

Historical Affairs and Landmark Review Board

Arlington County, Virginia



HALRB Meeting February 21, 2024, CoA 24-5

3310 21st Ave. N.: Request to construct an Accessory Dwelling Unit (ADU) and change the size and materials of driveway.

BRENNAN RESIDENCE ACCESSORY DWELLING UNIT

3310 21ST AVENUE NORTH, ARLINGTON, VA 22201

SCOPE OF WORK: CONSTRUCTION OF NEW REAR DETACHED ACCESSORY DWELLING UNIT

GTM ARCHITECTS

7735 OLD GEORGETOWN ROAD
SUITE 700
BETHESDA, MD 20814
(240) 333-3300
(240) 333-2001 FAX
WWW.GTMARCHITECTS.COM



Seal



Consultant

Project

**BRENNAN
RESIDENCE ADU**

3310 21ST AVE N., ARLINGTON, VA 22207

Owner

**PATRICK & MADELON
BRENNAN**

Developer

**MAKARA
BUILDERS, LLC**

CoA SET 01-24-2024
Issue Description Date

GTM Project No. 19.0597
Checked By GTM/MEK
Drawn By SOS/FSC
Scale AS NOTED

Sheet Title

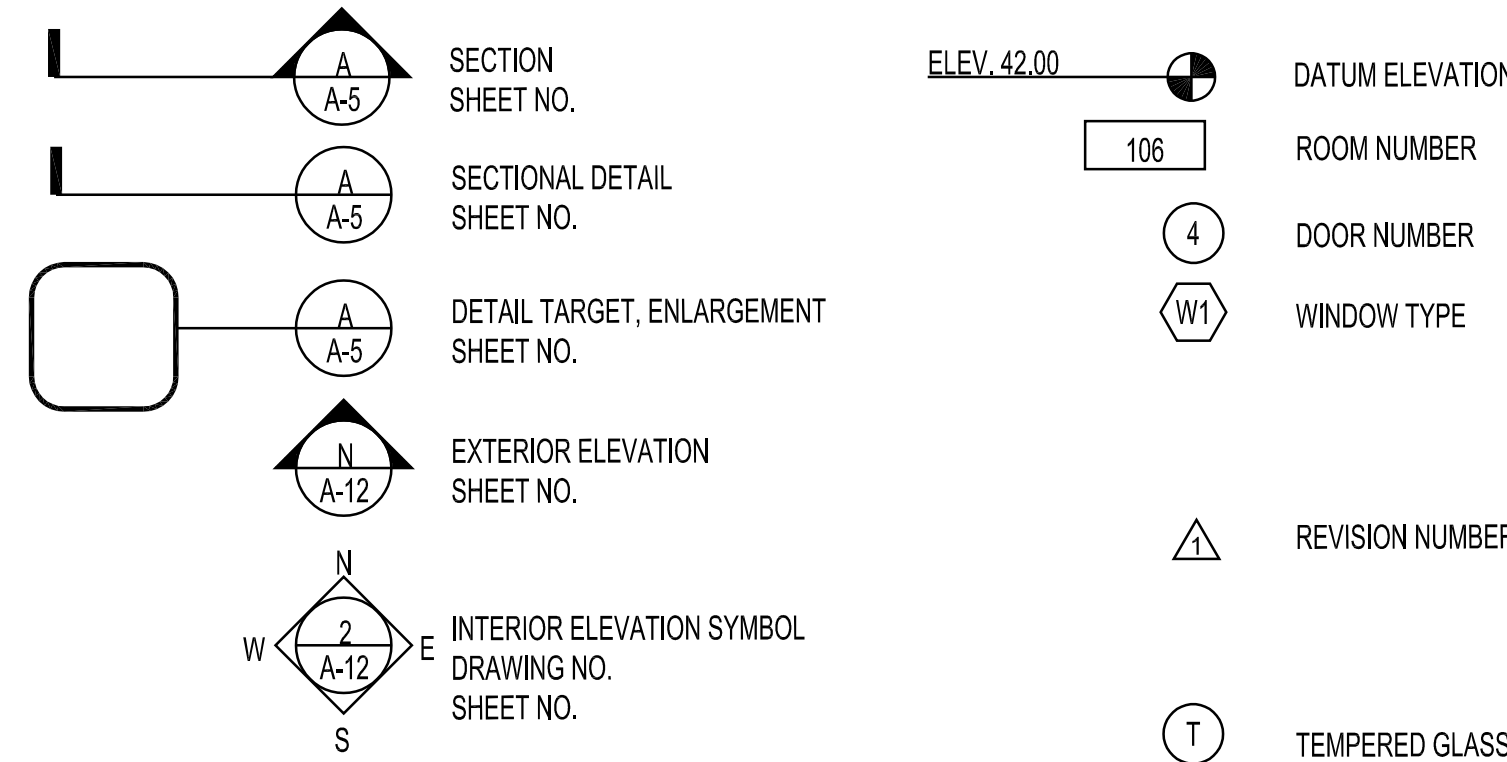
COVER SHEET

Sheet No.

001

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GRAPHIC SYMBOLS



CALCULATIONS

EXISTING:		
EXISTING MAIN DWELLING GROSS FLOOR AREA (GFA):		
BASEMENT	=	590 S.F.
FIRST FLOOR	=	1,175 S.F.
SECOND FLOOR	=	994 S.F.
TOTAL	=	2,759 S.F.
PROPOSED:		
ACCESSORY DWELLING UNIT:		459 S.F.
TOTAL PROPOSED CONSTRUCTED AREA:		459 S.F.
TOTAL LOT COVERAGE:		
MAIN BUILDING FOOTPRINT	=	1,158.6 S.F.
FRONT PORCH	=	119 S.F.
SIDE PORCH	=	78 S.F.
REAR SCREENED PORCH	=	103 S.F.
ACCESSORY DWELLING	=	459 S.F.
DRIVEWAY (PROPOSED)	=	336 S.F.
DECKS	=	60 S.F.
TOTAL	=	2,253.6 S.F.
2,253.6 S.F. (TOTAL LOT COVERAGE) / 5,243 (TOTAL LOT SIZE) = 43%		
ZONED: R-6 ACCESSORY DWELLINGS ZONING DATA		
	PROVIDED	REQUIRED
LOT AREA	5,243 S.F.	5,000 S.F.
TOTAL LOT COVERAGE:	2,253 S.F. (43%)	43% MAX. (2,254.5 S.F.)
FRONT YARD SETBACK	SEE SITE PLAN SHEET '003'	25' - 0"
SIDE YARD SETBACK		5' - 0"
REAR YARD SETBACK		5' - 0"
BUILDING HEIGHT	13'-6 3/4" BUILDING HEIGHT TO MID-POINT 16'-9 1/2" BUILDING HEIGHT TO ROOF PEAK	25' MAX. BUILDING HEIGHT

PLAT DATA

3310 21ST AVENUE NORTH,
ARLINGTON, VA 22207
LOT 07
(DEED BOOK 043, PAGE 2)
MAYWOOD

ZONED: R-6
5,243 SF LOT AREA

(SEE SITE PLAN ON SHEET '003')

LIST OF DRAWINGS

001	COVER SHEET	A200	ELEVATIONS
002	SPECIFICATIONS	A300	BUILDING SECTIONS
003	SITE PLAN	A500	DETAILS
004	EXISTING MAIN HOUSE PHOTOS		
005	PROPOSED ADU 3D RENDERINGS		
EC001	DOOR AND WINDOW SCHEDULES & THERMAL ENERGY DIAGRAMS		
EC002	RESCHECK WEB COMPLIANCE REPORT		
A100	FLOOR PLANS		

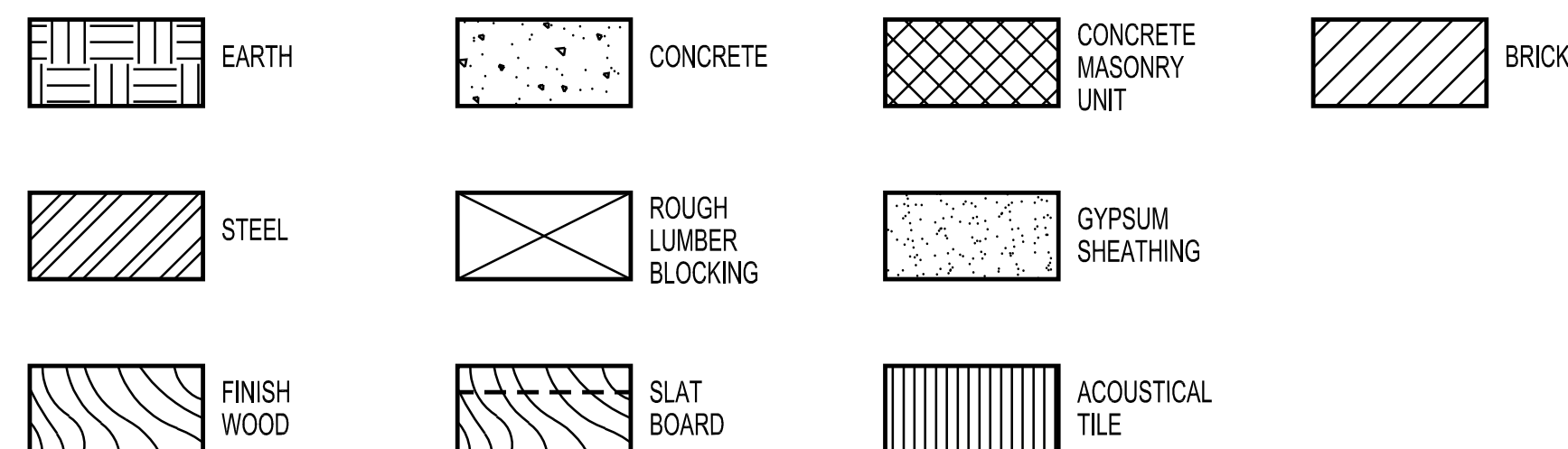
ACCESSORY DWELLING FOOTPRINT CALCULATION

THE MAXIMUM FOOTPRINT OF AN ACCESSORY BUILDING ON A LOT APPROVED AFTER MAY 18, 2019 IS 560 SQUARE FEET IN R-6 DISTRICT. WHEN THE EXISTING MAIN DWELLING IS AT LEAST 1,000 S.F. AND ANY PORTION OF THE ACCESSORY DWELLING IS LOCATED ABOVE THE BASEMENT, THE ACCESSORY DWELLING UNIT CANNOT EXCEED 35% OF THE COMBINED FLOOR AREA OF THE MAIN DWELLING AND THE ACCESSORY DWELLING, UP TO A MAXIMUM OF 750 S.F. OR 560 S.F. IN R-5 & R-6 DISTRICTS

CALCULATIONS: 35% OF COMBINED FLOOR AREA (EXISTING MAIN DWELLING & PROPOSED ACCESSORY DWELLING)	
EXISTING MAIN DWELLING GROSS FLOOR AREA:	2,759 S.F.
PROPOSED ACCESSORY DWELLING:	459 S.F.
	3,218 S.F.

459 S.F. (PROPOSED ACCESSORY DWELLING) / 3,218 (TOTAL GFA) = 14% < 35% (MAX. ALLOWABLE GFA)

MATERIAL SYMBOLS



ABBREVIATIONS

ABOVE FINISH FLOOR	ADJUSTABLE	ADJUST	ADJ	EARTH	EA	INTERIOR	INT	PLATE	PL	VESTIBULE	VEST
ACOUSTIC	AIR CONDITIONING	AIR HANDLING UNIT	ALTERNATE	ALTERNATE CURRENT	ALUMINUM	AMPERES	ANCHOR BOLT	ARCHITECT	AT	AVERAGE	AUG
BEAM	BOARD	CABINET	CATALOG	CEILING	CERAMIC TILE	CLOSET	COLUMN	COMPANY	CONCRETE	CONCRETE MASONRY UNITS	CONFERENCE
CONTINUOUS	CONTRACT JOINT	COORDINATE	COORDR	CUBIC FEET	CUBIC FEET PER MINUTE	DEGRADED	DEPARTMENT	DEPTH	DETAIL	DIAGONAL	DIAMETER
DIMENSION	DISWASHER	DOOR	DOWN	DRAWING	EA	ELECTRIC	ELECTRIC ELECTRICAL	ELEVATION	ELEV	EMPTY CONDUT	ENGINEER
ELECTRIC WATER COOLER	EXHAUST	EXISTING	EXPANSION	EXPANSION JOINT	EXTERIOR	FAHRENHEIT	FEET PER MINUTE	FEET	FEET	FINISH	FIRE EXTINGUISHER CAB.
FLOOR	FLOOR	FLOOR	FLOOR	FLOOR	FIRE RATED	GALLON	GALLONS PER MINUTE	GALVANEED	GENERAL CONTRACTOR	GROUNDING FAULT INTERRUPT.	GYPSUM WALLBOARD
HANDICAPPED	HARDWARE	HARDWOOD	HIGH	HIGH	HIGH	HORIZONTAL	HORZ	HORSE POWER	HOT WATER HEATER	HOUR	INCH
INFORMATION	INSIDE DIAMETER	INCH	INFORMATION	INSIDE DIAMETER	INCH	INFORMATION	INSIDE DIAMETER	INCH	INFORMATION	INSIDE DIAMETER	INCH

PROJECT INFORMATION

CLIENT
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JASON@MAKARABUILDERS.COM

PLANS PREPARED BASED ON THE FOLLOWING CODES:
INTERNATIONAL RESIDENTIAL CODE 2018
VIRGINIA RESIDENTIAL CODE 2018
INTERNATIONAL ENERGY CONSERVATION CODE 2018

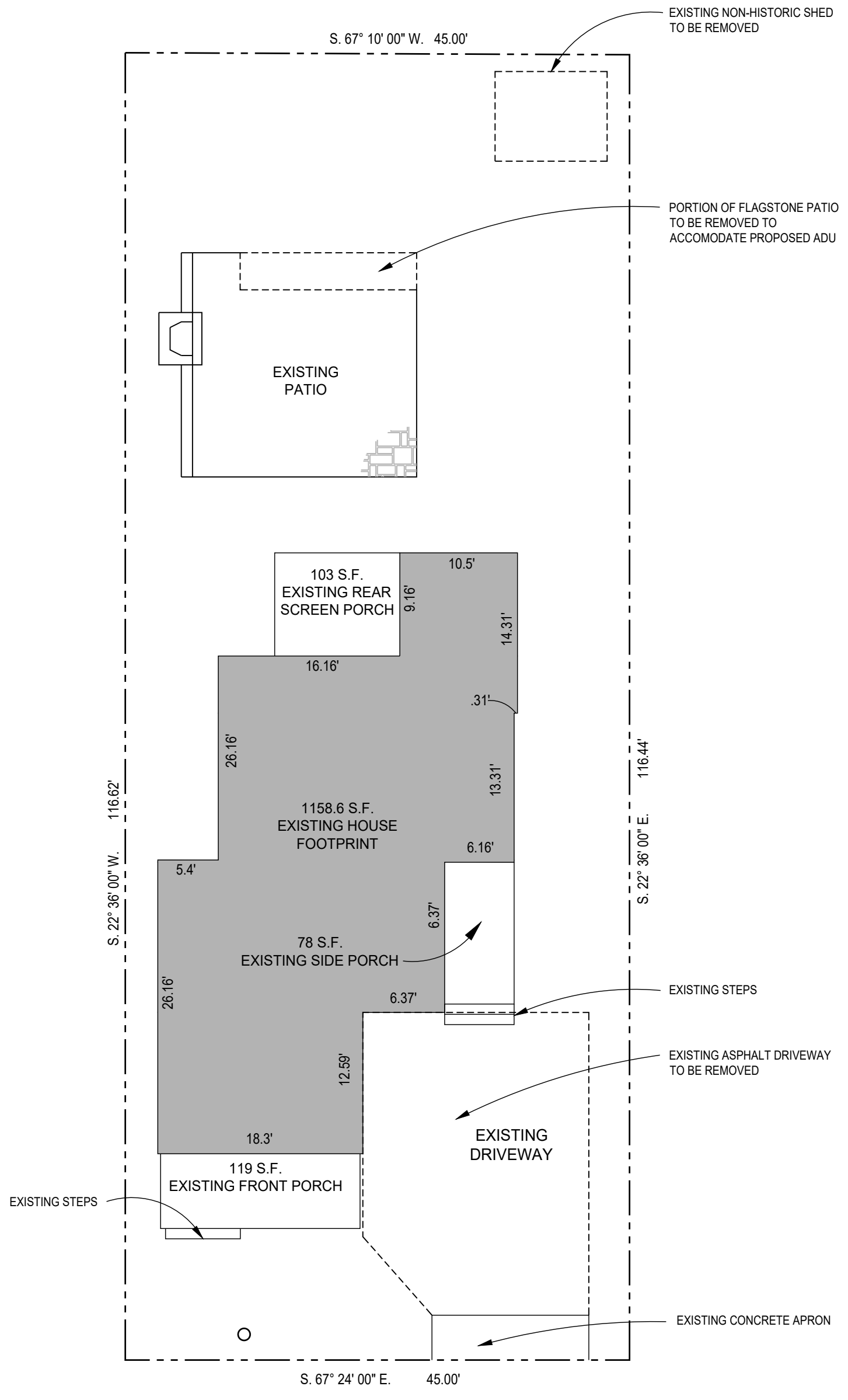
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C

B

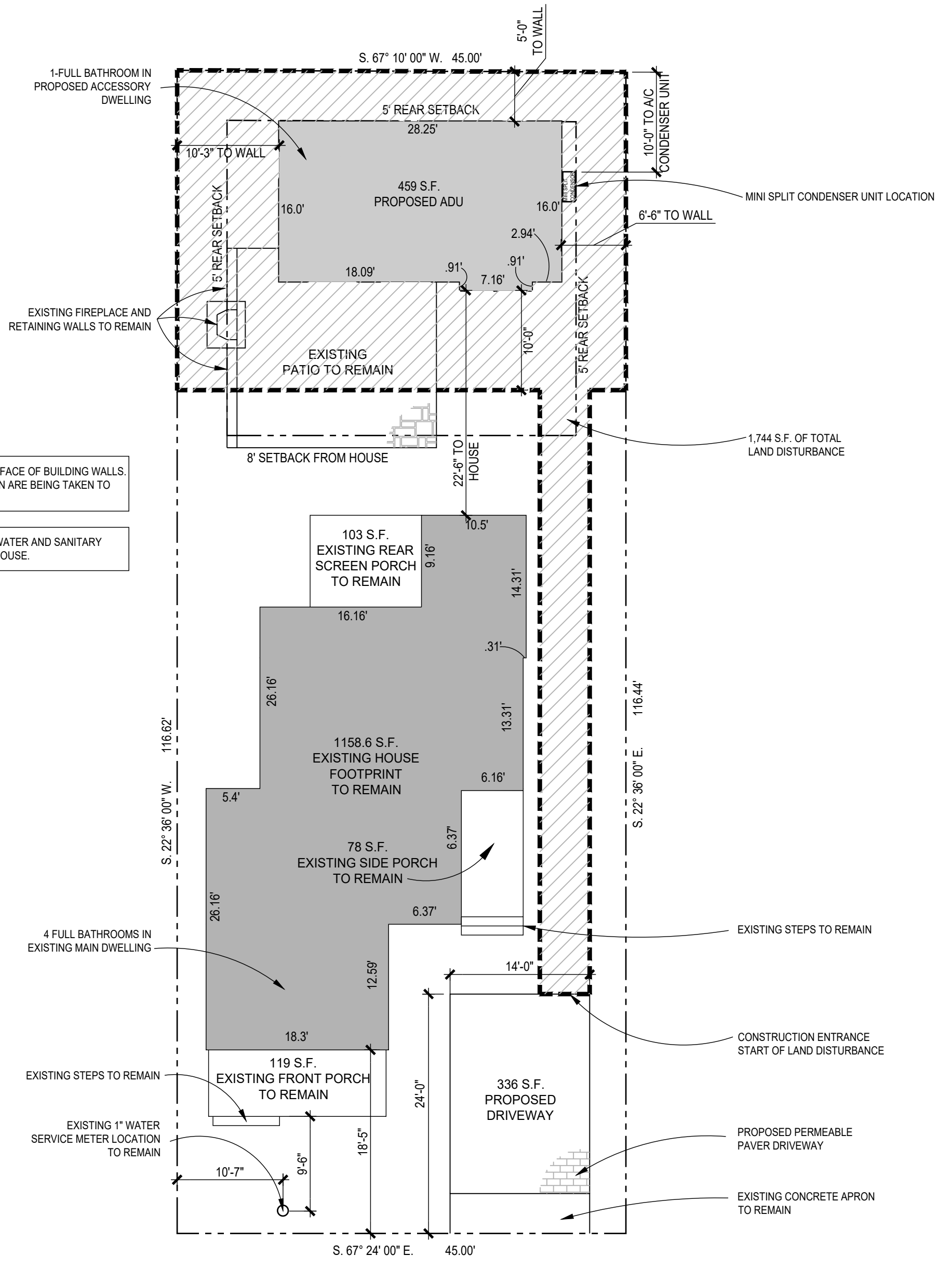
A



1 EXISTING SITE PLAN
Scale: 1:10

SETBACKS ARE ENFORCED TO THE FINISHED FACE OF BUILDING WALLS. THE SETBACKS ON THIS PROPOSED SITE PLAN ARE BEING TAKEN TO THE FINISHED FACE OF SIDING.

THE ADU WILL BE SERVED BY THE EXISTING WATER AND SANITARY SEWER CONNECTIONS FROM THE EXISTING HOUSE.

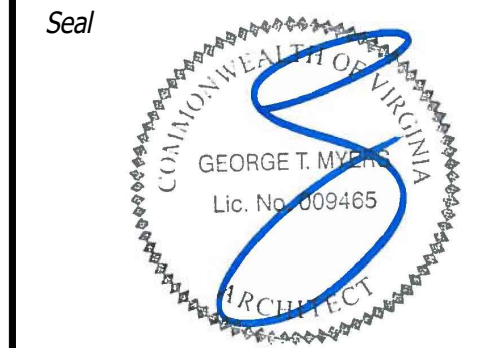


2 PROPOSED SITE PLAN
Scale: 1:10

LEGEND

- LIMIT OF LAND DISTURBANCE
- AREA OF LAND DISTURBANCE

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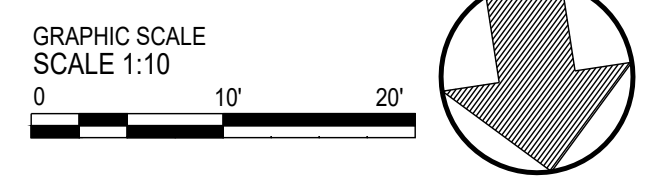
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Sheet Title
SITE PLAN

Sheet No.
003

NOT-FOR-CONSTRUCTION





EXISTING FRONT VIEW OF MAIN HOUSE



EXISTING RIGHT SIDE VIEW OF MAIN HOUSE



EXISTING REAR VIEW OF MAIN HOUSE



EXISTING LEFT SIDE VIEW OF MAIN HOUSE

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**EXISTING HOUSE
PHOTOS**

Sheet No.

004

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FILE NAME



PROPOSED FRONT VIEW OF ADU



PROPOSED RIGHT SIDE VIEW OF ADU



PROPOSED REAR VIEW OF ADU



PROPOSED LEFTSIDE VIEW OF ADU

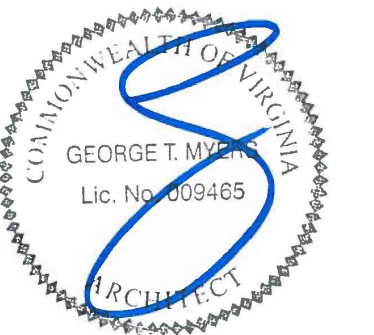
RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. PLEASE REFER TO 2D SCALED DRAWINGS ON SHEETS 'A100, A200, A300, AND A500'

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**PROPOSED ADU
3D RENDERINGS**

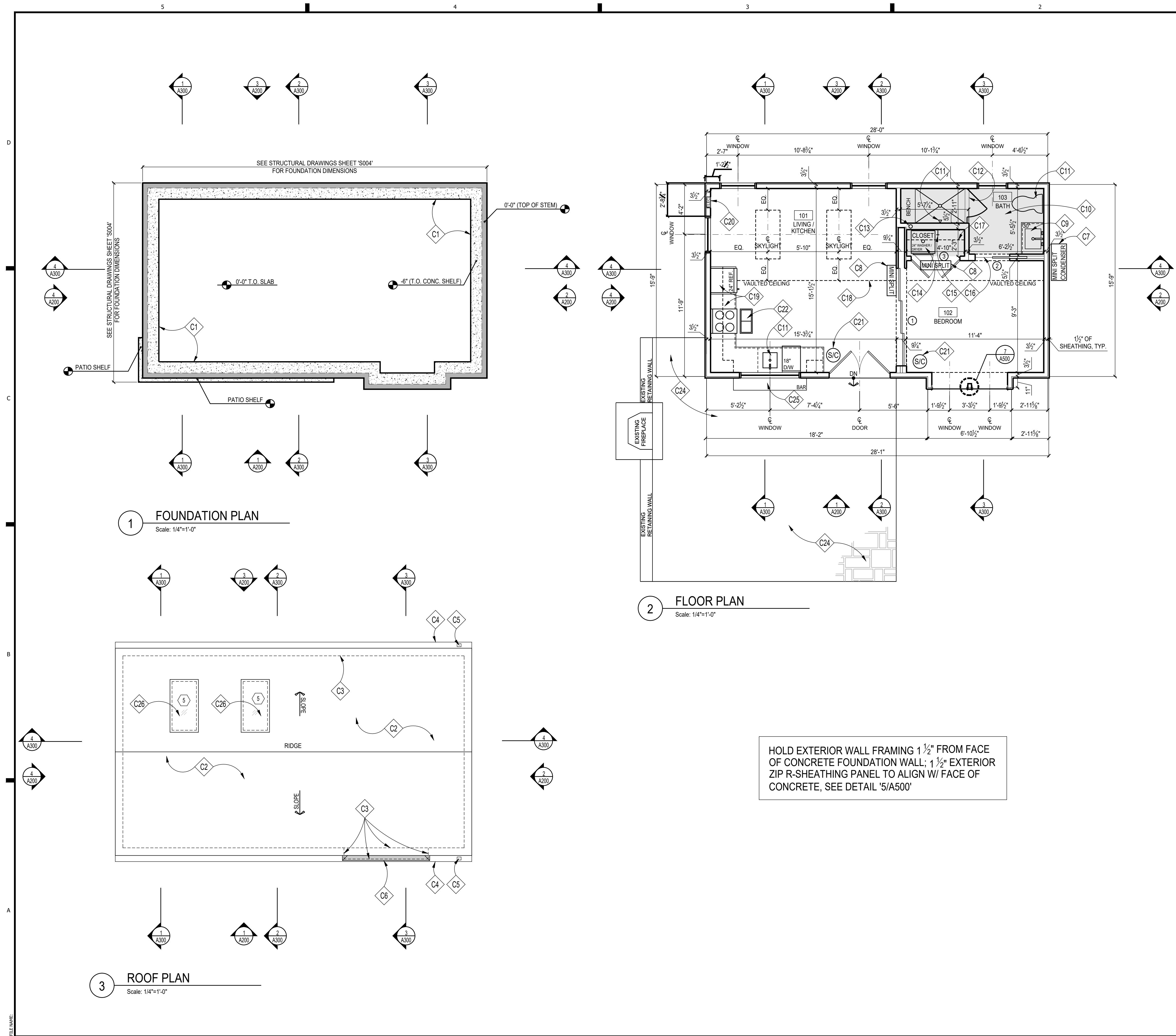
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FILE NAME



CONSTRUCTION NOTES

- C1 CONCRETE FOUNDATION WALL; SEE STRUCTURAL DRAWINGS
- C2 GAF 3-TAB ASPHALT SHINGLE OVER ROOFING FELT & ICE GUARD ON ROOF SHEATHING; ROOF STYLE AND COLOR TO MATCH EXISTING HOUSE.
- C3 DASHED LINE OF FRAME WALL BELOW
- C4 GUTTER, 6" K-STYLE TO MATCH EXISTING HOUSE.
- C5 4" DOWNSPOUT TO MATCH EXISTING HOUSE. SEE ROOF PLAN AND ELEV. DRAWINGS FOR LOCATION
- C6 TONED AREA INDICATES BAY WINDOW BELOW, PROVIDE HIPPED ROOF WITH TPO ROOFING MEMBRANE. SEE ELEV. DWG 1/A200, SECTION 3/A300, AND DETAIL 1/A500
- C7 MINI SPLIT A/C CONDENSER; REFER TO MECHANICAL DRAWINGS
- C8 HVAC MINI SPLIT SYSTEM; REFER TO MECHANICAL DRAWINGS
- C9 VANITY W/ SINK, FAUCET & COUNTERTOP T.B.S.
- C10 TONED AREA INDICATES A DROPPED FINISHED CEILING HEIGHT; SEE 3/A300 FOR SPECIFIC FINISHED CEILING HEIGHT
- C11 PLUMBING FIXTURES & ACCESSORIES T.B.S. BY OWNER.
- C12 TILED SHOWER W/ TILED BENCH & NICHE AND W/ TEMPERED GLASS ENCLOSURE & DOOR; PROVIDE MEMBRANE LINER & 1/2" DUROCK AROUND ALL SIDES. SEE DETAIL 687/A500
- C13 RADON PIPE TO ROOF LOCATION, PER IRC 2018 APPENDIX F, GC TO COORDINATE FINAL LOCATION
- C14 PROVIDE OVERFLOW FLOOR PAN & FLOOR DRAIN UNDER WASHING MACHINE
- C15 MAIN WATER SHUT-OFF VALVE LOCATION
- C16 SCHLUTER THRESHOLD, T.B.S.
- C17 PROVIDE METAL CHROME HANGING ROD & PTD. 12" DEEP SHELF W/ 1.5" FASCIA, CONFIRM FINAL LAYOUT W/ OWNER.
- C18 DASHED LINE INDICATES GABLED ROOFLINE ABOVE
- C19 CABINETS, COUNTERTOPS & APPLIANCES, T.B.S. GC TO FINALIZE LAYOUT WITH OWNER.
- C20 ELECTRICAL PANEL LOCATION; GC TO COORDINATE IN FIELD W/ ELECTRICAL CONTRACTOR
- C21 SMOKE DETECTOR/ CARBON MONOXIDE COMBO UNIT PER IRC 2018
- C22 ENERGY RECOVERY VENTILATOR, SEE MECHANICAL DWGS.
- C23 TIE IN EXISTING FLAGSTONE PATIO AROUND PERIMETER OF PROPOSED ADU.
- C24 EXISTING FLAGSTONE PATIO TO REMAIN.
- C25 COUNTERTOP TO EXTEND OUT TO CREATE OUTDOOR BAR COUNTERTOP. GC TO CONFIRM FINAL LAYOUT WITH OWNER.
- C26 SKYLIGHTS, SEE SKYLIGHT SCHEDULE ON SHEET '003' & LOCATIONS ON SHEET 'A101'

GENERAL ROOFING NOTES

1. PROVIDE SELF-ADHERING, 40 MIL ICE AND WATER GUARD UNDERLAYMENT UNDER SHINGLES AT ALL VALLEYS AND FROM LOWEST EDGE OF ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE, AND ON ALL AREAS WITH A SLOPE LESS THAN 4:12.
2. PROVIDE FLASHING FOR MIN. 8" EACH SIDE OF ALL VALLEYS & PITCH CHANGES

WALL TYPES

TYPICAL NEW EXTERIOR WALL; 2x4 WOOD STUDS 16" O.C., W/ INSULATION (SEE THERMAL ENVELOPE, SHEET "E0201" FOR INSULATION LOCATION & INFORMATION) W/ 1/2" EXTERIOR SHEATHING, 1" CONTINUOUS R-6.6 (ZIP R-SHEATHING), INTERIOR FINISH TO BE 1/2" GYP. BD.

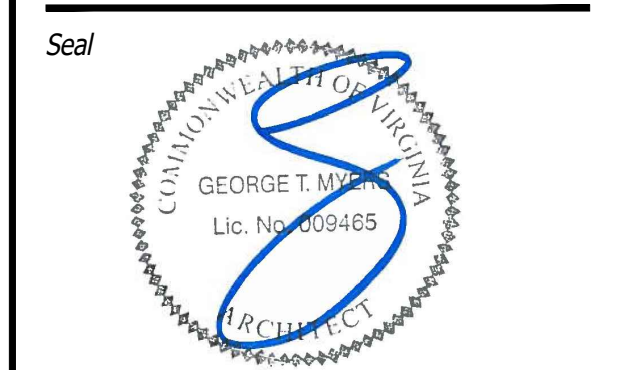
TYPICAL NON-BEARING INTERIOR PARTITION; 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE.

FOUNDATION NOTES

REFER TO STRUCTURAL DRAWINGS

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Developer
MAKARA BUILDERS, LLC

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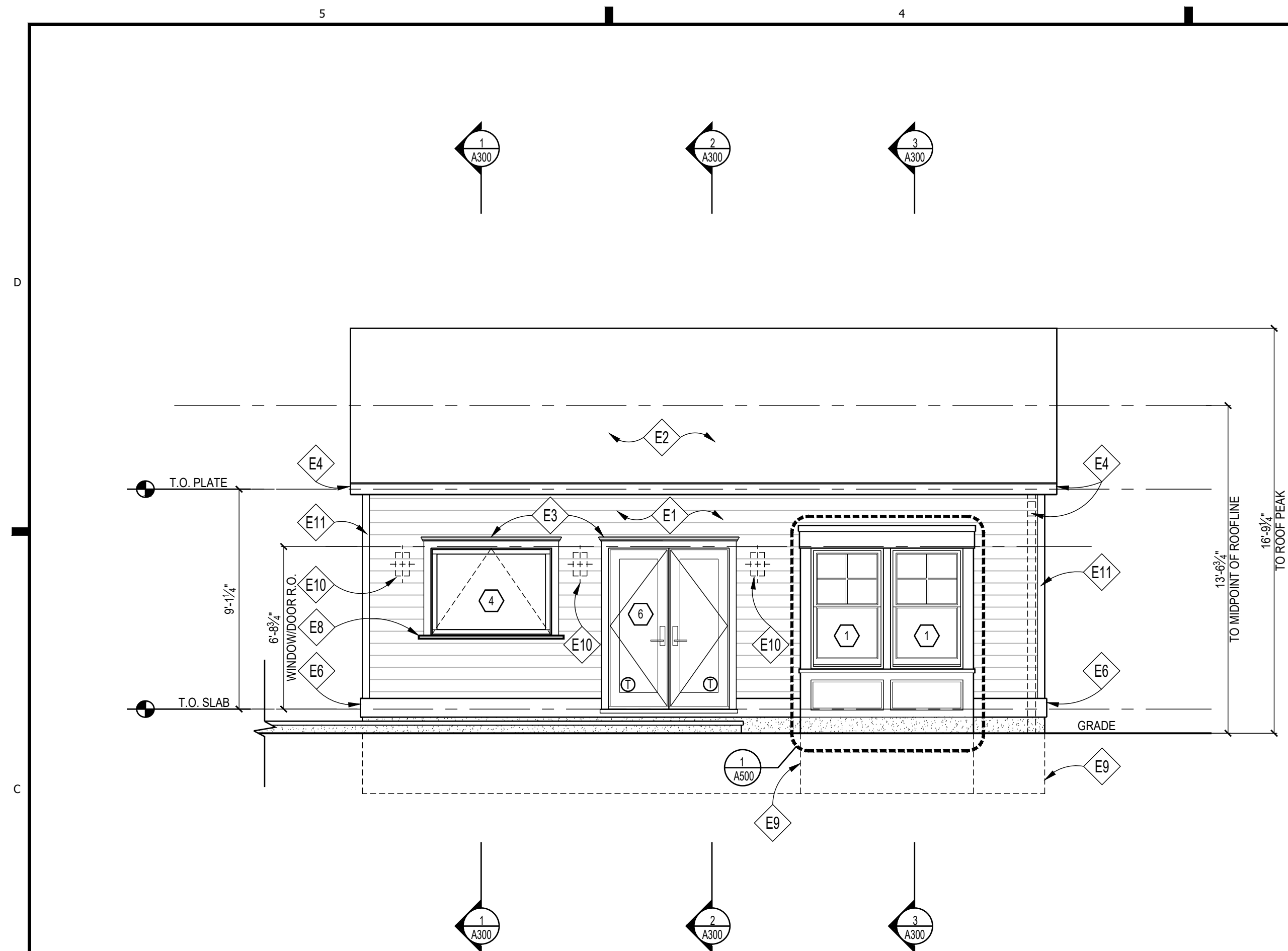
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FLOOR PLANS

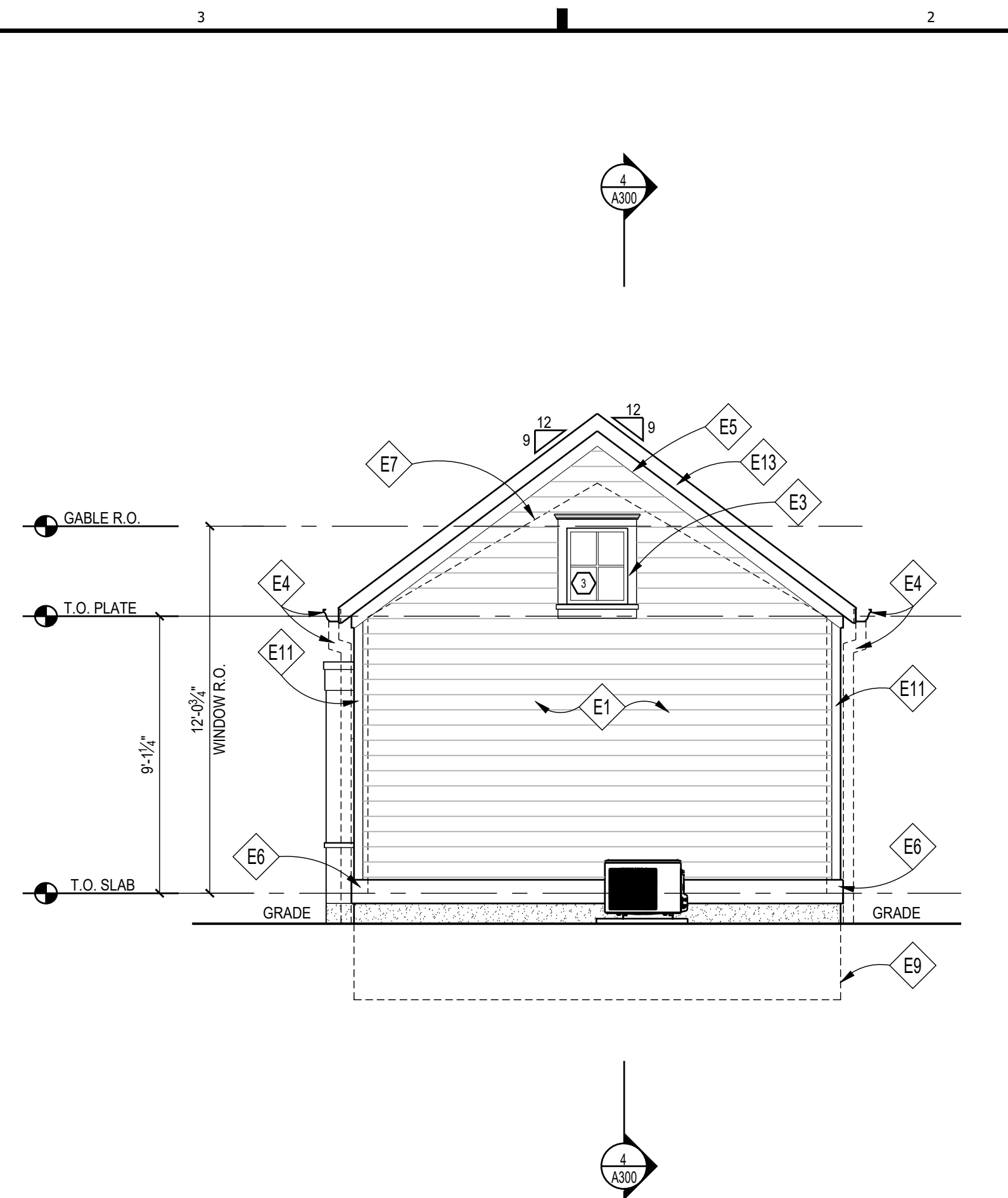
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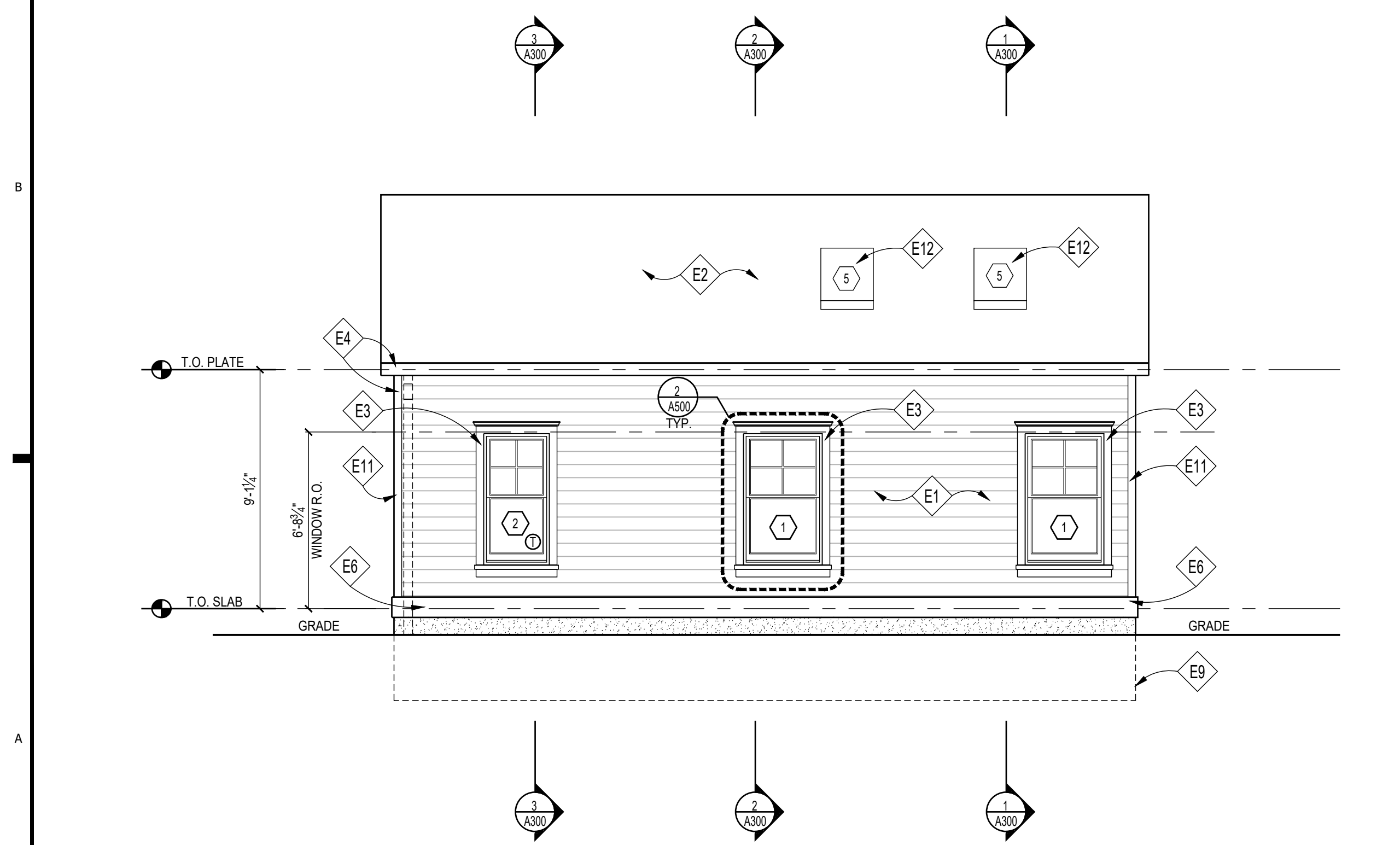
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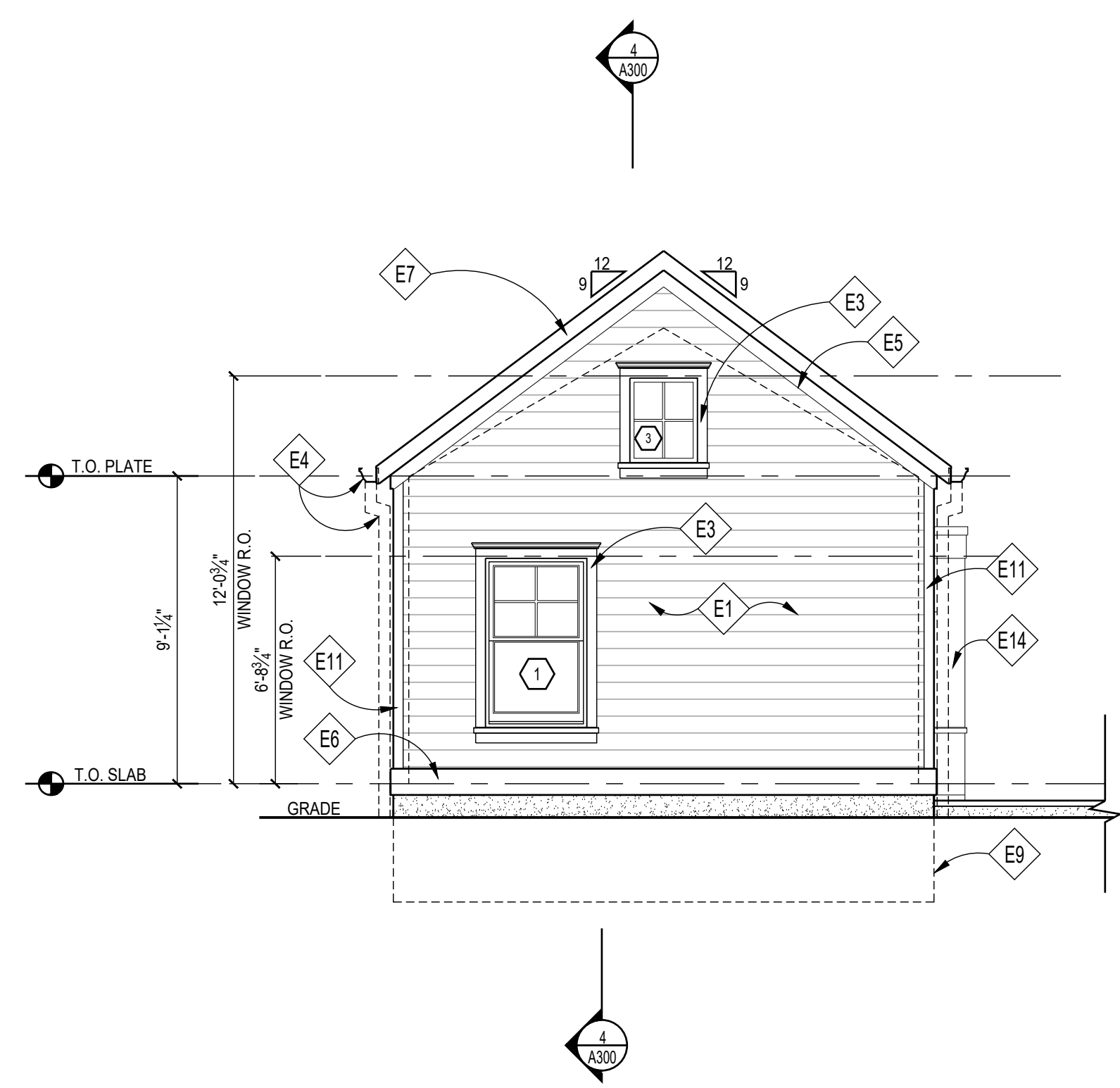
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2 RIGHT SIDE ELEVATION
Scale: 1/4"=1'-0"



3 REAR ELEVATION
Scale: 1/4"=1'-0"



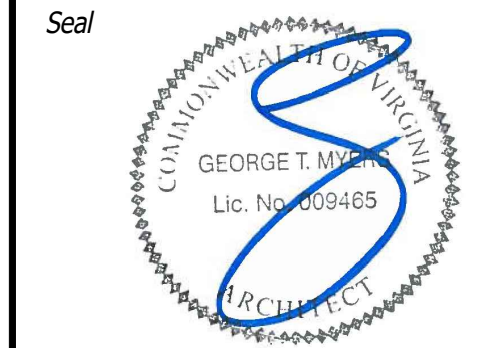
4 LEFT SIDE ELEVATION
Scale: 1/4"=1'-0"

ELEVATION NOTES

- E1 PTD. EXTERIOR HARDIE PLANK LAP SMOOTH SIDING, REVEAL TO MATCH EXISTING HOUSE; COLOR TO BE HARDIE EVENING BLUE
- E2 ROOF MATERIAL, SEE ROOF PLAN 3/A100
- E3 PTD. 5/4X PVC WINDOW/DOOR TRIM, SEE DETAIL 2/A500
- E4 GUTTER & DOWNSPOUT TO MATCH EXISTING HOUSE; SEE ROOF PLAN 3/A100
- E5 PTD. 5/4X6 PVC RAKE TRIM
- E6 PTD. 5/4X10 PVC SKIRT BOARD; SEE DETAIL 5/A500
- E7 DASHED LINE OF VOLUME CEILING BEYOND
- E8 SOLID SURFACE COUNTERTOP BAR, T.B.S. BY OWNER. SEE 1/A300 FOR DETAILS.
- E9 DASHED LINE OF FOUNDATION WALL AND FOOTING, TYP. SEE FOUNDATION DRAWINGS FOR ADDITIONAL INFORMATION
- E10 EXTERIOR SCONCE T.B.S. BY OWNER
- E11 PTD. 5/4X4 PVC CORNER BOARD
- E12 SKYLIGHT, SEE SKYLIGHT SCHEDULE ON SHEET '003' & LOCATIONS ON '2/A100'
- E13 PTD 1X6 PVC FASCIA TRIM
- E14 BAY WINDOW BEYOND, SEE DETAIL 1/A500

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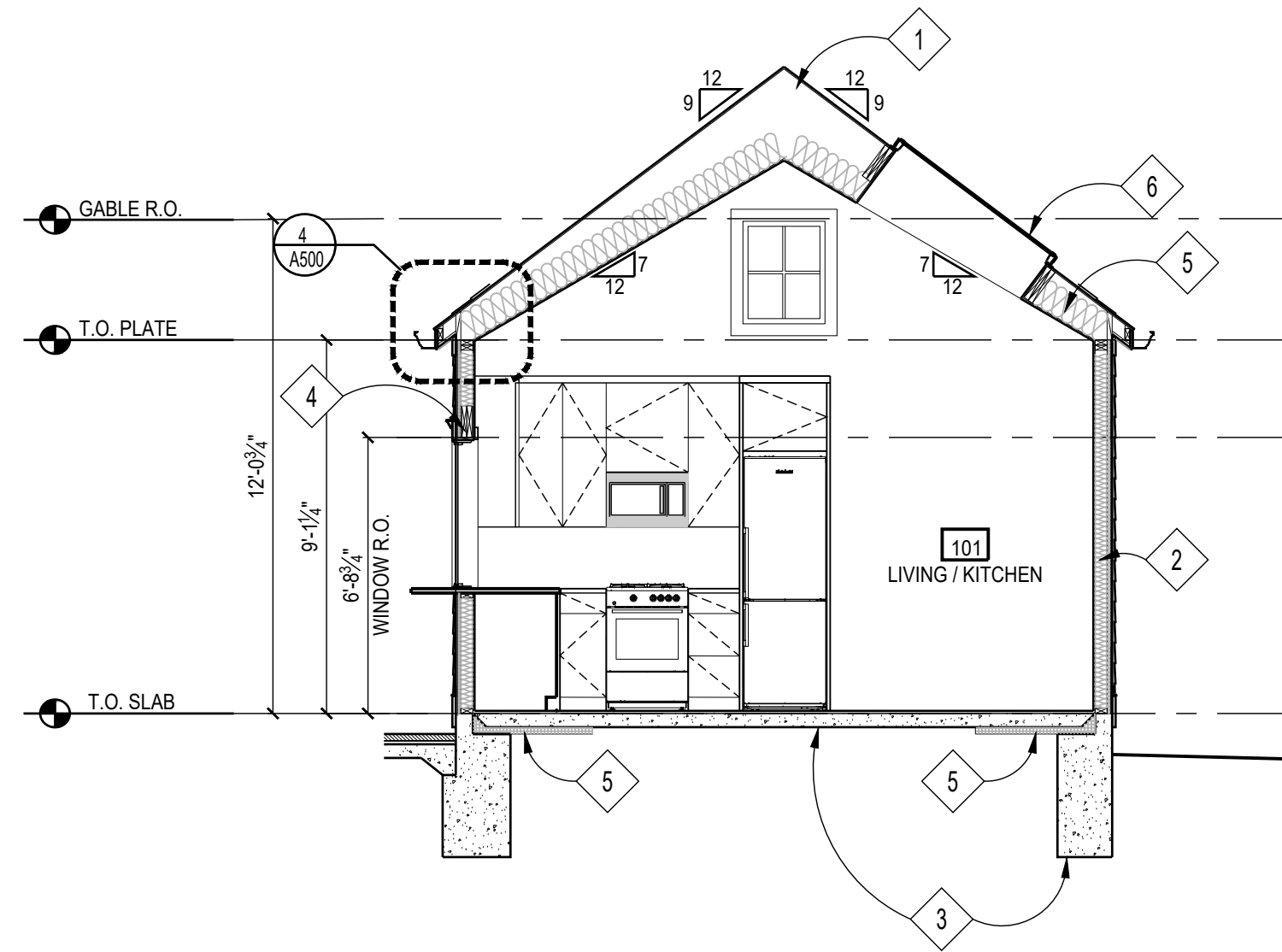
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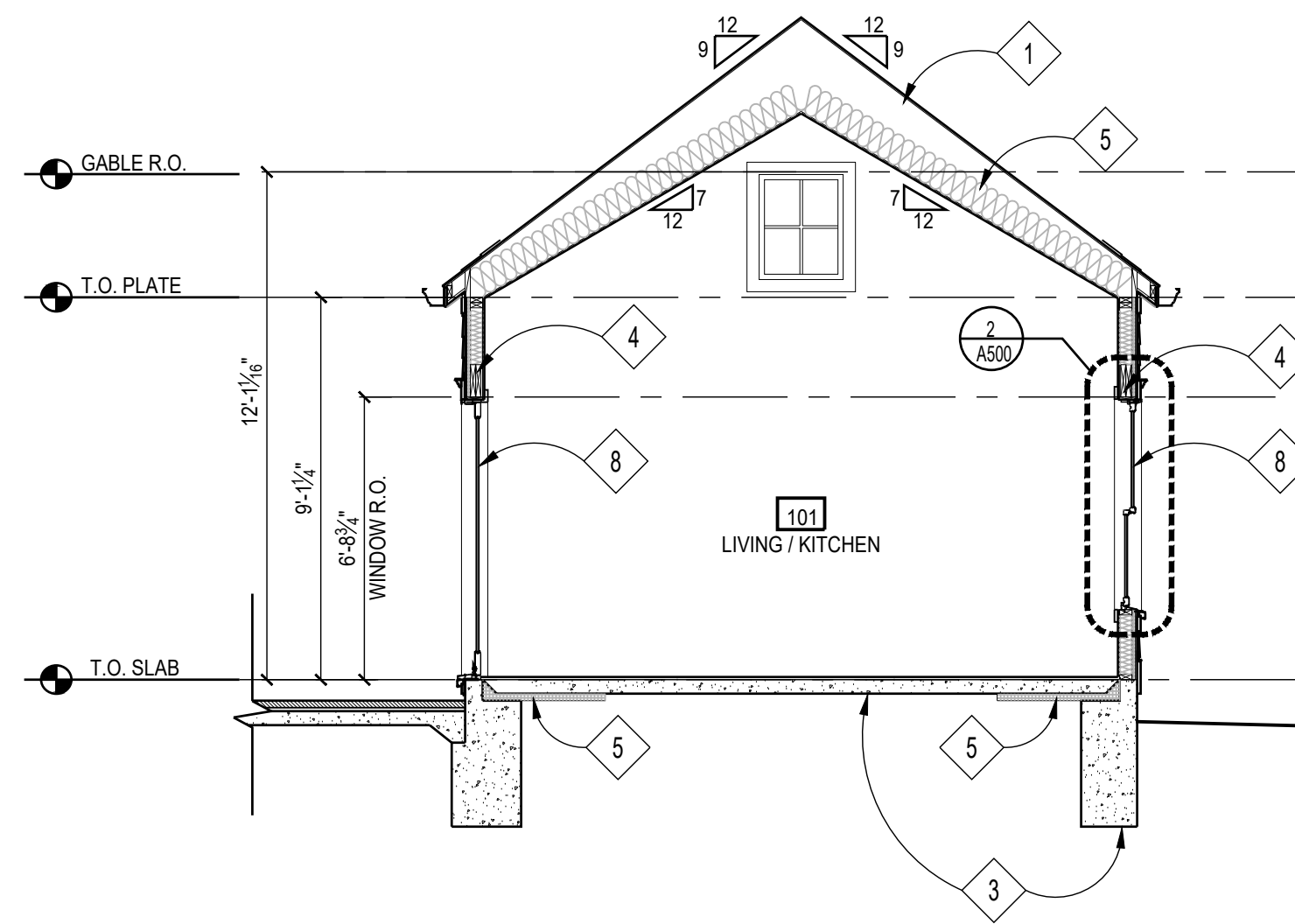
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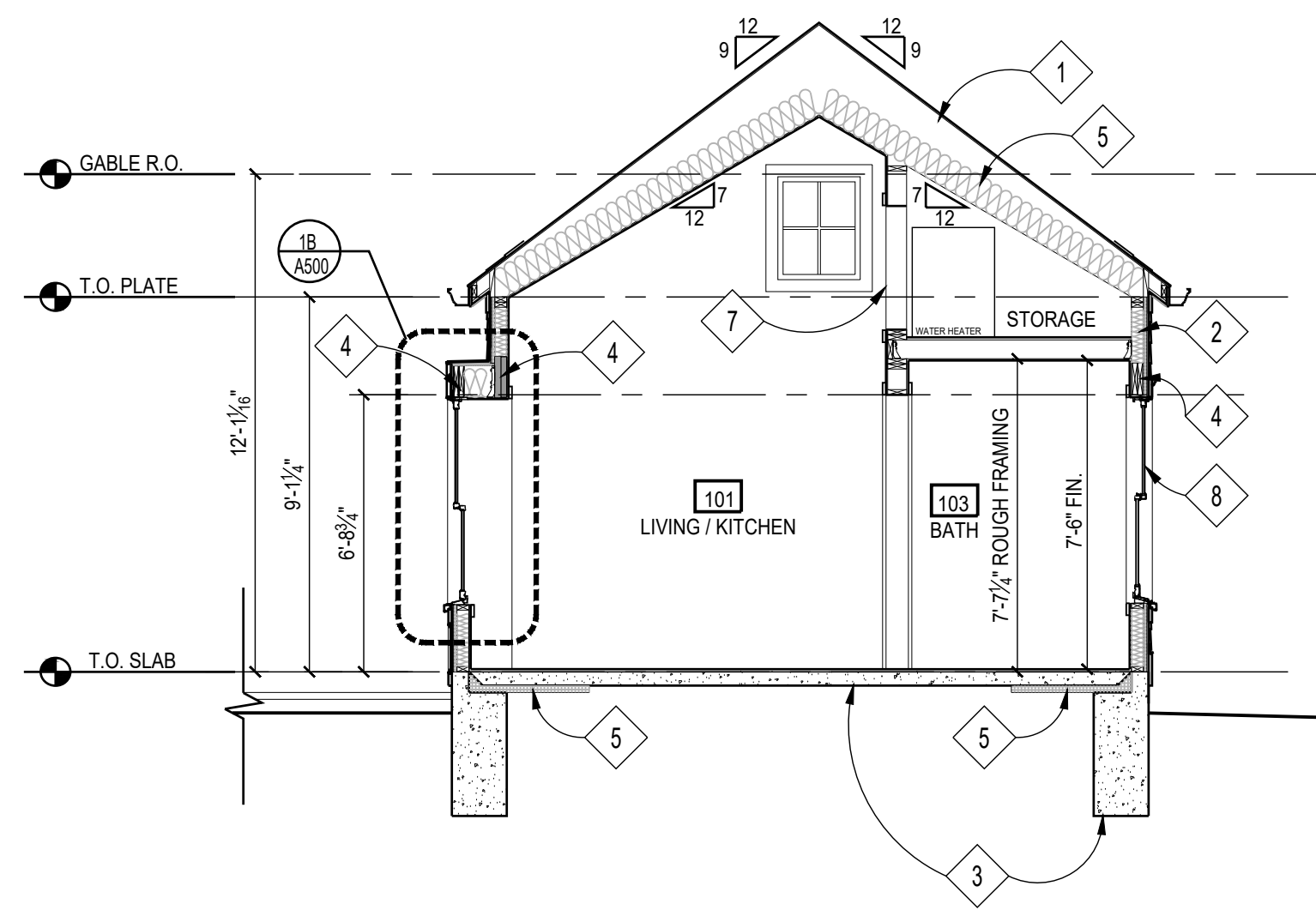
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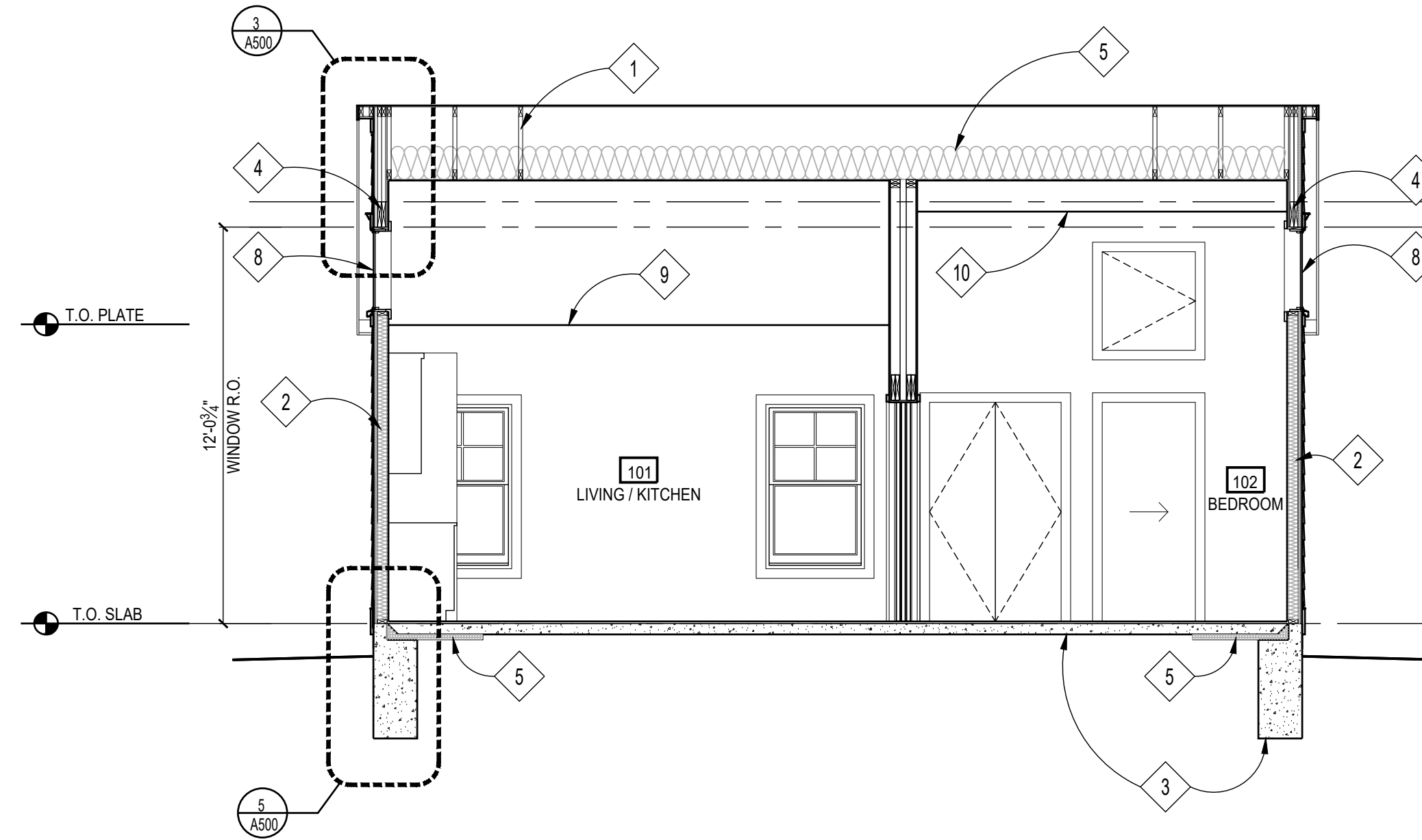
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2 BUILDING SECTION
Scale: 1/4"=1'-0"



3 BUILDING SECTION
Scale: 1/4"=1'-0"



4 BUILDING SECTION
Scale: 1/4"=1'-0"

SECTION NOTES

- 1 ROOF TRUSS; SEE ROOF FRAMING PLAN
- 2 EXTERIOR WALL INSULATION AND FRAMING; SEE FLOOR PLANS
- 3 REINFORCED CONCRETE FOUNDATION SLAB, FOOTER & WALL; SEE FOUNDATION PLAN
- 4 HEADER; SEE FRAMING PLANS
- 5 INSULATION (SEE THERMAL ENVELOPE SHEET "EC001" FOR INSULATION INFORMATION)
- 6 SKYLIGHT; SEE SKYLIGHT SCHEDULE ON SHEET "003" FOR DETAILS.
- 7 PROVIDE PAIR OF 2'-0" WIDE x 3'-0" TALL ACCESS DOORS FOR STORAGE AREA ABOVE BATHROOM AND CLOSET
- 8 WINDOW/DOOR; SEE WINDOW/DOOR SCHEDULE ON SHEET "003"
- 9 LINE INDICATES EDGE OF WALL BEYOND
- 10 LINE INDICATES EDGE OF WALL/CEILING BEYOND

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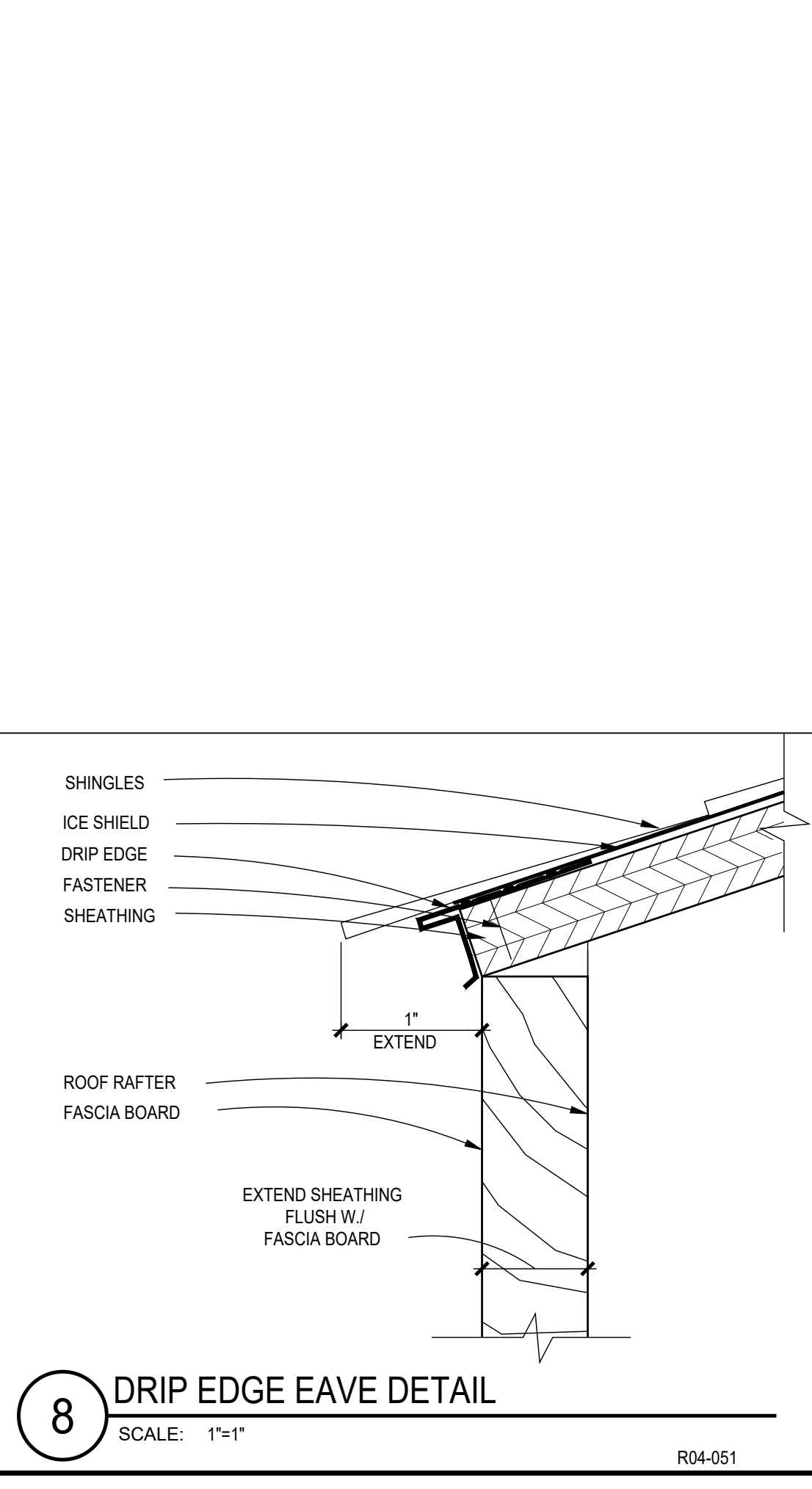
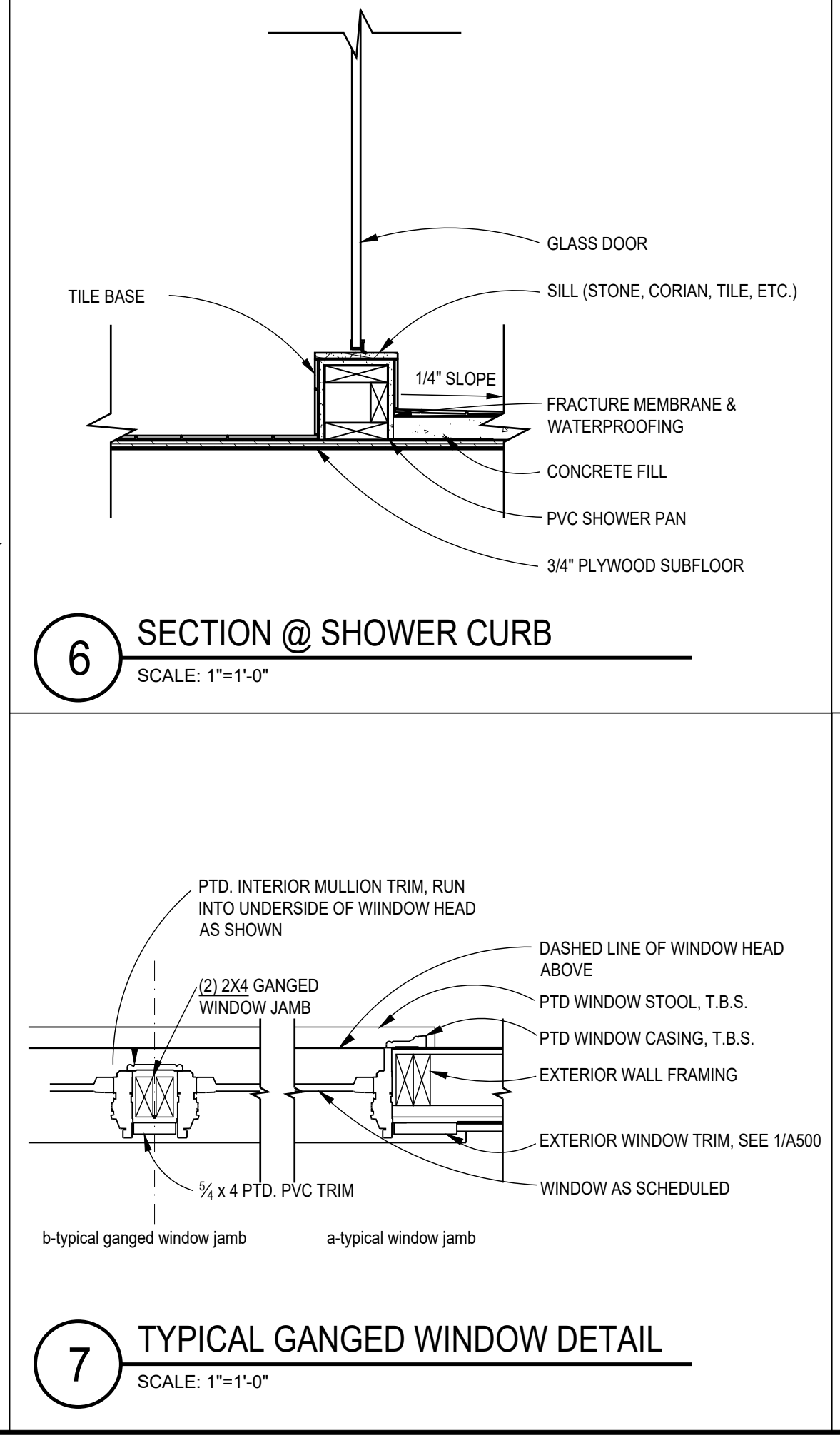
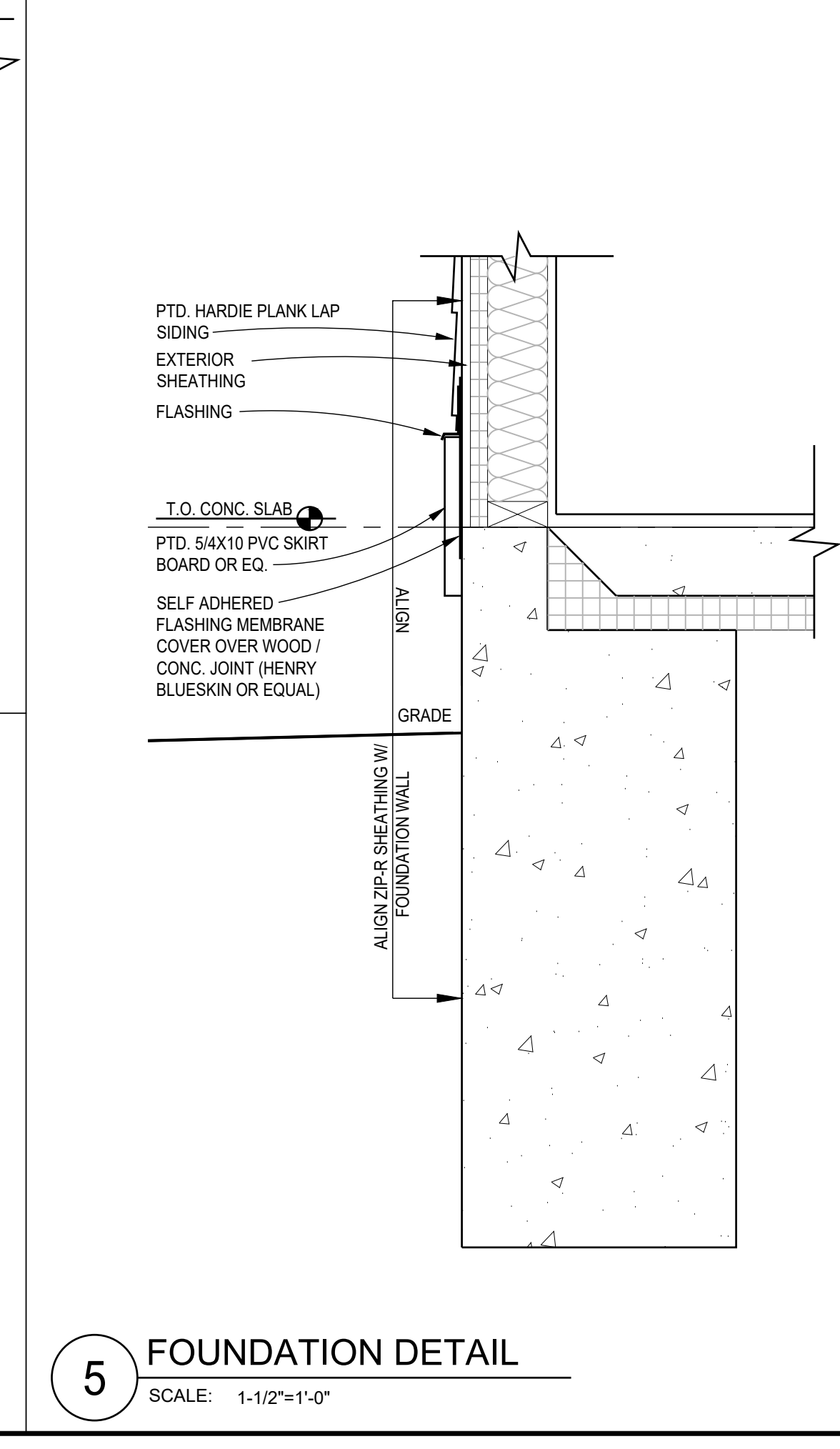
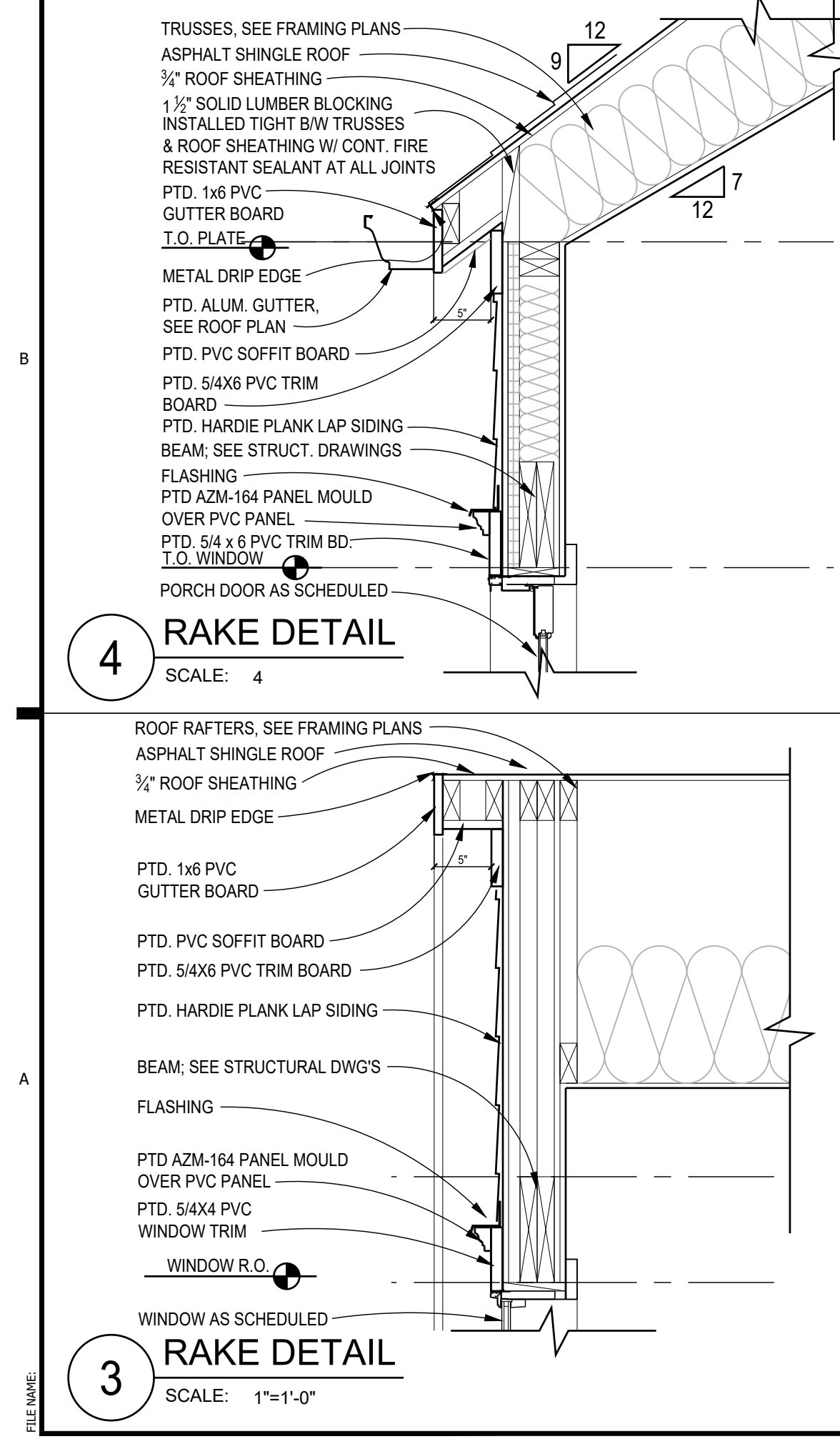
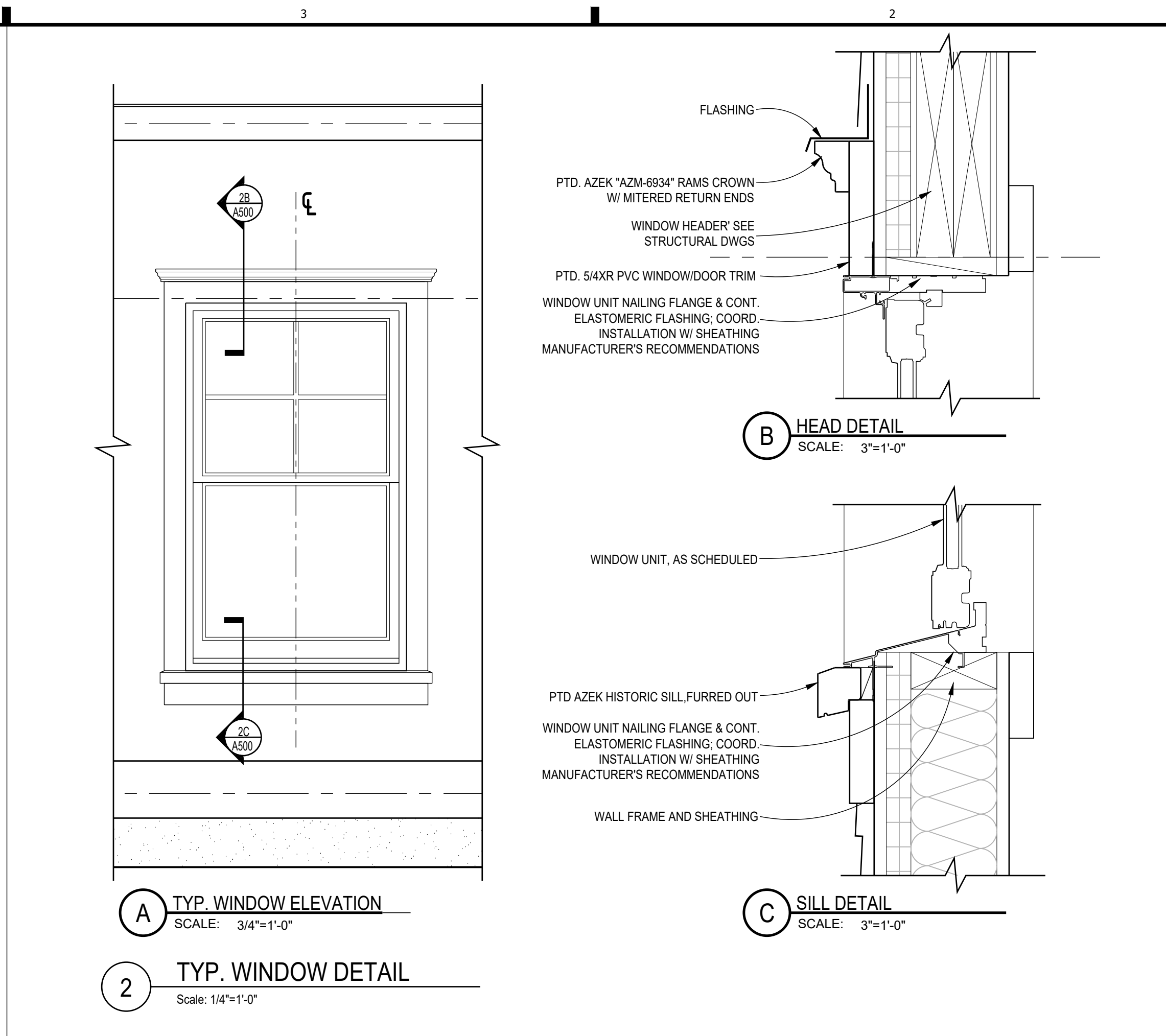
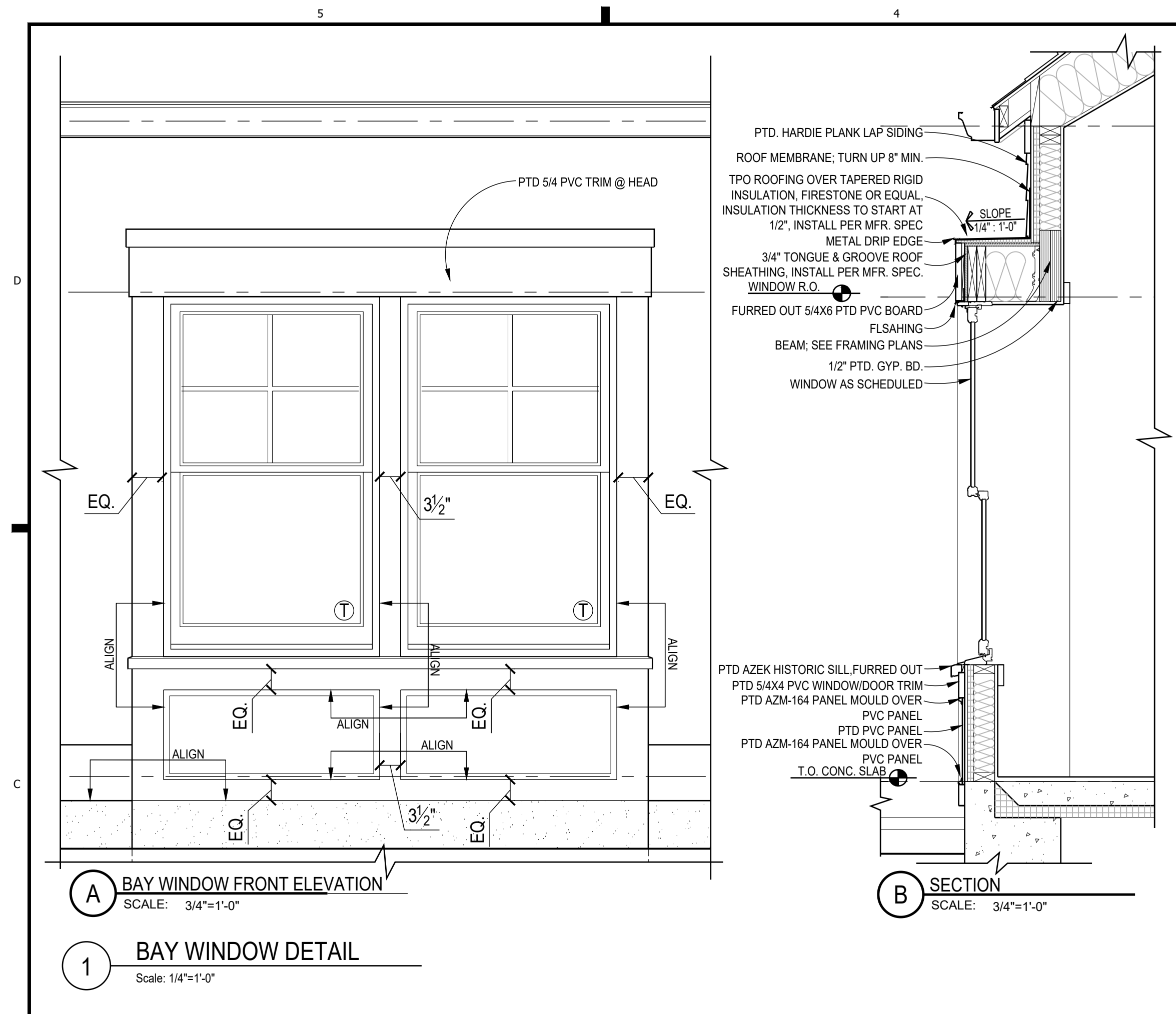
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BUILDING SECTIONS

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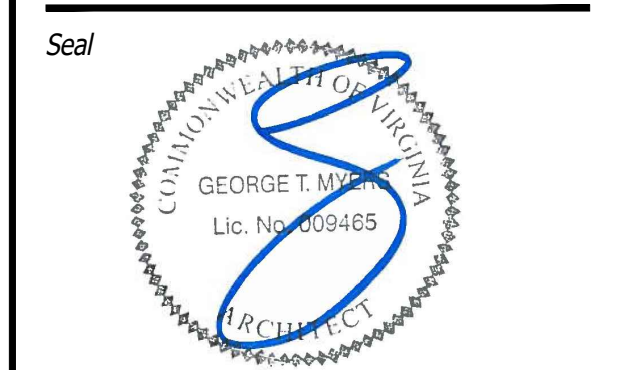
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BRENNAN RESIDENCE ADU

3310 21ST AVE N., ARLINGTON, VA 22207

Owner
PATRICK & MADELON BRENNAN

Developer
MAKARA BUILDERS, LLC

CoA SET	01-24-2024
Issue Description	Date

GTM Project No.	19.0597
Checked By	GTM/MEK
Drawn By	SOS/FSC
Scale	AS NOTED

Sheet Title
DETAILS

Sheet No.
A500

NOT-FOR-CONSTRUCTION

WINDOW SCHEDULE

*CONTACT WINDOW/DOOR INSTALLER FOR ROUGH OPENING DIMENSIONS

#	TYPE	QTY.	MANUF.	ROUGH OPENING (NOMINAL SIZE)	GLASS	REMARKS
1	DOUBLE-HUNG	5	ANDERSEN 200	3'-0" x 5'-0"	INSULATED LOW-E 366	SEE ELEVS. FOR GRILLE PATTERN
2	DOUBLE-HUNG	1	ANDERSEN 200	2'-6" x 5'-0"	INSULATED LOW-E 366	SEE ELEVS. FOR GRILLE PATTERN
3	DIRECT SET	2	ANDERSEN 100	2'-0" x 2'-6"	INSULATED LOW-E 366	SEE ELEVS. FOR GRILLE PATTERN
4	AWNING	1	ANDERSEN A	5'-0" x 3'-7-1/2"	INSULATED LOW-E 366	SEE ELEVS. FOR GRILLE PATTERN

SKYLIGHT SCHEDULE

#	TYPE	QTY.	MANUF.	ROUGH OPENING (NOMINAL SIZE)	GLASS	REMARKS
5	FIXED	2	VELUX	2'-0" x 4'-0"	INSULATED LOW-E 366	

PATIO DOOR SCHEDULE

#	TYPE	QTY.	MANUF.	ROUGH OPENING (NOMINAL SIZE)	GLASS	REMARKS
6	IN-SWING PATIO DOOR	1	ANDERSEN 200	5'-0" x 6'-8"	INSULATED LOW-E 366	SEE ELEVS. FOR GRILLE PATTERN

GENERAL WINDOW NOTES:

- ALL OPERABLE WINDOWS TO HAVE SCREENS (CONFIRM SCREEN FRAME COLOR W/ OWNER).
- ALL WINDOWS TO BE THERMALLY BROKEN ALUMINUM.
- CONFIRM HARDWARE FINISH W/ OWNER PRIOR TO ORDER.
- ALL GLAZING TO BE DOUBLE PANED, LOW E 366, CLEAR INSULATED.
- CONFIRM OVERALL WINDOW SCHEDULE W/ ARCHITECT PRIOR TO ORDER.
- NOT USED
- NOT USED
- NOT USED
- PROVIDE EGRESS HARDWARE IN EGRESS WINDOWS AS REQUIRED.
- NOT USED
- PROVIDE SAFETY GLASS AT ENTRIES, STAIRS, OVER BATHTUBS & ELSEWHERE AS REQUIRED BY CODE (IRC 2018).
- IN ACCORDANCE WITH IRC 2018, SECTION R312, ALL WINDOWS HAVING AN OPENING LESS THAN 24" ABOVE THE FLOOR AND THAT ARE LOCATED SUCH THAT THE DIMENSION FROM THE BOTTOM OF THE OPENING TO THE EXTERIOR SURFACE BELOW EXCEEDS 72", SHALL EITHER HAVE A STOP TO LIMIT THE OPENING TO LESS THAN 4" OR SHALL HAVE GUARDS INSTALLED THAT WOULD PREVENT THE PASSAGE OF A 4" SPHERE. IN THE CASE OF AN EGRESS WINDOW, THE GUARD MUST BE REMOVABLE WITHOUT SPECIAL KNOWLEDGE OR TOOLS. GUARD SHALL BE EQUAL TO THOSE MANUFACTURED BY THE GUARDIAN ANGEL CO.
- CONTRACTOR TO CONFIRM ALL ROUGH OPENING DIMENSIONS W/ WINDOW MANUFAC. PRIOR TO FRAMING.

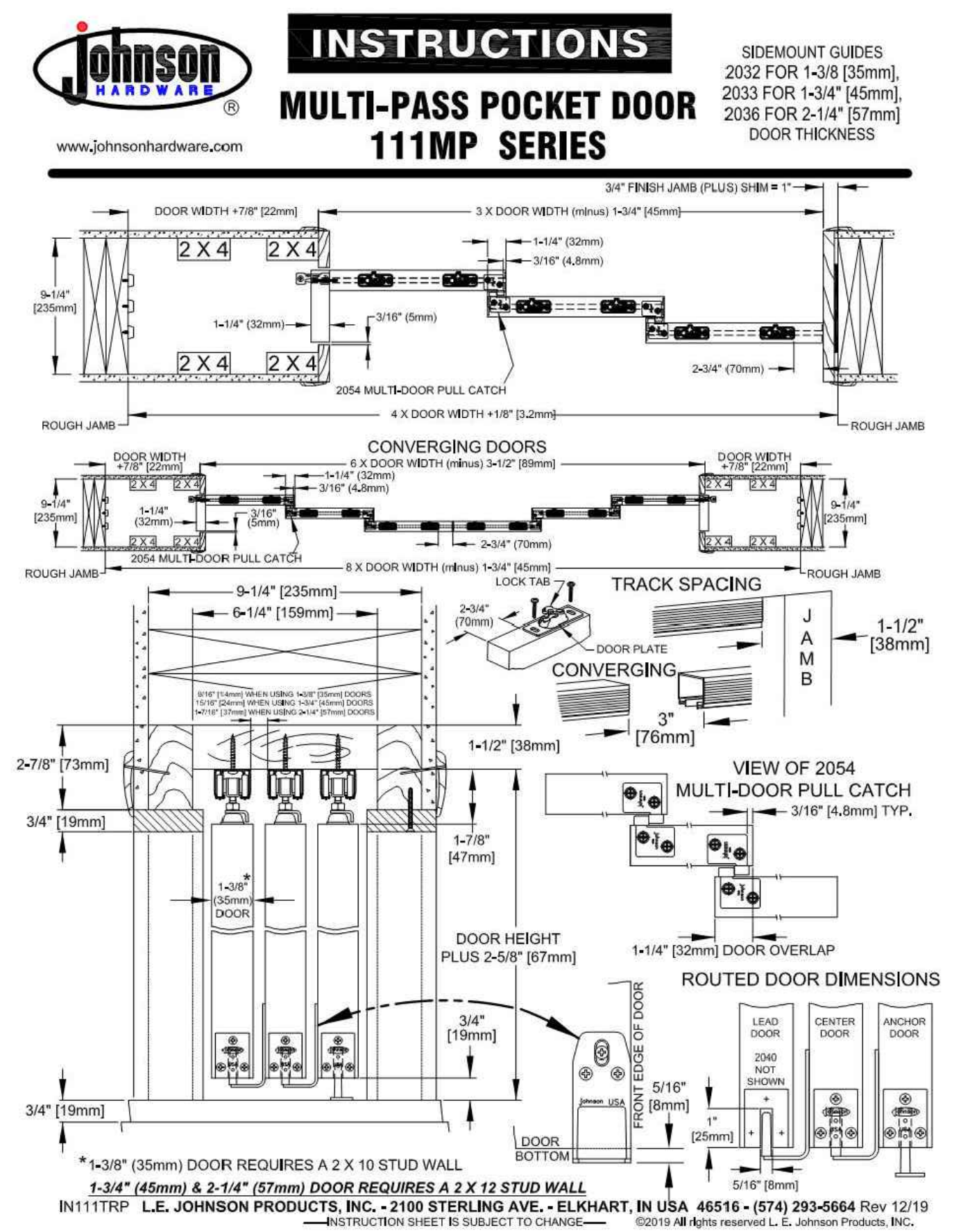
DOOR SCHEDULE

DOOR						
NO.	SIZE	MATERIAL	MANUF.	DOOR TYPE	HARDWARE	REMARKS
1	(TRIPLE) 2'-8"x6'-8"	SOLID CORE	TBD.		H-1	POCKET DOOR SLAB ONLY
2	2'-10"x6'-8"	SOLID CORE	TBD.		H-3	
3	(DOUBLE) 2'-0"x6'-8"	HOLLOW CORE	TBD.		H-2	

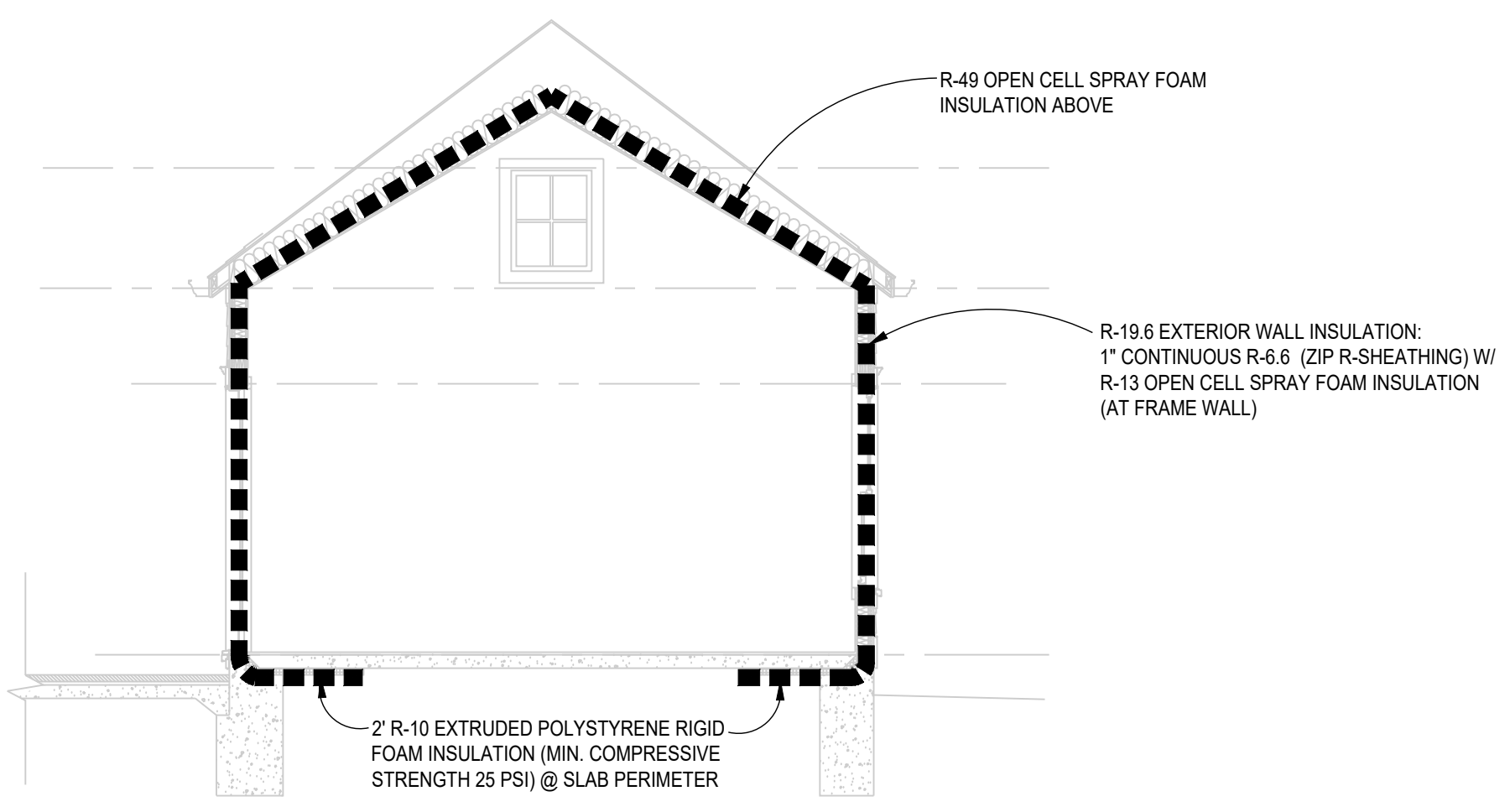
HARDWARE SCHEDULE

(CONFIRM W/ OWNER PRIOR TO ORDERING.)

HARDWARE TYPE		HARDWARE SPECS.	
H-1	POCKET DOOR HARDWARE	JOHNSON HARDWARE MULTI-PASS POCKET DOOR 11MP SERIES	
H-2	BALL CATCHES & DUMMY KNOBS	TBD.	
H-3	POCKET DOOR HARDWARE	JOHNSON HARDWARE OR EQUAL	



POCKET DOOR HARDWARE INFORMATION



2 TYPICAL THERMAL ENERGY SECTION
Scale: 1/4"=1'-0"

WINDOW/DOOR THERMAL DATA

THERMAL PERFORMANCE DATA FOR DOORS & WINDOWS		
OPENING TYPE	U-VALUE	SHGC
INSWING PATIO DOOR	0.31	0.24
DIRECT SET WINDOW	0.27	0.29
DOUBLE-HUNG WINDOW	0.30	0.29
AWNING	0.27	0.26
SKYLIGHT	0.44	0.26

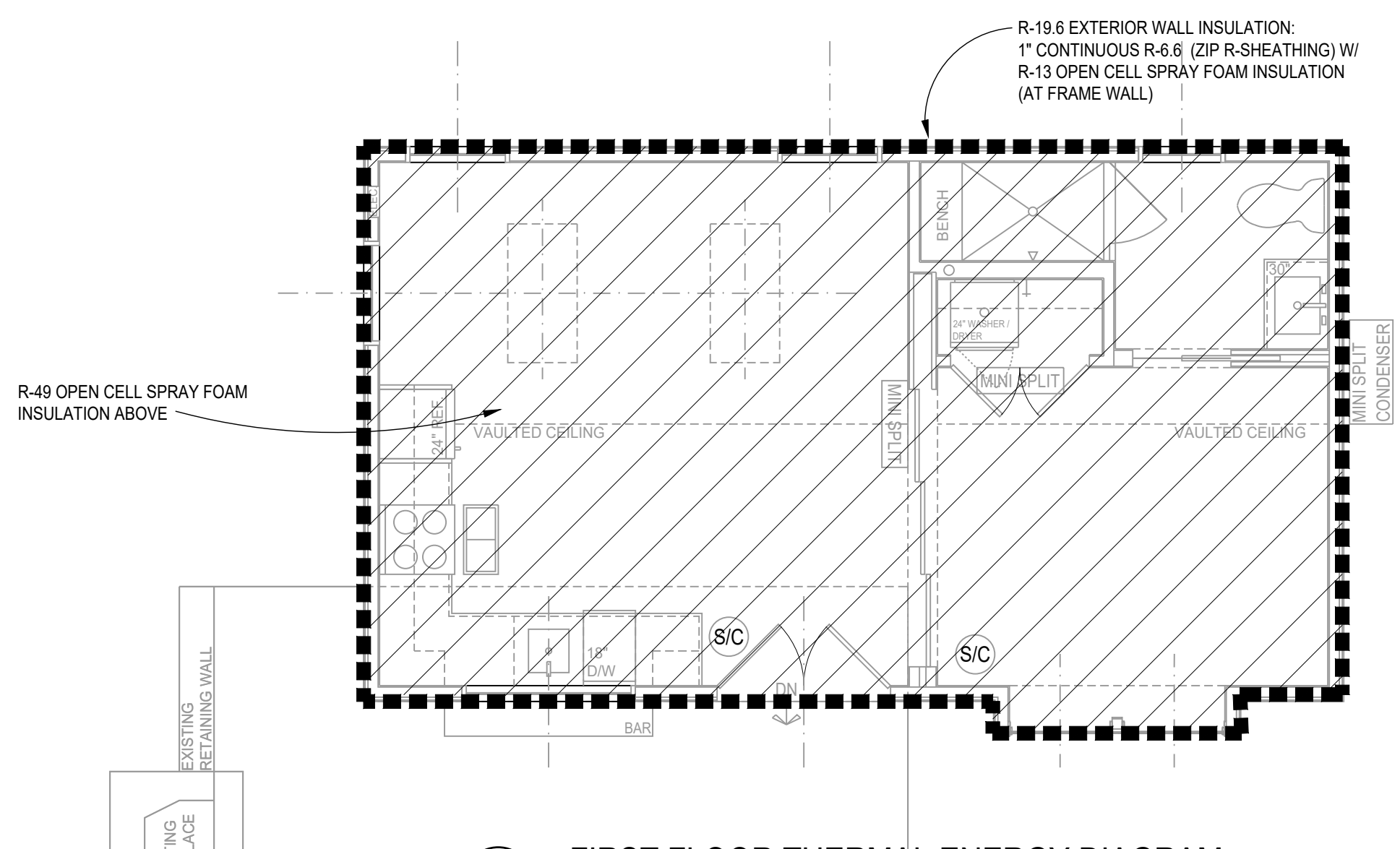
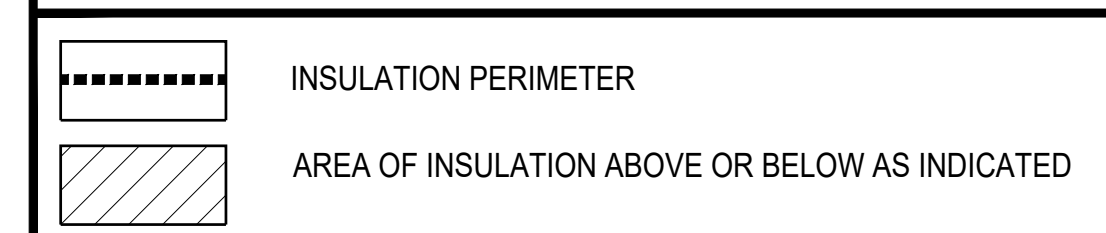
THE AREA-WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR PERMITTED USING TRADE-OFFS FROM SECTION 402.1 IN ZONE 4 SHALL BE .35 FOR VERTICAL FENESTRATION AND .55 FOR SKYLIGHTS

U-FACTORS & SHGC OF FENESTRATION TO BE DETERMINED IN ACCORDANCE WITH THE NFRC

ENERGY CONSERVATION NOTES

- The following provisions for thermal resistance meet the minimum requirements stipulated by the International Energy Conservation Code; Refer to the thermal envelope diagrams.
- INSULATION (CODE MINIMUM REQ'D)
CEILING (OF UPPERMOST STORY) IECG 2018 R-49
VAULTED CEILING R-30 (UP TO 500 S.F.)
WOOD FRAME WALLS R-15 OR R-13+R-5 CONTINUOUS EQUAL TO WALL BELOW
RIM JOISTS R-30
FLOORS OVER UNHEATED SPACES (INCLUDING FLOOR OVERHANGS) R-13
MASONRY WALLS (ENCLOSED HEATED LIVING AREAS) R-13
SLAB ON GRADE (HEATED SPACE) R-10
24" PERIMETER INSULATION DOUBLE-GLAZED
GLAZING U-FACTOR
GLAZING SHGC
- Air Infiltration:
A. Windows: not exceeding five tenths (0.5) CFM of sash crack.
B. Sliding Glass Doors: not exceeding five tenths (0.5) CFM per foot of door area.
C. Swinging Doors: not exceeding one and twenty-five hundredths (1.25) CFM per square foot of door area.
Provide 1" fiberglass sill sealer between foundation wall and all sill plates.
D. In order to seal between dissimilar materials to allow for differential expansion and contraction, the following shall be caulked, gasketed, weatherstripped or otherwise sealed with an air barrier material, suitable film or solid material:
1. All joints, seams, and penetrations
2. Site-built windows, doors, and skylites
3. Openings between window and door assemblies and their respective jambs & framing
4. Utility penetrations
5. Dropped ceilings or chases adjacent to the thermal envelope
6. Knee walls
7. Walls and ceilings separating a garage from conditioned spaces
8. Behind tubs and showers on exterior walls
9. Common walls between dwelling units
10. Attic access openings
11. Rim joist junction
12. Other sources of infiltration

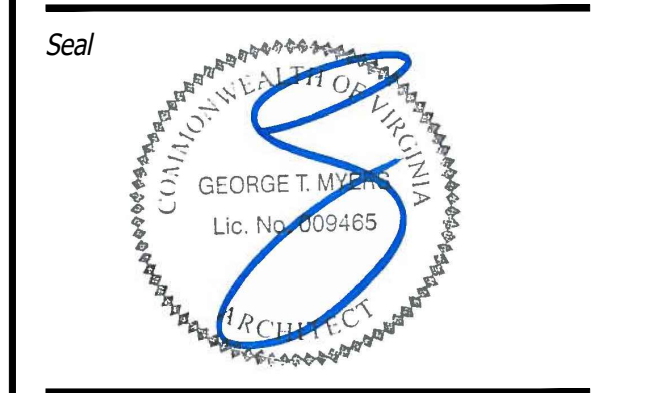
LEGEND



1 FIRST FLOOR THERMAL ENERGY DIAGRAM
Scale: 1/4"=1'-0"

GTM ARCHITECTS

7735 OLD GEORGETOWN ROAD
SUITE 700
BETHESDA, MD 20814
(240)333-3000
(240)333-2001 FAX
WWW.GTMARCHITECTS.COM



Consultant

Project
BRENNAN RESIDENCE ADU
3310 21ST AVE N., ARLINGTON, VA 22207

Owner
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Developer
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Sheet Title
DOOR AND WINDOW SCHEDULES & THERMAL ENERGY DIAGRAMS

Sheet No.
EC001

Material Specifications for the proposed ADU at 3310 21st Avenue N. Arlington, VA 22207

Siding:

Hardie lap smooth siding with reveal to match existing house (refer to existing house photos for reference on Sheet '004') Proposed siding color to be Hardie color "Evening Blue" (refer to proposed ADU 3D renderings on Sheet '005')

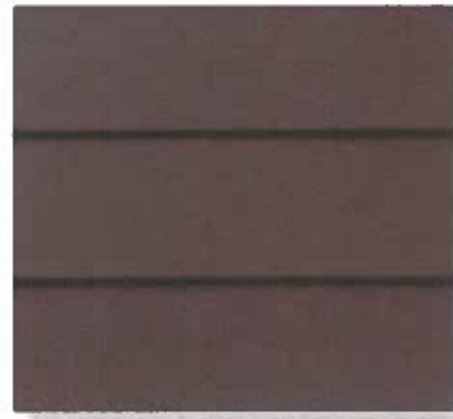
HardiePlank®

Thickness 5/16 in

Length 12 ft planks


Width	5.25 in*
Exposure	4 in
Prime Pcs/Pallet	360
ColorPlus Pcs/Pallet	324
Pcs/Sq	25.0

SMOOTH



Roof:

GAF 3-Tab Asphalt Shingle to match existing house asphalt roof style and color (refer to existing house photos for reference on Sheet '004' – note that existing house has a combination of standing seam metal roof and 3-Tab Asphalt Shingle).






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Color/Finish: **White**



[FIND A CONTRACTOR](#)

SPECIFICATIONS (ALL DIMENSIONS ARE NOMINAL)

AWARDS & RECOGNITION	Good Housekeeping Rated
STAINGUARD®	Yes
BUNDLE COVERAGE	3 bundles per square
\$ - \$\$\$	\$
DURABILITY & TOUGHNESS	Advanced Protection Shingle with GAF Dura Grip Adhesive
EXPOSURE	5" (127 mm)
EXTREME WEATHER IMPACT RATED	No
FIRE RATING	Highest Rating - Class A
MATERIAL	Fiberglass Asphalt Construction
WIND WARRANTY	60 mph
ARCHITECTURAL STYLE	Three-Tab
SHINGLE STYLE	3-Tab Shingles
SHINGLE TYPE	3-Tab Shingle Collection
APPROX. NAILS/SQ	316



CODES

FBC	State of Florida Approved
ICC	ESR-1475
ICC AC438	ESR-3267
MIAMI-DADE COUNTY	Miami-Dade County Product Control Approved
TDI	Meets requirements of the Texas Department of Insurance

TESTING METHODS & APPLICABLE STANDARDS

TAS 100-95	Yes
-------------------	-----

ENERGY RATING

COOL ROOF RATINGS COUNCIL (CRRC)	Yes (White only)
MIAMI 21 (FLORIDA BUILDING CODE)	Yes (White only)
TITLE 24 (CALIFORNIA ENERGY COMMISSION)	No
LA GREEN BUILDING CODE	Yes (White only)

SHIPPING AND PACKAGING

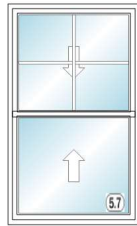
APPROX. PIECES/SQ	79
APPROX. BUNDLES/SQ	3

Windows:

Anderson 200 Series Double Hung Windows, Anderson 100 Series Fixed Windows, Anderson A Series Awning Window, and Anderson 200 Series Patio Door (refer to proposed ADU elevations for reference on Sheet 'A200' and proposed ADU 3D renderings for reference on Sheet '005')



Catalog Version 240



RO Size = 36" x 60"
Unit Size = 35 1/2" x 59 1/2"

Line Number	Item Summary
100-1	200 Series Tilt-Wash Double-Hung Equal Sash, AA, 35.5 x 59.5, White w/White Sash / Frame:Pine White - Painted Panel:Pine White - Painted
100-2	Insect Screen 1: 200 Series Tilt-Wash Double-Hung, 244DH3050 Full Screen Fiberglass White PN:0833332 Version:10/04/2023
Unit 100 Total:	

Begin Line 100 Descriptions

---- Line 100-1 ----

200 Series Tilt-Wash Double-Hung
Overall Rough Opening = 36" x 60"
Overall Unit = 35 1/2" x 59 1/2"
Installation Zip Code = 22192
U.S. ENERGY STAR® Climate Zone = North Central
Search by Unit Code = No
Standard Width = 244DH30XX - RO: 36" | UNIT: 35 1/2"
Standard Height = XX50 - RO: 60" | UNIT: 59 1/2"
Frame Width = 35 1/2
Frame Height = 59 1/2
Unit Code = 244DH3050
Frame Depth = 3 1/4"
Venting / Handing = AA
Exterior Frame Color = White
Exterior Sash / Panel Color = White
Interior Frame Wood Species = Pine
Interior Frame Finish Color = White - Painted
Interior Sash / Panel Wood Species = Pine

Glass Option = Low-E
High Altitude Breather Tubes = No
Glass Strength = Standard
Glass Tint = No Tint
Specialty Glass = None
Gas Fill = Argon
Unit 1 Lower Glass: None
Unit 1 Upper Glass: Simulated Divided Light (SDL)
Unit 1 Upper Glass: Specified Equal Light
Unit 1 Upper Glass: Grille Pattern = Specified Equal Light
Unit 1 Upper Glass: Simulated Check Rail = No
Unit 1 Upper Glass: Grille Bar Width = 3/4"
Unit 1 Upper Glass: Exterior Grille Color = White
Unit 1 Upper Glass: Interior Grille Species = Pine
Unit 1 Upper Glass: Interior Grille Color = White
Unit 1 Upper Glass: 2W2H
Lock Hardware Color/Finish = White (Factory Applied)

Insect Screen Color = White
Exterior Trim Style = None
Extension Jamb Type = None
Installation Material Options = No
Re-Order Item = No
Room Location =
Unit U-Factor = 0.3
Unit Solar Heat Gain Coefficient (SHGC) = 0.29
Unit CPD Number = AND-N-59-01406-00002
U.S. ENERGY STAR® Certified = No
Clear Opening Width = 32.56
Clear Opening Height = 26.95
Clear Opening Area = 6.09
Insect Screen 1 Part Number = 0833332
SKU = 290067
Vendor Name = S/O ANDERSEN LOGISTICS
Vendor Number = 60509030
Customer Service = (888) 888-7020
Catalog Version Date = 10/04/2023

Interior Sash / Panel Finish Color = White - Painted
Glass Construction Type = Dual Pane

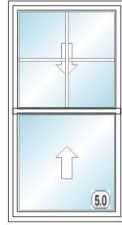
Window Opening Control Device = No
Insect Screen Type = Full Screen
Insect Screen Material = Fiberglass
---- Line 100-2 Description is the same as line 100-1 ----

SKU Description = S/O AW 200 SERIES WINDOW

End Line 100 Descriptions



Catalog Version 240



RO Size = 32" x 60"
Unit Size = 31 1/2" x 59 1/2"

Line Number	Item Summary
200-1	200 Series Tilt-Wash Double-Hung Equal Sash, AA, 31.5 x 59.5, White w/White Sash / Frame:Pine White - Painted Panel:Pine White - Painted
200-2	Insect Screen 1: 200 Series Tilt-Wash Double-Hung, 244DH2850 Full Screen Fiberglass White PN:0833324 Version:10/04/2023

Unit 200 Total:

Begin Line 200 Descriptions

---- Line 200-1 ----

200 Series Tilt-Wash Double-Hung
Overall Rough Opening = 32" x 60"
Overall Unit = 31 1/2" x 59 1/2"
Installation Zip Code = 22192
U.S. ENERGY STAR® Climate Zone = North Central
Search by Unit Code = No
Standard Width = 244DH28XX - RO: 32" | UNIT: 31 1/2"
Standard Height = XX50 - RO: 60" | UNIT: 59 1/2"
Frame Width = 31 1/2
Frame Height = 59 1/2
Unit Code = 244DH2850
Frame Depth = 3 1/4"
Venting / Handing = AA
Exterior Frame Color = White
Exterior Sash / Panel Color = White
Interior Frame Wood Species = Pine
Interior Frame Finish Color = White - Painted
Interior Sash / Panel Wood Species = Pine
Interior Sash / Panel Finish Color = White - Painted
Glass Construction Type = Dual Pane

Glass Option = Low-E
High Altitude Breather Tubes = No
Glass Strength = Standard
Glass Tint = No Tint
Specialty Glass = None
Gas Fill = Argon
Unit 1 Lower Glass: None
Unit 1 Upper Glass: Simulated Divided Light (SDL)
Unit 1 Upper Glass: Specified Equal Light
Unit 1 Upper Glass: Grille Pattern = Specified Equal Light
Unit 1 Upper Glass: Simulated Check Rail = No
Unit 1 Upper Glass: Grille Bar Width = 3/4"
Unit 1 Upper Glass: Exterior Grille Color = White
Unit 1 Upper Glass: Interior Grille Species = Pine
Unit 1 Upper Glass: Interior Grille Color = White
Unit 1 Upper Glass: 2W2H
Lock Hardware Color/Finish = White (Factory Applied)
Window Opening Control Device = No
Insect Screen Type = Full Screen
Insect Screen Material = Fiberglass

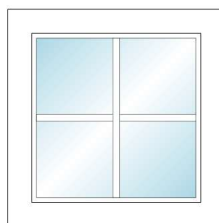
Insect Screen Color = White
Exterior Trim Style = None
Extension Jamb Type = None
Installation Material Options = No
Re-Order Item = No
Room Location =
Unit U-Factor = 0.3
Unit Solar Heat Gain Coefficient (SHGC) = 0.29
Unit CPD Number = AND-N-59-01406-00002
U.S. ENERGY STAR® Certified = No
Clear Opening Width = 28.56
Clear Opening Height = 26.95
Clear Opening Area = 5.35
Insect Screen 1 Part Number = 0833324
SKU = 290067
Vendor Name = S/O ANDERSEN LOGISTICS
Vendor Number = 60509030
Customer Service = (888) 888-7020
Catalog Version Date = 10/04/2023
SKU Description = S/O AW 200 SERIES WINDOW

---- Line 200-2 Description is the same as line 200-1 ----

End Line 200 Descriptions



Catalog Version 240



RO Size = 24" x 24"
Unit Size = 23 1/2" x 23 1/2"

Line Number Item Summary

300-1 100 Series Picture/Transom-PWTR, Fixed, 23.5 x 23.5, White / White

Unit 300 Total:

Begin Line 300 Description

---- Line 300-1 ----

100 Series Picture/Transom-PWTR
Overall Rough Opening = 24" x 24"
Overall Unit = 23 1/2" x 23 1/2"
Installation Zip Code = 22192
U.S. ENERGY STAR® Climate Zone = North Central
Enhanced Performance = No
Search by Unit Code = No
Standard Width = 100REC20XX - RO: 24" | UNIT: 23 1/2"
Standard Height = XX20 - RO: 24" | UNIT: 23 1/2"
Frame Width = 23 1/2
Frame Height = 23 1/2
Unit Code = 100REC2020
Frame Option = 1 3/8" Setback
Venting / Handing = Fixed
Exterior Frame Color = White

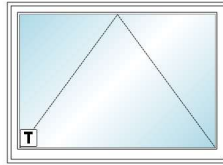
Interior Frame Finish Color = White
Glass Construction Type = Dual Pane
Glass Option = Low-E
High Altitude Breather Tubes = No
Glass Strength = Standard
Glass Tint = No Tint
Specialty Glass = None
Gas Fill = Argon
Glass / Grille Spacer Color = Stainless
Finelight Grilles-Between-the-Glass
Specified Unequal Light
Grille Pattern = Specified Unequal Light
Grille Bar Width = 3/4"
Exterior Grille Color = White
Interior Grille Color = White

2W2H
Installation Material Options = No
Re-Order Item = No
Room Location =
Unit U-Factor = 0.27
Unit Solar Heat Gain Coefficient (SHGC) = 0.29
Unit CPD Number = AND-N-82-10586-00001
U.S. ENERGY STAR® Certified = No
SKU = 1008729625
Vendor Name = S/O ANDERSEN LOGISTICS
Vendor Number = 60509030
Customer Service = (888) 888-7020
Catalog Version Date = 10/04/2023
SKU Description = S/O 100S PICTURE WINDOW

End Line 300 Description



Catalog Version 240



RO Size = 60" x 44"
Unit Size = 59 1/4" x 43 1/4"

Line Number Item Summary

400-1 A Series Awning-AW, Standard Product Performance, Vent, 59.25 x 43.25, White w/White Sash / Frame:Pine White - Painted Panel:Pine White - Painted

400-2 Hardware: AAN Traditional Folding White PN:0400205 Version:10/04/2023

400-3 Insect Screen 1: A Series Awning-AW, AAN5038 Full Screen Aluminum White Version:10/04/2023

Unit 400 Total:

Begin Line 400 Descriptions

---- Line 400-1 ----

A Series Awning-AW
Overall Rough Opening = 60" x 44"
Overall Unit = 59 1/4" x 43 1/4"
Installation Zip Code = 22192
U.S. ENERGY STAR® Climate Zone = North Central
Product Performance = Standard
Search by Unit Code = No
Standard Width = AAN50XX - RO: 60" | UNIT: 59 1/4"
Standard Height = XX38 - RO: 44" | UNIT: 43 1/4"
Frame Width = 59 1/4
Frame Height = 43 1/4
Unit Code = AAN5038
Frame Option = Standard Flange
Frame Depth = 4 9/16"

Interior Frame Wood Species = Pine
Interior Frame Finish Color = White - Painted
Interior Sash / Panel Wood Species = Pine
Interior Sash / Panel Finish Color = White - Painted
Glass Construction Type = Dual Pane
Glass Option = Low-E4
High Altitude Breather Tubes = No
Glass Strength = Tempered
Glass Tint = No Tint
Specialty Glass = None
Gas Fill = Argon
Glass / Grille Spacer Color = Stainless
None
Hardware Style = Traditional Folding

Insect Screen Color = White
Exterior Trim Style = None
Extension Jamb Type = None
Stool Option = None
Installation Material Options = No
Re-Order Item = No
Room Location =
Unit U-Factor = 0.27
Unit Solar Heat Gain Coefficient (SHGC) = 0.26
Unit CPD Number = AND-N-87-03099-00006
U.S. ENERGY STAR® Certified = No
Hardware Part Number = 0400205
SKU = 1001796635
Vendor Name = S/O ANDERSEN LOGISTICS
Vendor Number = 60509030

Venting / Handing = Vent
 Vent Limiter = No
 Glass Stop Profile = Chamfer
 Exterior Frame Color = White
 Exterior Sash / Panel Color = White

Hardware Color/Finish = White
 Corrosion Resistant Hardware = None
 Insect Screen Type = Full Screen
 Insect Screen Material = Aluminum

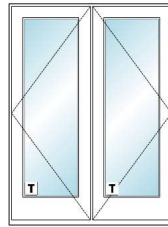
Customer Service = (888) 888-7020
 Catalog Version Date = 10/04/2023
 SKU Description = S/O AW A-S LONG LEAD TIME

---- Lines 400-2 to 400-3 have the same description as line 400-1 ----

End Line 400 Descriptions



Catalog Version 240



RO Size = 60" x 80"
 Unit Size = 59 1/4" x 79 1/2"

Line Number	Item Summary
500-1	200 Series Patio Doors 2 Panel-ISPD, Assembled, Active Left-Passive Right, 59.25 x 79.5, White w/White Sash / Frame: White White
500-2	Trim Set 1: ISPD Active Left-Passive Right Tribeca White PN:2577556 Version:10/04/2023
500-3	Exterior Keyed Lock 1: ISPD LH Tribeca White PN:2579721 Version:10/04/2023

Unit 500 Total:

Begin Line 500 Descriptions

---- Line 500-1 ----

200 Series Patio Doors 2 Panel-ISPD
 Overall Rough Opening = 60" x 80"
 Overall Unit = 59 1/4" x 79 1/2"
 Installation Zip Code = 22192
 U.S. ENERGY STAR® Climate Zone = North Central
 Search by Unit Code = No
 Standard Width = ISPD50XX - RO: 60" | UNIT: 59 1/4"
 Standard Height = XX68 - RO: 80" | UNIT: 79 1/2"
 Frame Width = 59 1/4
 Frame Height = 79 1/2
 Unit Code = ISPD5068
 Frame Depth = 4 9/16"
 Sill Style = Aluminum Appearance
 Venting / Handing = Active Left-Passive Right
 Frame Material Type = Aluminum Clad Wood
 Panel Material Type = Fiberglass
 Exterior Frame Color = White
 Exterior Sash / Panel Color = White
 Interior Frame Finish Color = White

Interior Sash / Panel Finish Color = White
 Patio Door Assembly = Factory Assembled
 Glass Construction Type = Dual Pane
 Glass Option = Low-E
 High Altitude Breather Tubes = No
 Glass Strength = Tempered
 Glass Tint = No Tint
 Specialty Glass = None
 Gas Fill = Argon
 Glass / Grille Spacer Color = Stainless None
 Hardware Collection = ANDERSEN
 Hardware Style = Tribeca
 Hardware Color/Finish = White
 Hinge Finish/Color = White
 Temporary Construction Trim Set = None
 Exterior Keyed Lock = Yes
 Lock Cylinder Keyed Alike = No
 Lock Type = Single Point Lock

Insect Screen Type = None
 Exterior Trim Style = None
 Extension Jamb Type = None
 Installation Material Options = No
 Re-Order Item = No
 Room Location =
 Unit U-Factor = 0.31
 Unit Solar Heat Gain Coefficient (SHGC) = 0.24
 Unit CPD Number = AND-N-75-00774-00001
 U.S. ENERGY STAR® Certified = No
 Unit Part Number = 2592329
 Trim Set 1 Part Number = 2577556
 Exterior Keyed Lock 1 Part Number = 2579721
 SKU = 1000012809
 Vendor Name = S/O ANDERSEN LOGISTICS
 Vendor Number = 60509030
 Customer Service = (888) 888-7020
 Catalog Version Date = 10/04/2023
 SKU Description = S/O AW 200 SERIES DOOR

---- Lines 500-2 to 500-3 have the same description as line 500-1 ----

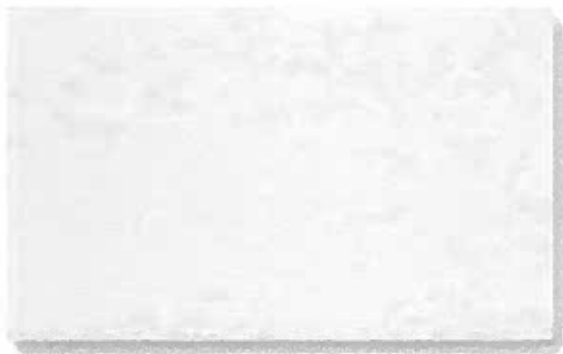
End Line 500 Descriptions

Soffit & Trim Boards:

PVC soffit and trim boards with AZEK PVC historic sill and rams crown window/door head profiles (refer to elevations on Sheet 'A200' for reference and proposed ADU 3D renderings on Sheet '005' for reference)

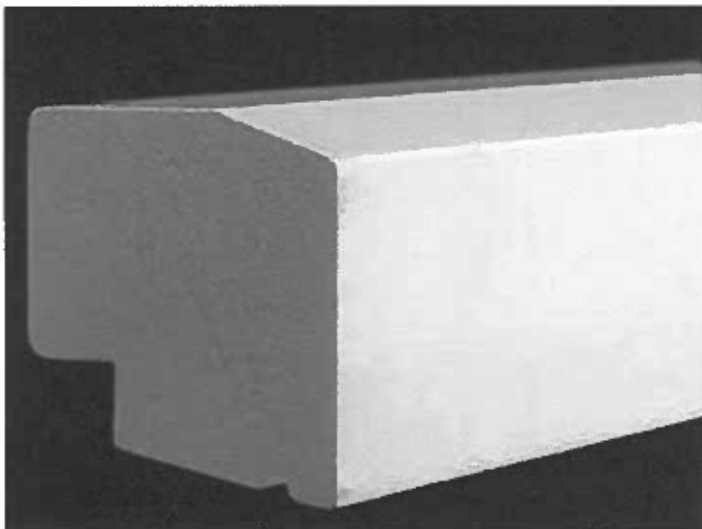
Hardie Trim[®]

Length 12 ft boards

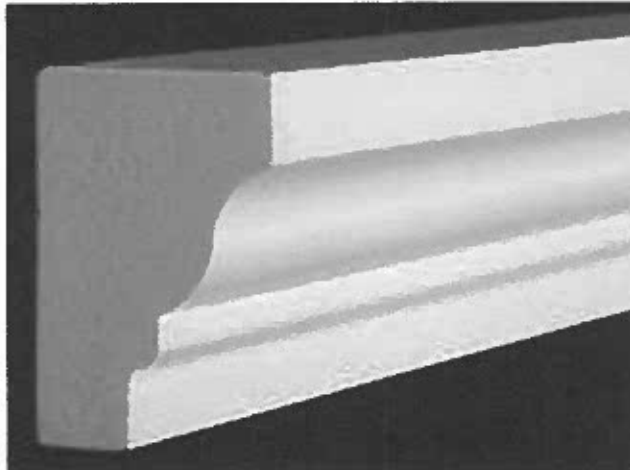


4/4 SMOOTH

Thickness	.75 in	
Width	3.5 in	5.5 in
ColorPlus Pcs/Pallet	312	208



Historic Sill Moulding (AZ-6930)
1-3/4" x 2-1/32"



Rams Crown (AZ-6934)
1-13/32" x 2-1/16"

Permeable Paver:

Example of permeable paver proposed driveway replacement, refer to site plan on Sheet '003':



Mini Split Condenser Unit:

BLUERIDGE BM24Y17 KIT25. 24,000 BTU. 17SEER. 208/230 Volt. Single Zone. Heat Pump.

