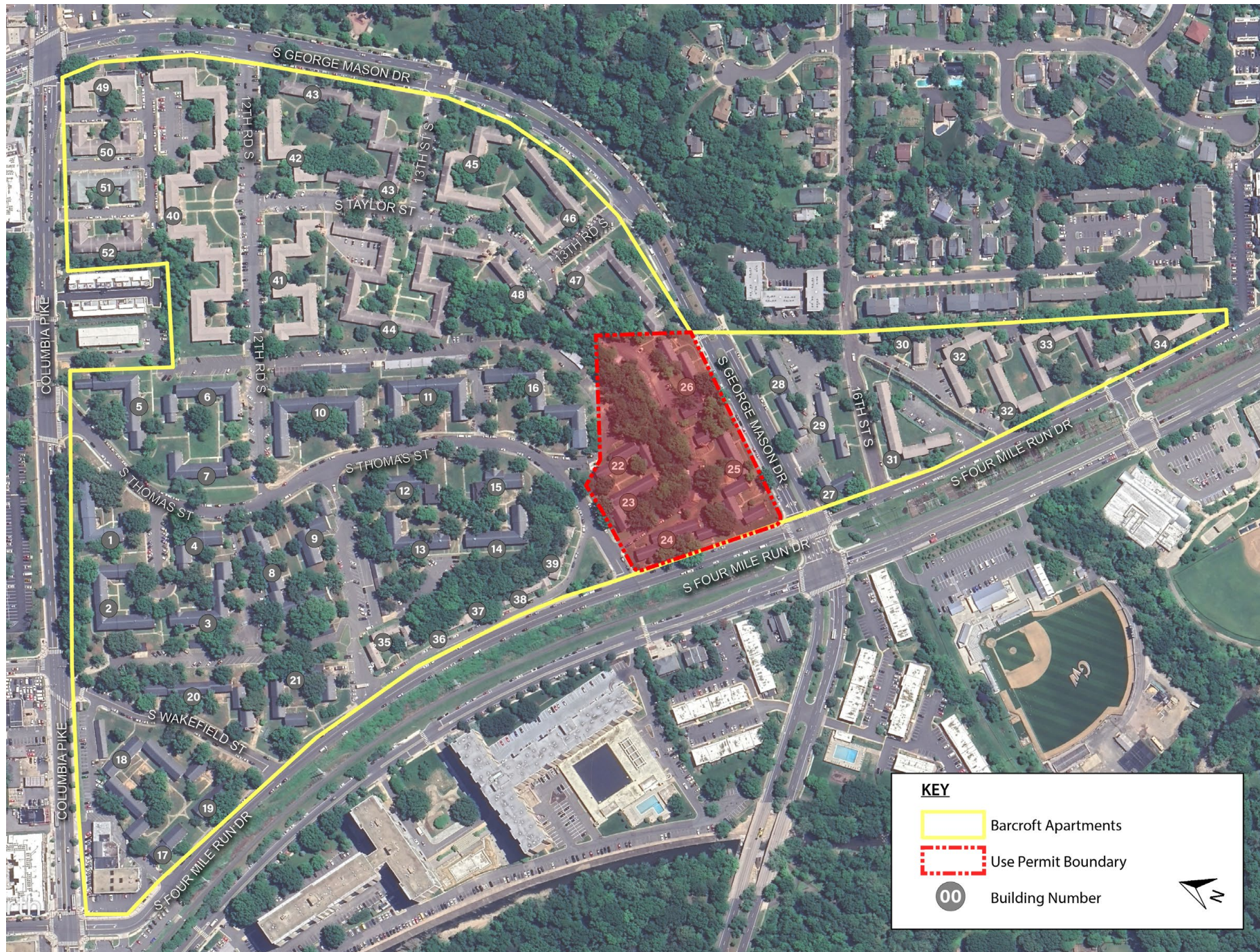
VIKA VIRGINIA, LLC.
8180 Greensboro Dr., Suite 200
Tysons, VA 22102

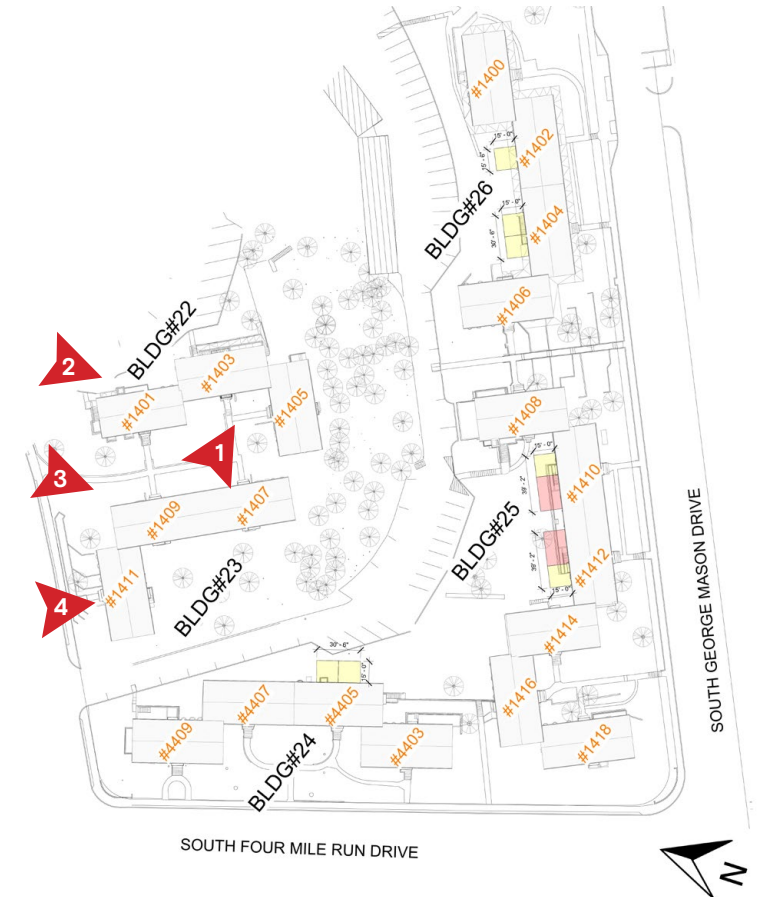
HISTORIC PRESERVATION

EHT TRACERIES, INC.
440 Massachusetts Avenue
Washington, DC 20001

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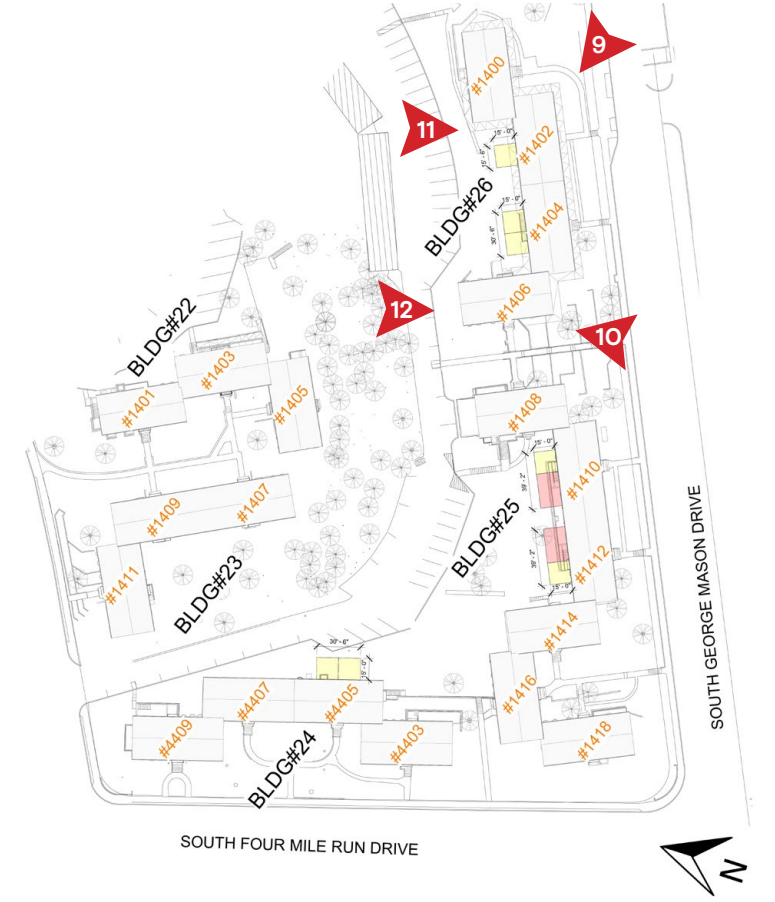


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8





Scope of Work

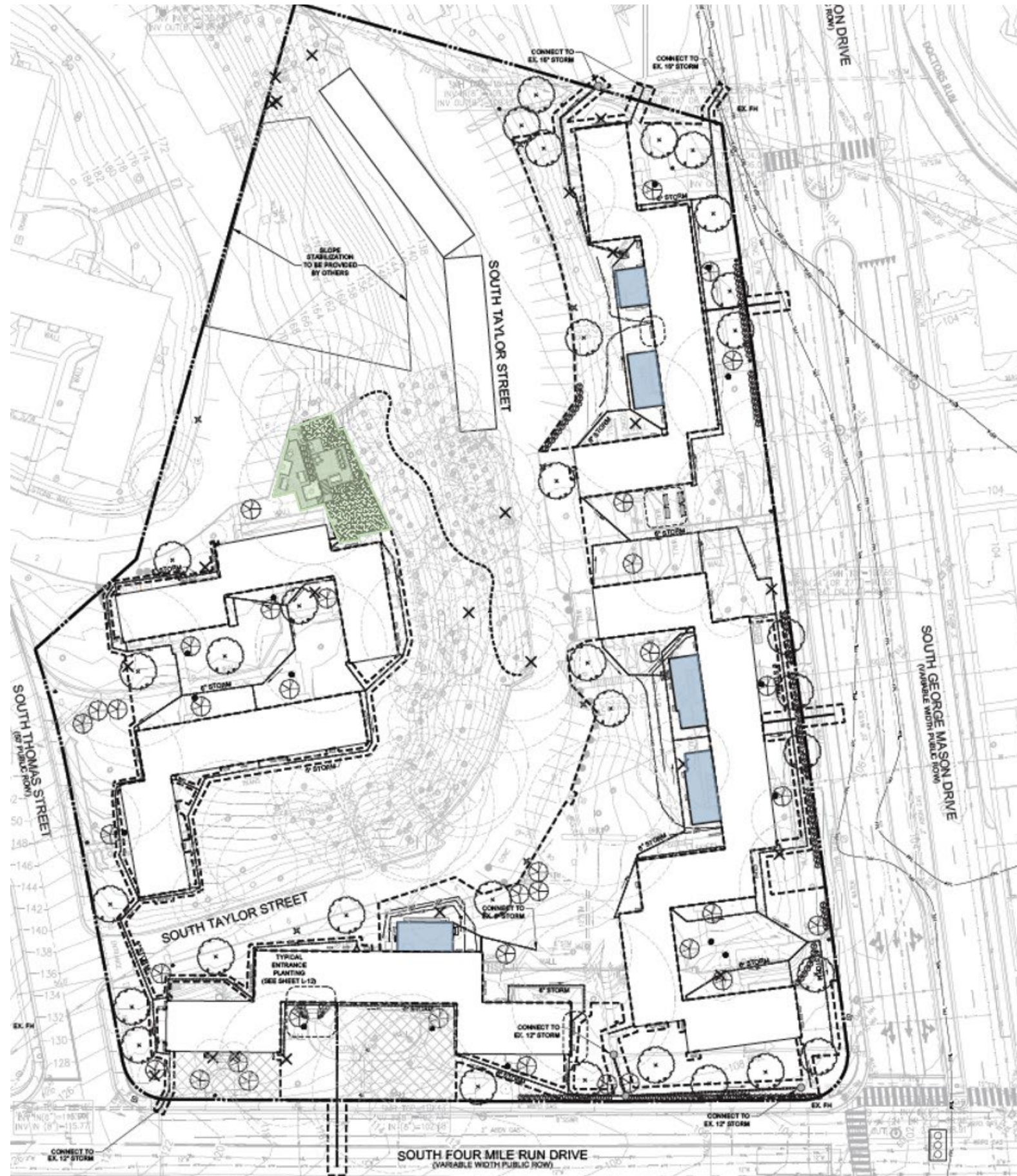
The proposed project involves the rehabilitation of five existing buildings (Buildings 22, 23, 24, 25, and 26) located within Barcroft Section 3. The buildings will be rehabilitated consistent with the Arlington County Conservation Area Standards, which are based upon the Secretary of the Interior’s Standards for Rehabilitation. The project must also adhere to the Virginia Housing Minimum Design and Construction Requirements (MDCR).

The project scope of work includes:

- Repair of exterior masonry (including brick and cast stone); Repoint deteriorated mortar where necessary matching the existing size, shape, color, and texture
- Removal of non-historic attachments and light fixtures
- Gently clean and wash all existing brick and concrete facades with low- to medium-pressure adhering to the Secretary of the Interior’s Standards and “NPS Preservation Brief #1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings”
- Removal and replacement of steel-sash basement windows matching the original configuration. All new windows proposed to be vinyl to match existing adjacent windows*
- Removal and replacement of existing mechanical systems
- Removal of existing through-wall mechanical system openings and patch brick to match existing
- Replacement of non-original light fixtures with new compatible fixtures
- Replacement of gutters and downspouts in-kind
- Repair of slate roofs
- Repair and paint existing metal railings
- Repair and paint existing non-original shutters
- Repair and paint corroded metal lintels
- Construction of small and subordinate rear additions on Buildings 24, 25, and 26 compatible with the historic buildings
- Addition of new paved courtyard adjacent to Building 22
- Addition of new entry canopy above entrances to meet Virginia Housing MCDRs*
- Addition of vinyl or aluminum cladding on existing wood trim per Virginia Housing MCDRs*
- Addition of new penetrations on rear elevations for bathroom exhaust, dryer, and HVAC vents*

* Conservation Area standard modification necessary in order to meet MDCR requirements.



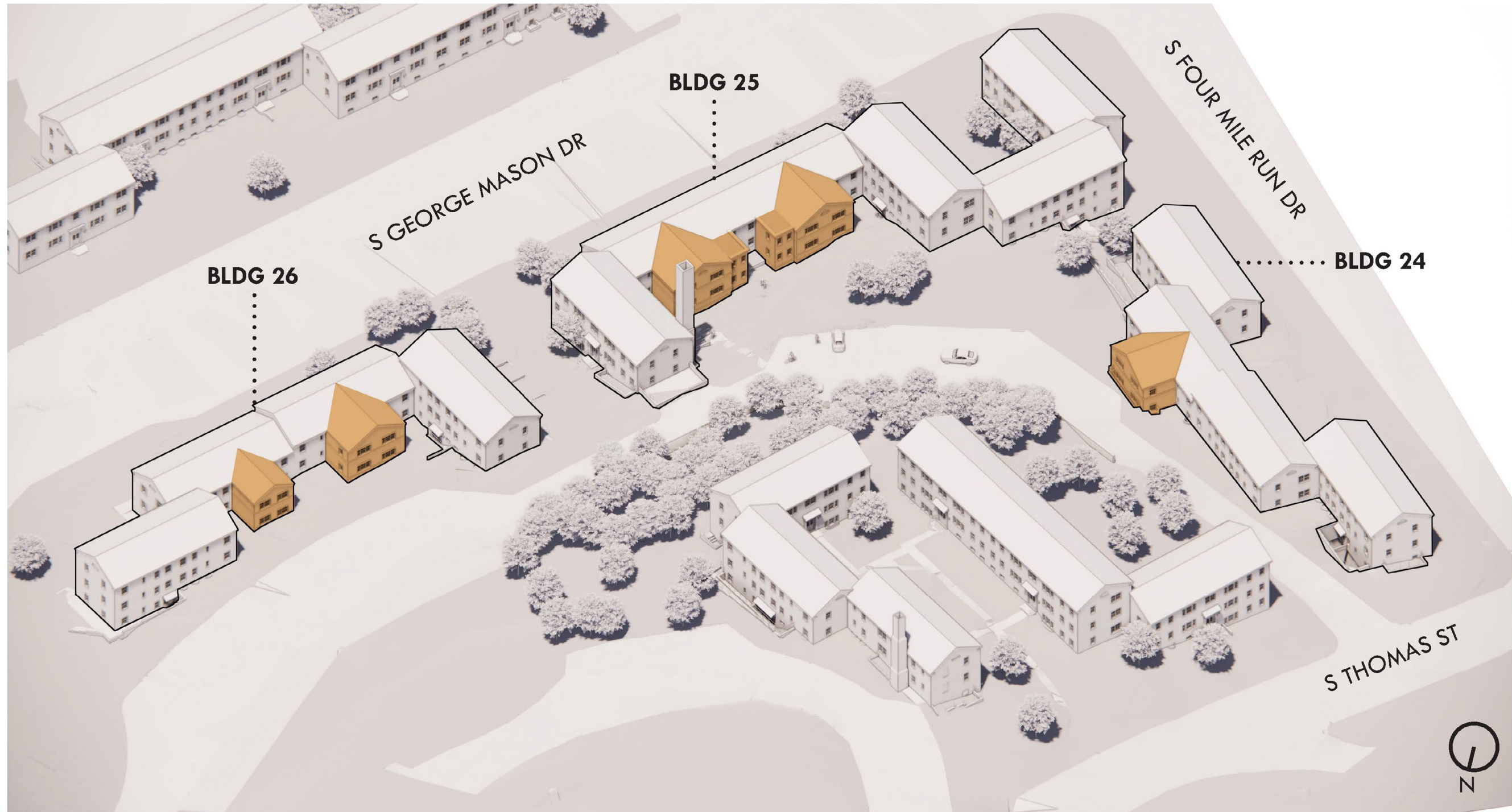


EXISTING & PROPOSED UNIT MIX			
BUILDING	UNIT TYPE	EXISTING	PROPOSED
22	1BR	4	4
	2BR	10	10
	3BR	—	—
	4BR	—	—
	TOTAL	14	14
23	1BR	—	—
	2BR	15	15
	3BR	—	—
	4BR	—	—
	TOTAL	15	15
24	1BR	—	—
	2BR	18	14
	3BR	—	4
	4BR	—	—
	TOTAL	18	18
25	1BR	—	—
	2BR	28	20
	3BR	—	4
	4BR	—	4
	TOTAL	28	28
26	1BR	—	—
	2BR	18	12
	3BR	—	6
	4BR	—	—
	TOTAL	18	18
TOTAL (BLDGS 22-26)		93	93

UNIT TYPE TOTALS (SUMMARY)		
22-26	1BR	4
	2BR	71
	3BR	14
	4BR	4
TOTAL		93

PROPOSED NEW UNIT SQUARE FOOTAGES		
BUILDING	UNIT TYPE	TYPICAL SQUARE FOOTAGE
22	3BR	—
	4BR	—
23	3BR	—
	4BR	—
24	3BR	966 SF
	4BR	—
25	3BR	978 SF
	4BR	1104 SF
26	3BR	978 SF
	4BR	—

ADDITIONS STUDY



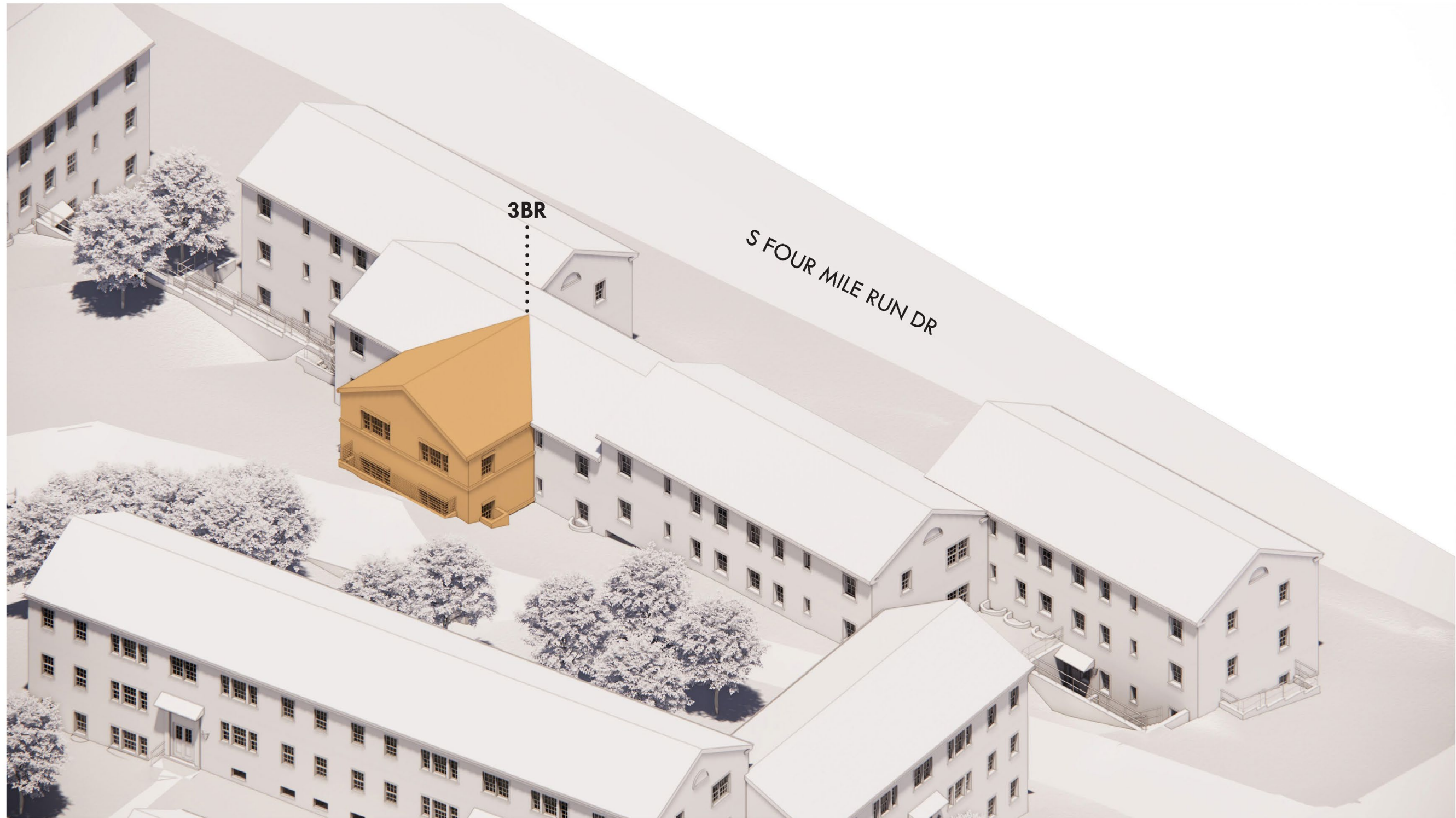
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BARCROFT APARTMENTS - SECTION 3 - PHASE 1

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BUILDING 24



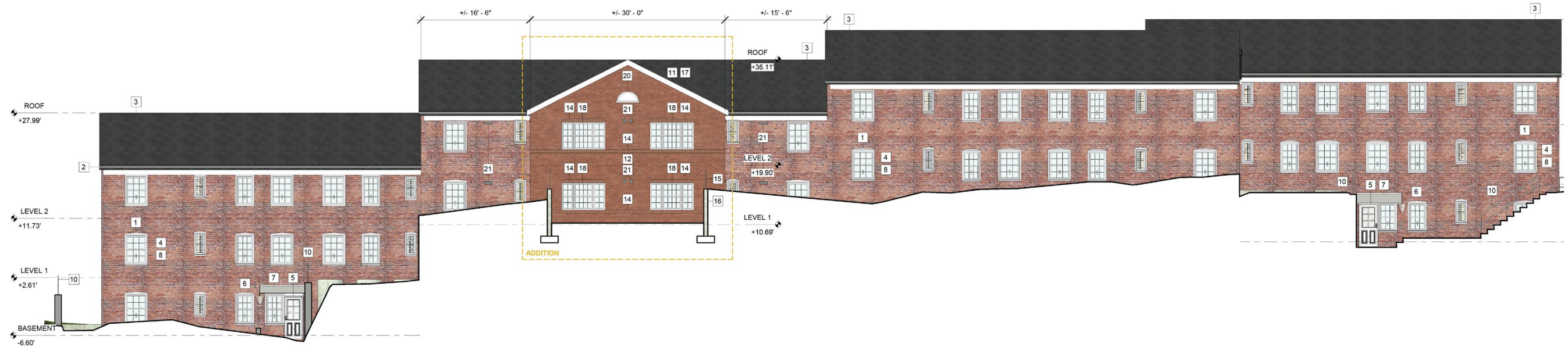
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BLDG 24 - ELEVATION B
 1/8" = 1'-0"
 ASE: 112.31'

GENERAL NEW WORK ELEVATION NOTES

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM, POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS; POWDER COAT, GALVANIZE OR PROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
6. BRICK REPAIR FOLLOWING REMOVAL OF PTAC/HVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

KEYED NEW WORK ELEVATION NOTES

- | | |
|---|---|
| <ol style="list-style-type: none"> 1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED; 2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP; 3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY; 4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP; 5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP; 6. PROVIDE & INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTER; SEE SCHEDULE FOR MORE INFORMATION, TYP; 7. PROVIDE & INSTALL NEW CANOPY, DESIGN TBD; 8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS; 9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY; 10. PAINT EXISTING RAILING; 11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES; | <ol style="list-style-type: none"> 12. NEW BRICK WALL TO MATCH EXISTING COLOR; 13. NEW BRICK WALL, SIZE AND COLOR TBD; 14. NEW BRICK MOULDING, SIZE AND COLOR TBD; 15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK); 16. NEW CONCRETE RETAINING WALL, FINISH TBD; 17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING; 18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD; 19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE; 20. NEW ATTIC VENT, DESIGN AND LOCATION TBD; 21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS; |
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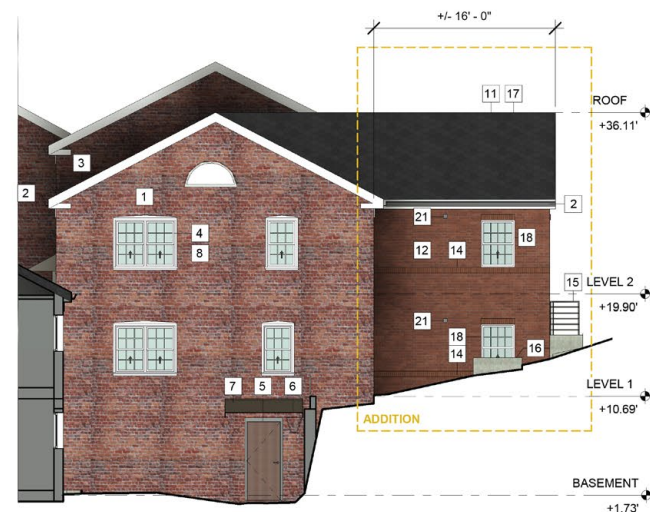
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BLDG 24 - ELEVATION C

1/8" = 1'-0"
ASE: 112.31'



BLDG 24 - ELEVATION D

1/8" = 1'-0"
ASE: 112.31'

GENERAL NEW WORK ELEVATION NOTES

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM, POINT-UP MORTAR TO MATCH EXISTING;
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3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
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6. BRICK REPAIR FOLLOWING REMOVAL OF PTAC/HVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

KEYED NEW WORK ELEVATION NOTES

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|---|---|

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BUILDING 26



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BARCROFT APARTMENTS - SECTION 3 - PHASE 1

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BLDG 26 - ELEVATION B

1/8" = 1'-0"
ASE: 109.5'

GENERAL NEW WORK ELEVATION NOTES

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Jair Lynch

MAY 25, 2023

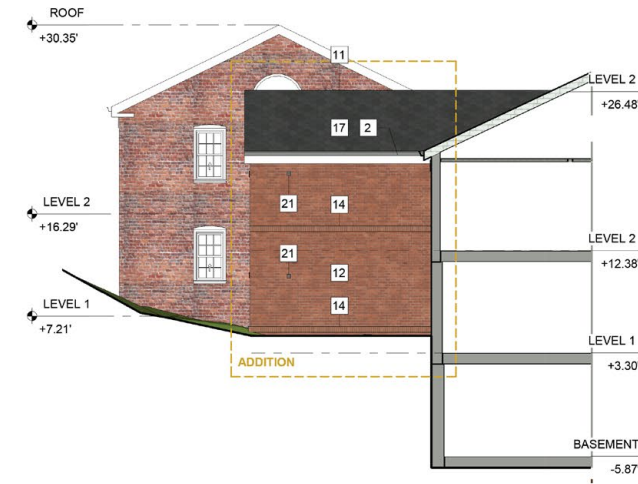
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BARCROFT APARTMENTS - SECTION 3 - PHASE 1

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BLDG 26 - ELEVATION E
 1/8" = 1'-0"
 ASE: 109.5'



BLDG 26 - ELEVATION F
 1/8" = 1'-0"
 ASE: 109.5'

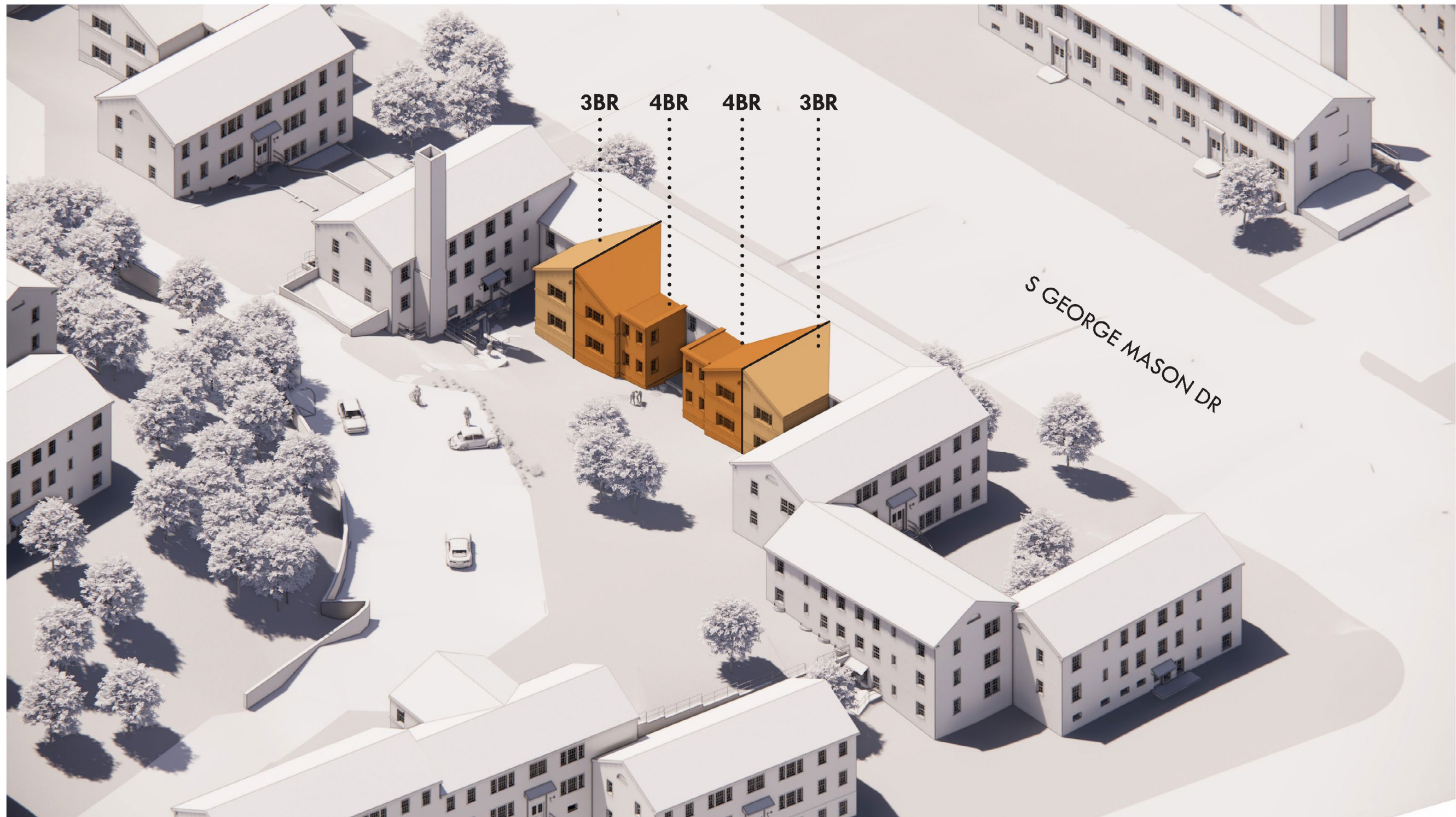
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BARCROFT APARTMENTS - SECTION 3 - PHASE 1

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BUILDING 25



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BARCROFT APARTMENTS - SECTION 3 - PHASE 1

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BLDG 25 - ELEVATION A - 1
1/8" = 1'-0"
ASE: 109.5'



BLDG 25 - ELEVATION A - 2
1/8" = 1'-0"
ASE: 109.5'

GENERAL NEW WORK ELEVATION NOTES

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6. BRICK REPAIR FOLLOWING REMOVAL OF FITCH/HVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

KEYED NEW WORK ELEVATION NOTES

- | | |
|--|---|
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|--|---|

***NOTE:**
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.
ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.
ELEVATIONS TO BE VERIFIED IN FIELD.

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MAY 25, 2023

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BLDG 25 - ELEVATION B - 1
1/8" = 1'-0"
ASE: 109.5'



BLDG 25 - ELEVATION B - 2
1/8" = 1'-0"
ASE: 109.5'

GENERAL NEW WORK ELEVATION NOTES

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4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES.
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6. BRICK REPAIR FOLLOWING REMOVAL OF PTACH/VC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

*NOTE:
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ELEVATIONS TO BE VERIFIED IN FIELD.

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3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY.
4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.
5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.
6. PROVIDE & INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTERN. SEE SCHEDULE FOR MORE INFORMATION, TYP.
7. PROVIDE & INSTALL NEW CANOPY, DESIGN TBD.
8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS.
9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY.
10. PAINT EXISTING RAILING.
11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;
12. NEW BRICK WALL TO MATCH EXISTING COLOR;
13. NEW BRICK WALL, SIZE AND COLOR TBD;
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20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;
21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD. SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;



TYPICAL BRICK VENT EXAMPLE

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COMMUNITY COURTYARD AMENITY AREA

ADA-COMPLIANT

ELEVATED DECK STRUCTURE TO MINIMIZE
DISTURBANCE TO EXISTING TREE ROOTS

MOVABLE FAMILY SEATING OPTIONS

POTENTIAL FOR OUTDOOR GRILLS ON
PERVIOUS HARD SURFACE AREAS

UNDERSTORY TREE PLANTING

RESTORED LAWN AREA



EXISTING BUILDING, RETAINING
WALLS AND WALKS ARE TO REMAIN

BUILDING 25 - BRICK OPTIONS



BLDG 25 - ELEVATION B - TWO-TONE BRICK
1/8" = 1'-0"
ASE: 109.5'



BLDG 25 - ELEVATION B - MONO-TONE BRICK
1/8" = 1'-0"

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OPTION 1 - TWO-TONE BRICK



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OPTION 2 - MONO-TONE BRICK



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OPTION 2 - MONO-TONE BRICK



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Reduced Size Semi-Circle (Preferred)



Rectangles Sized to Match Gables



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WINDOW REPLACEMENTS

/ EXISTING WINDOWS



/ EXISTING WINDOW SPECS

- MI WINDOW V2000 3500:
- VINYL SINGLE-HUNG
 - DUAL-PANE INSULATED GLASS
 - COLONIAL STYLE
 - WHITE COLOR
 - U-VALUE: 0.30
 - SHGC: 0.28
 - GRID



/ NEW WINDOWS

- MATCH EXISTING:
- VINYL SINGLE-HUNG
 - DUAL-PANE INSULATED GLASS
 - COLONIAL STYLE
 - WHITE COLOR
 - U-VALUE: 0.30
 - SHGC: 0.28
 - SDL

FOR ADDITIONS AND BASEMENT REPLACEMENT ONLY



DETAIL OF A SIMULATED DIVIDED LITE (SDL) WINDOW

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EXTERIOR LIGHTING FIXTURES

/ EXISTING ENTRANCE



/ EXISTING LIGHT FIXTURE



/ PROPOSED LIGHT FIXTURE

BASIS OF DESIGN:
PROGRESS LIGHTING MANSARD
TEXTURED BLACK
13" TALL



NUMBER OF FIXTURES/ BUILDING:

- BLDG 22: 7
- BLDG 23: 6
- BLDG 24: 7
- BLDG 25: 11
- BLDG 26: 7

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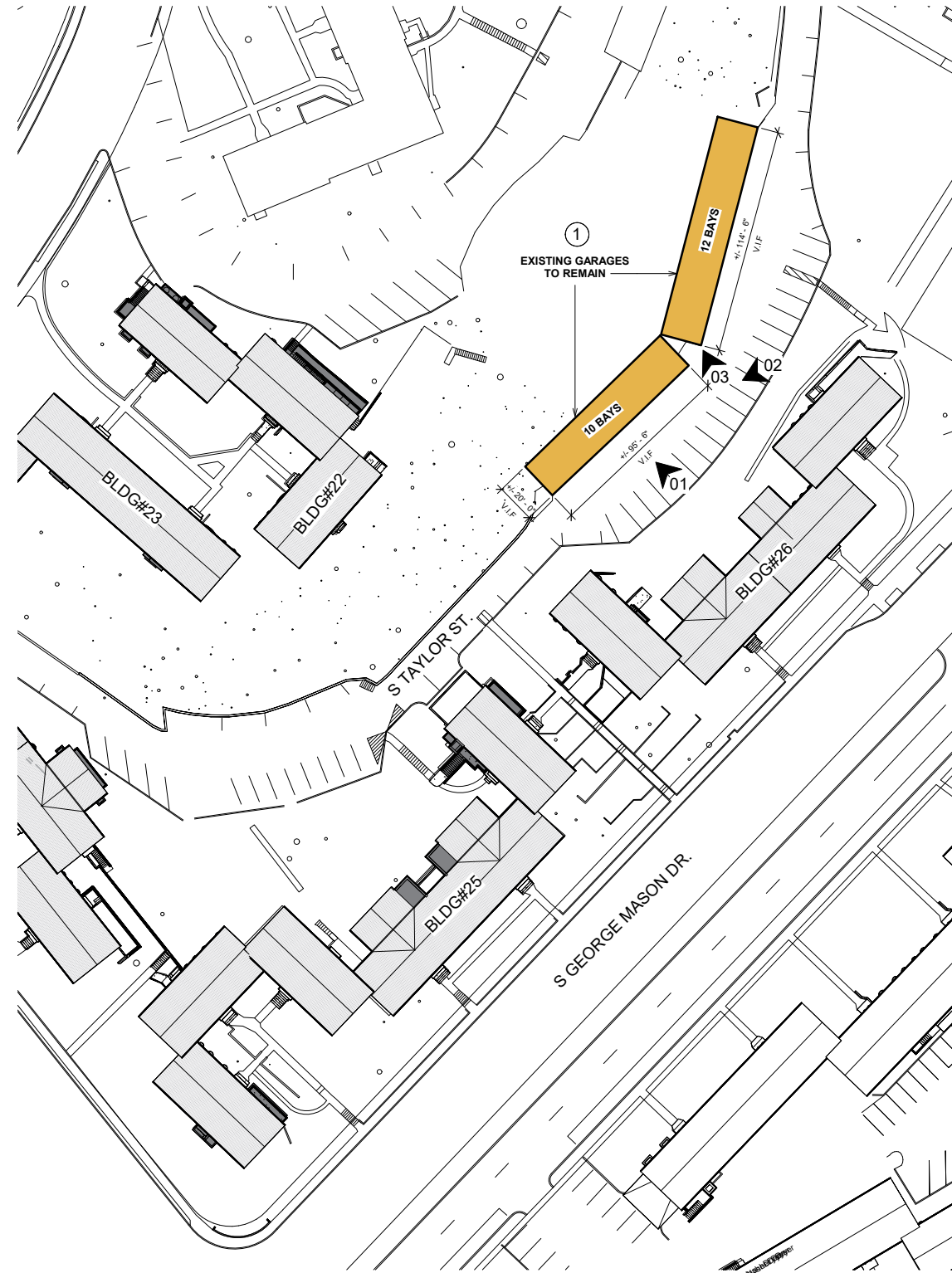
EXISTING GARAGES_01



EXISTING GARAGES_02



EXISTING GARAGES_03



1 SITE PLAN - GARAGES LOCATION
A40 1/32" = 1'-0"

GARAGES SCOPE OF WORK:

- ① Existing garages to remain (22 bays total)
- ② Cleaning and Repointing Masonry as required
- ③ Roof repairs as required
- ④ Replacement of light fixtures (to match main buildings)
- ⑤ Replacement of garage doors to match existing

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SILMAN & ASSOCIATES
1033 31ST STREET NW
WASHINGTON, DC 20007
(202) 534 6218

SUMMIT ENGINEERS
5307 LEE HIGHWAY
ARLINGTON, VA 22207
(703) 553 55 93

**BARCROFT PHASE I
USE PERMIT**
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1 USE PERMIT 06/09/23

DATE: 06/09/23
PROJECT NO: 2022-054
DRAWN BY: EOP/AL
CHECKED BY: MF

GARAGE REPAIR WORK

DRAWING SET
NOT FOR CONSTRUCTION

A40

EXTERIOR FIXTURES TO BE CLADDED WITH VINYL

per VHDA requirements

/ TYPICAL FIXTURES



VHDA REQUIREMENTS

#13- EXTERIOR WOODEN TRIM, BRICKMOLD, SILLS, FASCIA, RAKE BOARDS, AND COLUMNS ARE TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS.

USE MATERIALS DESIGN FOR CLADDING WITH A MINIMUM THICKNESS OF 0.019 INCH AND PROVIDE A STIFFENING CRIMP FOR TRIM AND FASCIA BOARDS THAT ARE MORE THAN 8" WIDE.

REPLACE ALL DAMAGED WOOD PRIOR TO CLADDING.

VIRGINIA HOUSING RECOMMENDS THE USE OF COMPOSITE/MANUFACTURED MATERIALS INSTEAD OF WOOD FOR EXTERIOR USE.

EXCEPTIONS MAY BE CONSIDERED FOR HISTORIC BUILDINGS.

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VHDA REQUIREMENTS
- ENTRY CANOPY

CANOPY DESIGN - OPTION 1

/ COLORED ELEVATION



NUMBER OF CANOPIES/ BUILDING:

- BLDG 22: 6
- BLDG 23: 6
- BLDG 24: 7
- BLDG 25: 10
- BLDG 26: 7

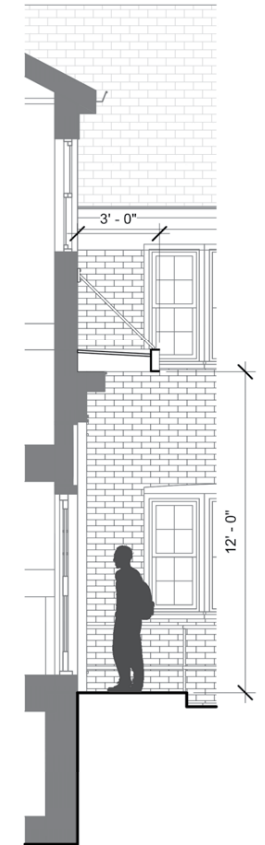
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/ LINE DRAWING



/ SECTION



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CANOPY DESIGN - OPTION 2

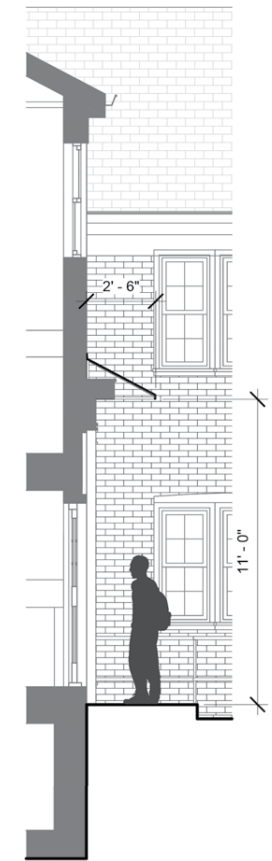
/ COLORED ELEVATION



/ LINE DRAWING



/ SECTION



NUMBER OF CANOPIES/ BUILDING:

- BLDG 22: 6
- BLDG 23: 6
- BLDG 24: 7
- BLDG 25: 10
- BLDG 26: 7

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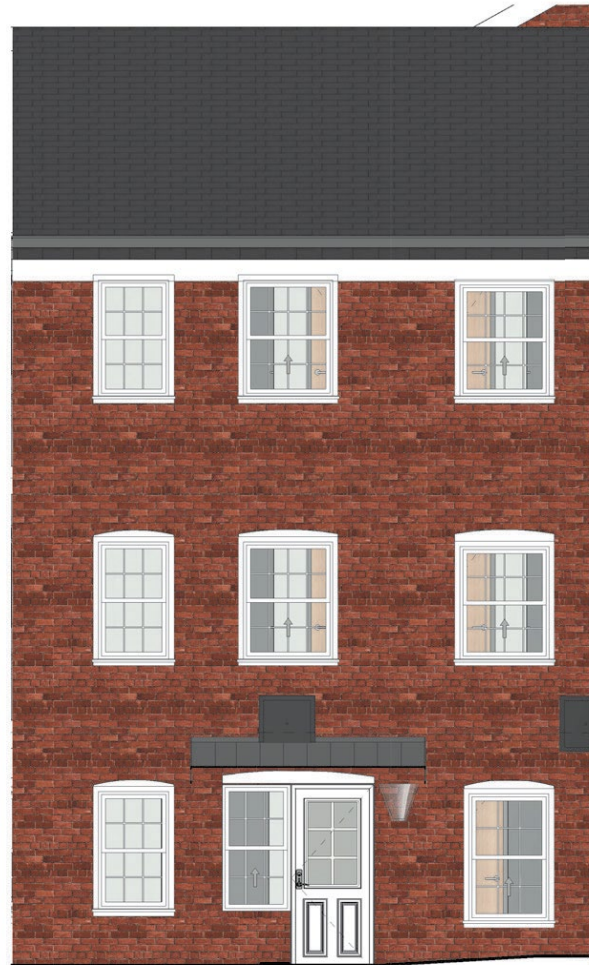
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CANOPY DESIGN - BACK ENTRANCE

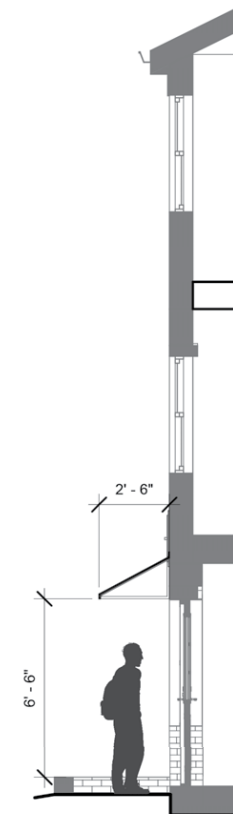
/ COLORED ELEVATION



/ LINE DRAWING



/ SECTION



NUMBER OF CANOPIES/ BUILDING:

- BLDG 22: 6
- BLDG 23: 6
- BLDG 24: 7
- BLDG 25: 10
- BLDG 26: 7

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