



# BARCROFT APARTMENTS PHASE I REHABILITATION INCLUDING ALTERATIONS AND ADDITIONS

**SECTION 3 BUILDINGS 22-26**

**1130 S GEORGE MASON DR.  
ARLINGTON, VA 22204**

**HALRB SUBMISSION**

**MAY 10, 2023**



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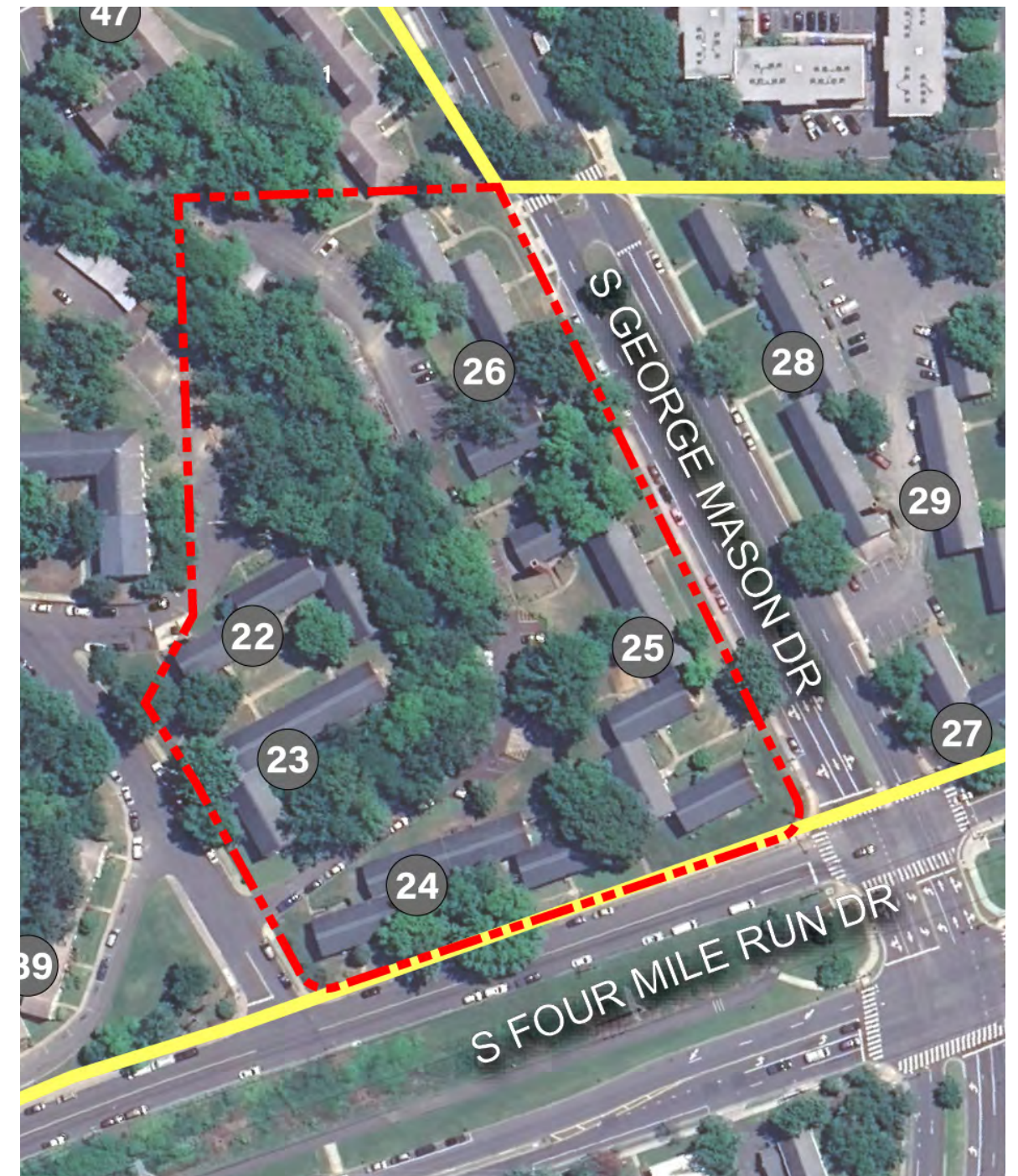
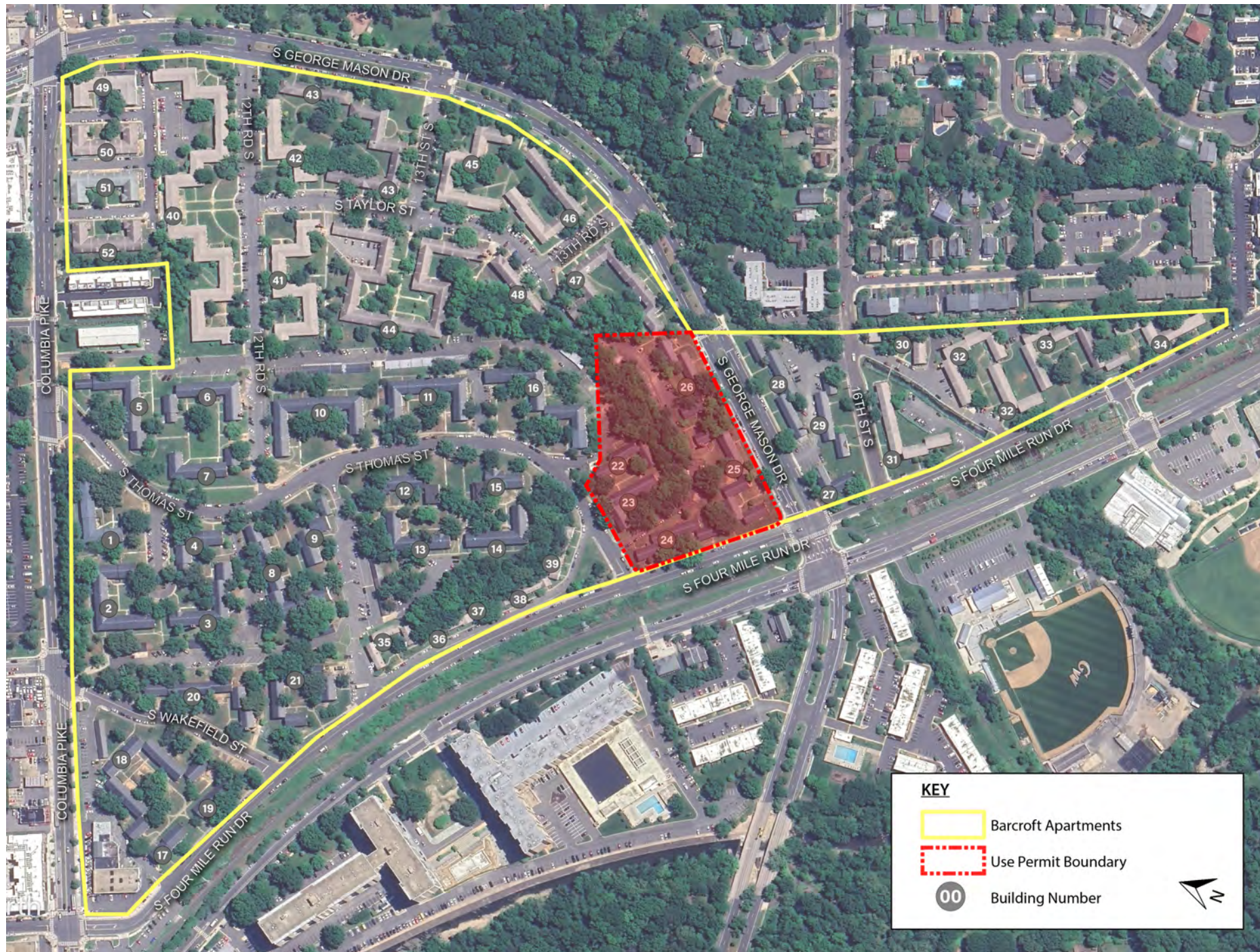
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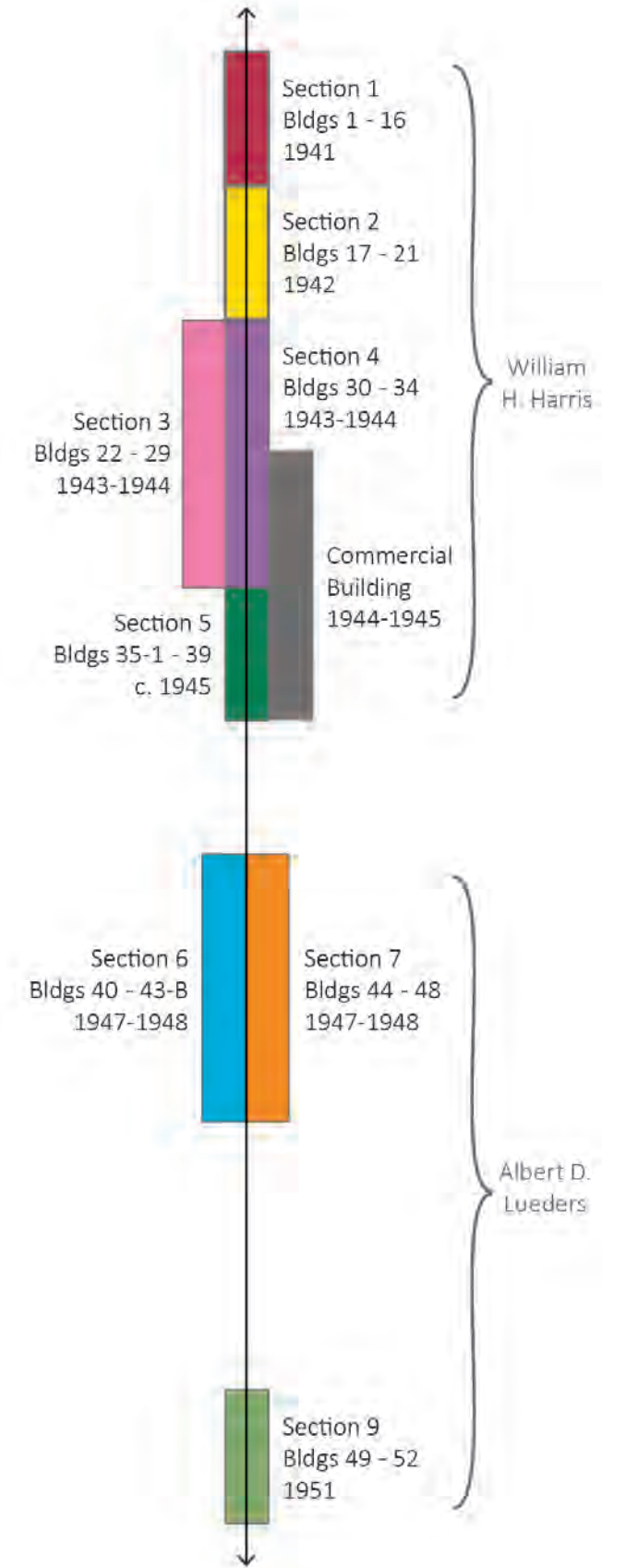
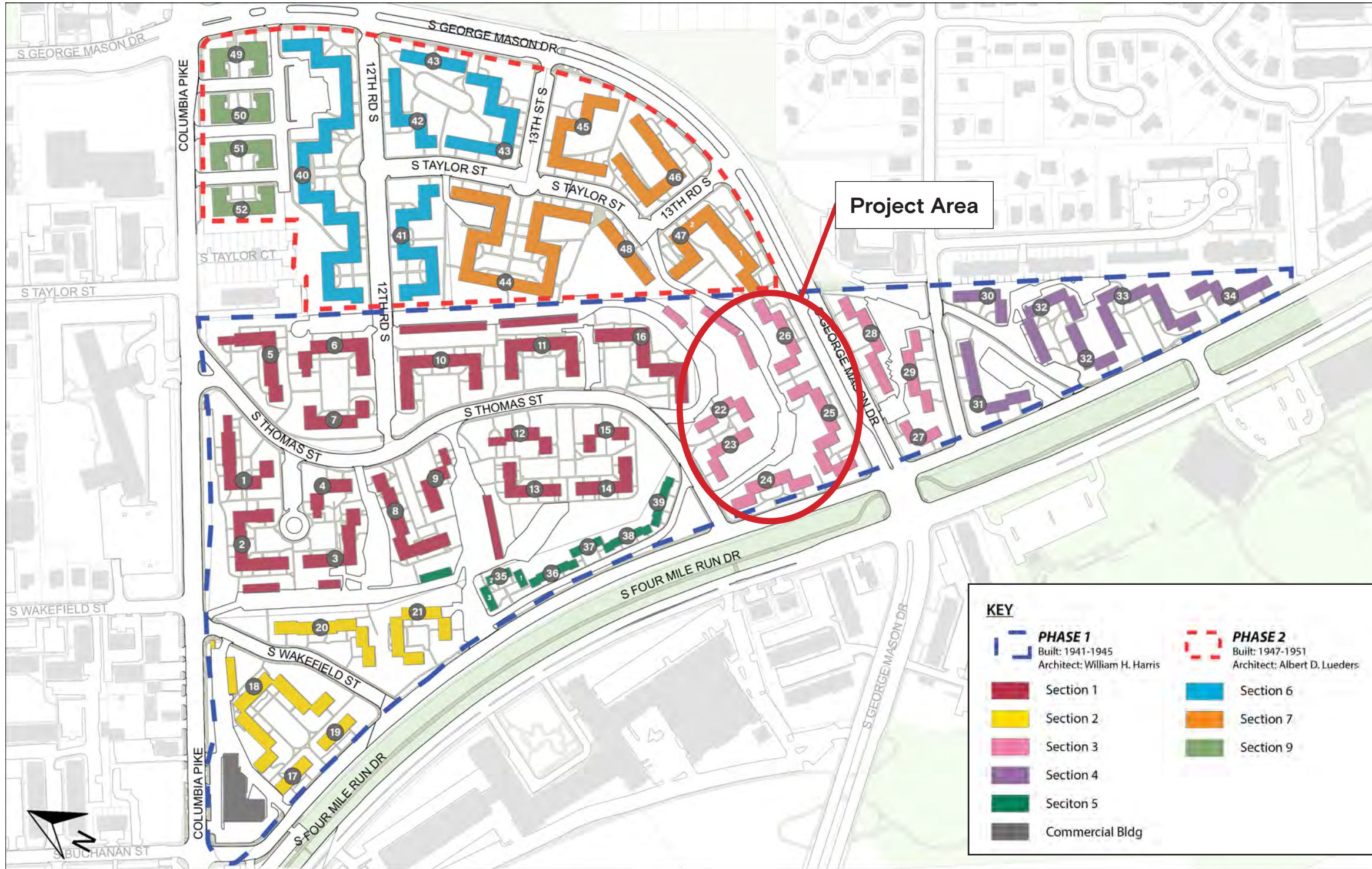
## **HISTORIC PRESERVATION**

EHT TRACERIES, INC.  
440 Massachusetts Avenue  
Washington, DC 20001

**SHEET INDEX**

<b>SITE AERIAL</b> .....	<b>3</b>	<b>BUILDING 25</b> .....	<b>32</b>
<b>DEVELOPMENT HISTORY</b> .....	<b>4</b>	BUILDING 25 - PROPOSED FLOOR PLAN	33
DEVELOPMENT HISTORY	5	BUILDING 25 - DEMOLITION ELEVATIONS	34
<b>EXISTING CONDITIONS PHOTOGRAPHS - BUILDINGS 22 AND 23</b> .....	<b>6</b>	BUILDING 25 - DEMOLITION ELEVATIONS	35
<b>EXISTING CONDITIONS PHOTOGRAPHS - BUILDINGS 24 AND 25</b> .....	<b>7</b>	BUILDING 25 - DEMOLITION ELEVATIONS	36
<b>EXISTING CONDITIONS PHOTOGRAPHS - BUILDING 26</b> .....	<b>8</b>	BUILDING 25 - DEMOLITION ELEVATIONS	37
<b>SECTION 3 - HISTORIC BACKGROUND</b> .....	<b>9</b>	BUILDING 25 - PROPOSED ELEVATIONS	38
<b>HISTORIC SURVEY REPORT DETAILS</b> .....	<b>10</b>	BUILDING 25 - PROPOSED ELEVATIONS	39
<b>DESCRIPTION OF WORK</b> .....	<b>13</b>	BUILDING 25 - PROPOSED ELEVATIONS	40
<b>PROPOSED SITE PLAN AND UNIT MIX</b> .....	<b>14</b>	BUILDING 25 - PROPOSED ELEVATIONS	41
<b>PROPOSED LANDSCAPE PLAN</b> .....	<b>15</b>	BUILDING 25 - BUILDING SECTION	42
<b>BUILDINGS 22 AND 23</b> .....	<b>16</b>	<b>BUILDING 26</b> .....	<b>43</b>
BUILDING 22 - DEMOLITION ELEVATIONS	17	BUILDING 26 - PROPOSED FLOOR PLAN	44
BUILDING 22 - DEMOLITION ELEVATIONS	18	BUILDING 26 - DEMOLITION ELEVATIONS	45
BUILDING 22 - PROPOSED ELEVATIONS	19	BUILDING 26 - DEMOLITION ELEVATIONS	46
BUILDING 22 - PROPOSED ELEVATIONS	20	BUILDING 26 - PROPOSED ELEVATIONS	47
BUILDING 23 - DEMOLITION ELEVATIONS	21	BUILDING 26 - PROPOSED ELEVATIONS	48
BUILDING 23 - DEMOLITION ELEVATIONS	22	BUILDING 26 - BUILDING SECTION	49
BUILDING 23 - PROPOSED ELEVATIONS	23	<b>ADDITIONAL DETAILS - TYPICAL PENETRATION LOCATIONS</b> .....	<b>50</b>
BUILDING 23 - PROPOSED ELEVATIONS	24	<b>ADDITIONS STUDY</b> .....	<b>51</b>
<b>BUILDING 24</b> .....	<b>25</b>	<b>ADDITIONS STUDY</b> .....	<b>52</b>
BUILDING 24 - PROPOSED FLOOR PLAN	26	ADDITIONS STUDY - BUILDING 24	53
BUILDING 24 - DEMOLITION ELEVATIONS	27	ADDITIONS STUDY - BUILDING 24	54
BUILDING 24 - DEMOLITION ELEVATIONS	28	ADDITIONS STUDY - BUILDING 25	55
BUILDING 24 - PROPOSED ELEVATIONS	29	ADDITIONS STUDY - BUILDING 25	56
BUILDING 24 - PROPOSED ELEVATIONS	30	ADDITIONS STUDY - BUILDING 25 - MATERIAL OPTIONS	57
BUILDING 24 - BUILDING SECTION	31	ADDITIONS STUDY - BUILDING 25 - FENESTRATION OPTIONS	58
		ADDITIONS STUDY - BUILDING 26	59
		ADDITIONS STUDY - BUILDING 26	60





## Barcroft Apartments Historic Background

- Site includes 59 garden-style apartment buildings, 10 detached garages, 2 bus shelters, and a commercial building
- Constructed during and after WWII to relieve housing shortages in the region
- Developer: Thomas N. DeLashmutt

### Phase 1:

- Constructed: 1941-1945
- Architect: William H. Harris
- Notable features include: brick exterior walls, slate roofs, ornamented entry surrounds

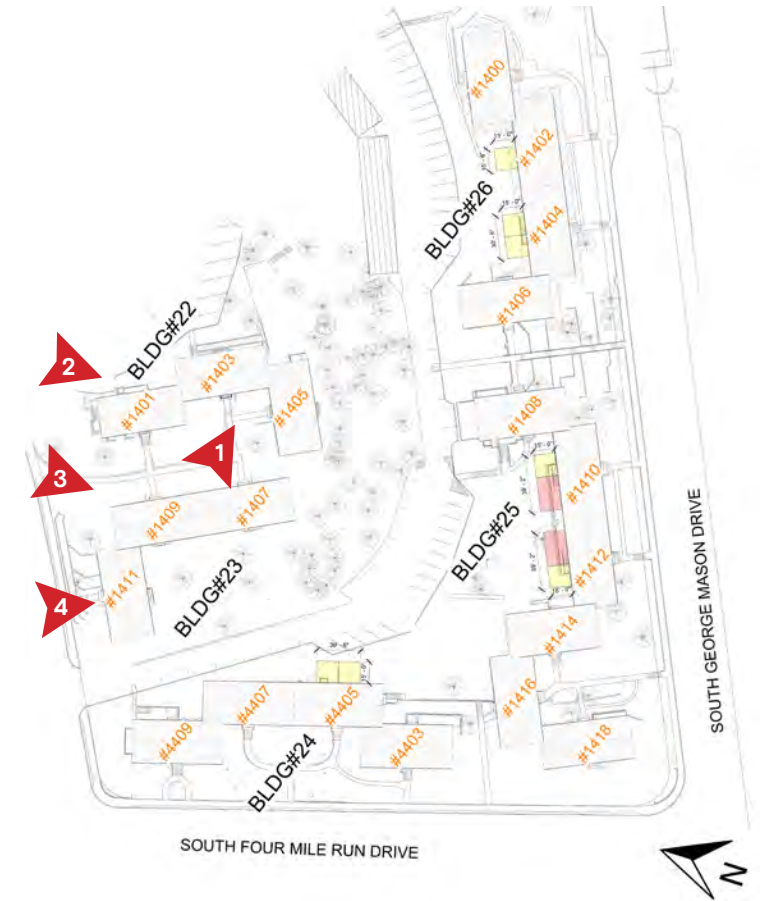


- Developed in two phases between 1941-1951
- Example of mid-twentieth-century garden apartment complex
  - Low-scale buildings arranged in a park-like setting
- Designed in a simplified Colonial Revival Style

### Phase 2:

- Constructed: 1947-1951
- Architect: Albert D. Lueders
- Modified garden apartment style
  - Introduction of larger and longer buildings
  - Inclusion of large parking areas in front of and behind buildings
  - Reduction in landscaped courtyards
  - Passageways through large blocks, cupolas, asphalt roofs, simplified entry surrounds







5



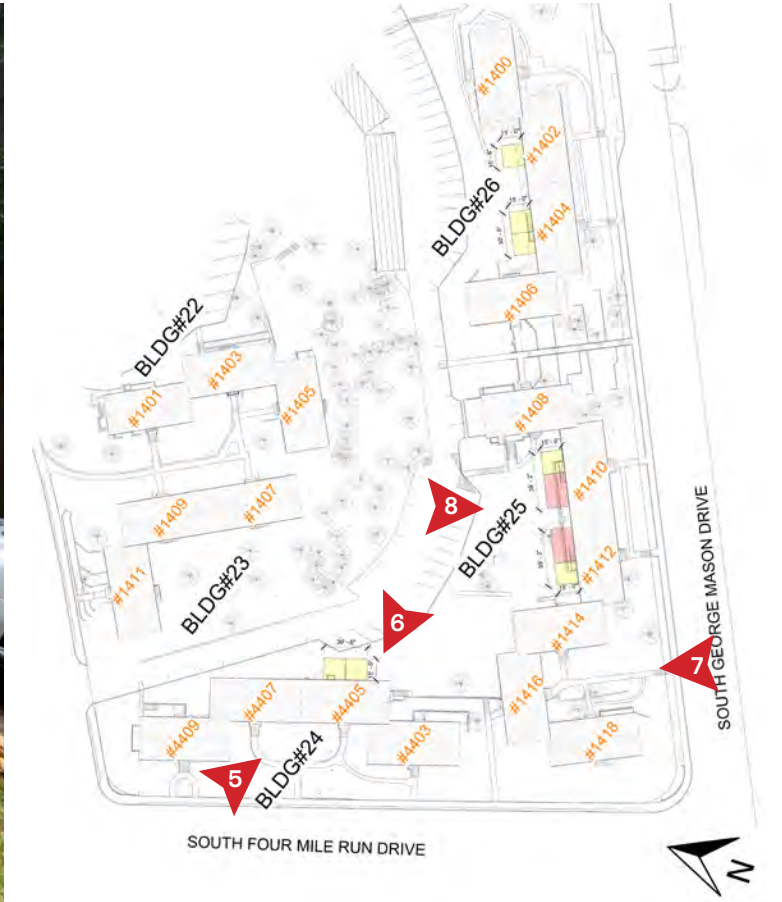
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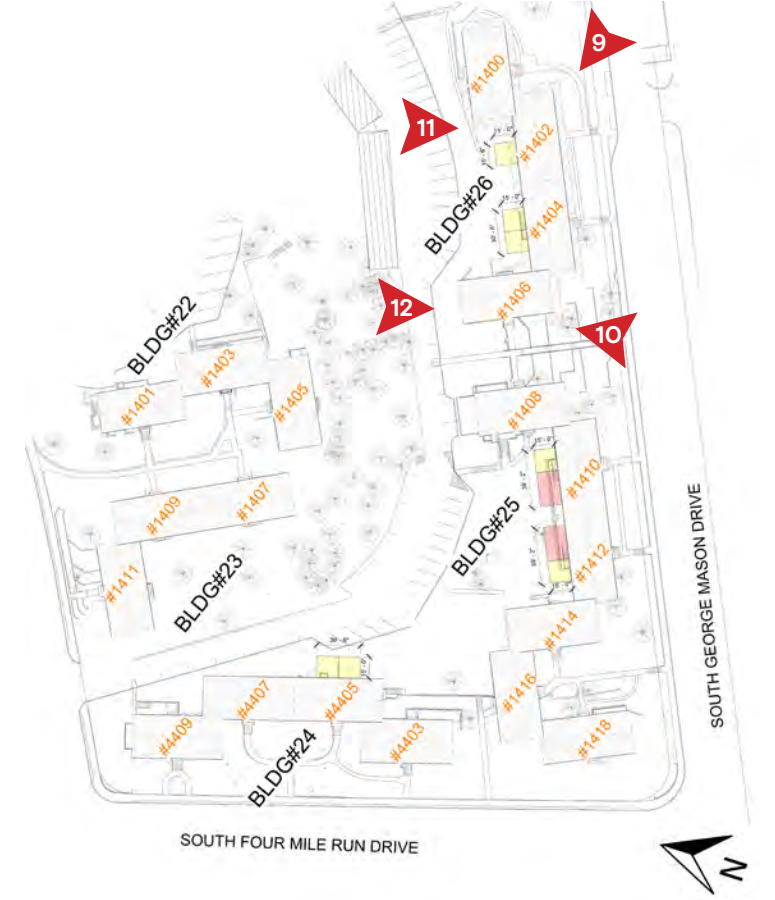


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Section 3 (Buildings 22-29)

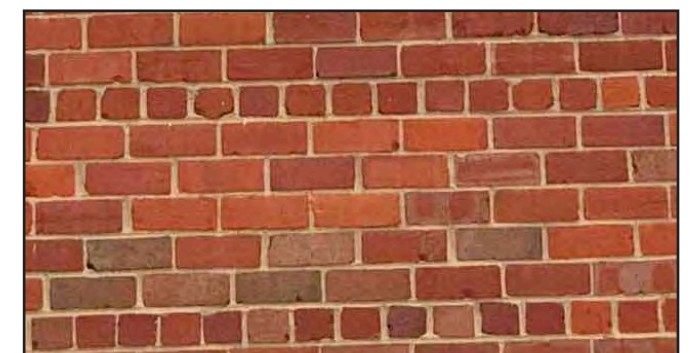
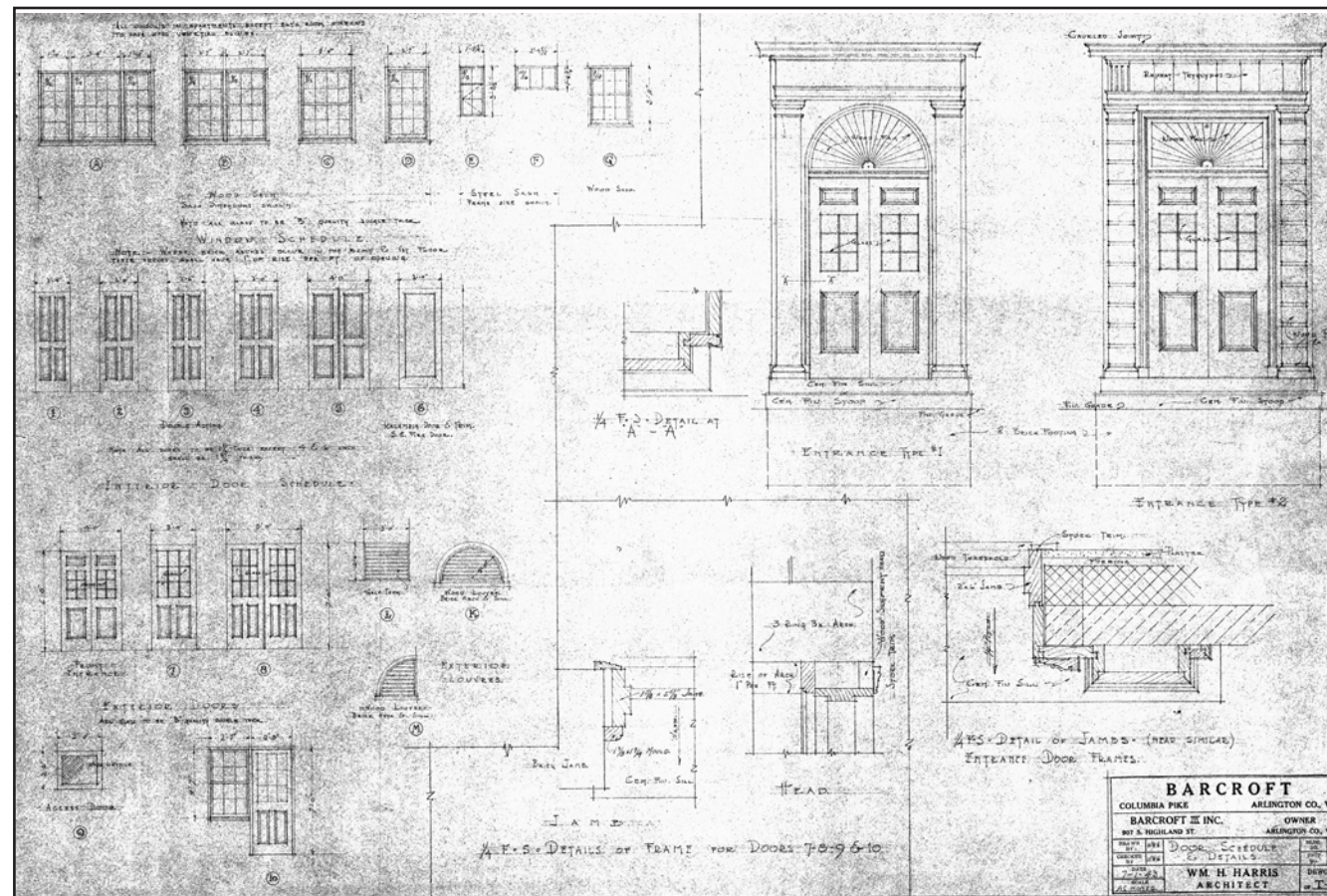
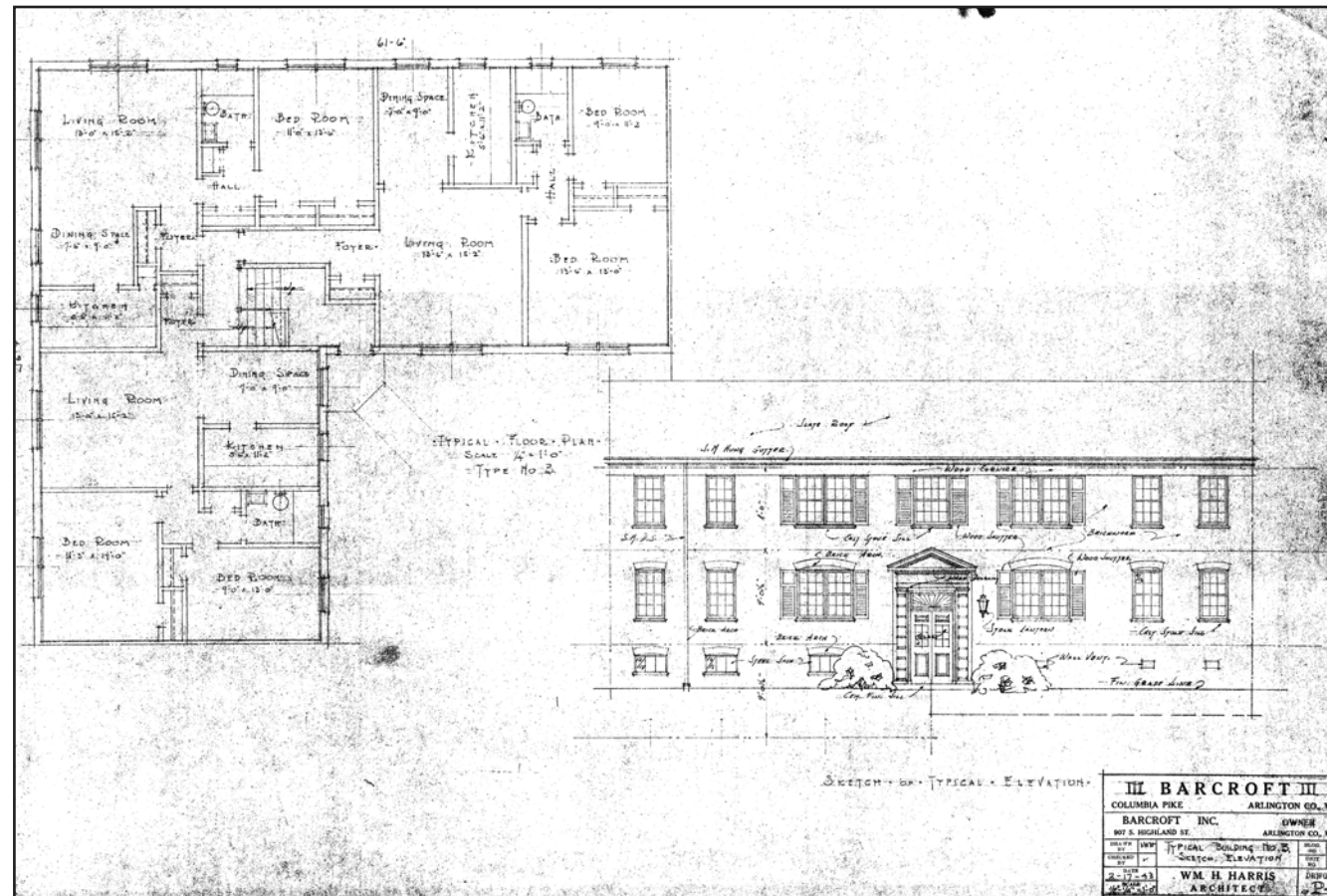
- Proposed project includes Buildings 22-26, located within Section 3 developed as part of Phase 1
- Constructed: 1943-1944
- Architect: William H. Harris

Character-Defining Features

- Garden-style layout
- Red common bond brick (some painted)
- Wood trim
- Brick blind openings
- Brick row lock arches, cast stone sills
- Wood cornices
- Side-gabled roofs
- Slate roofs
- Chimneys
- Double-leaf entrances
- Grouped and individual entrances
- Wood door surrounds
- Multi-light windows and shutters
- Detached garages on site

Past Alterations

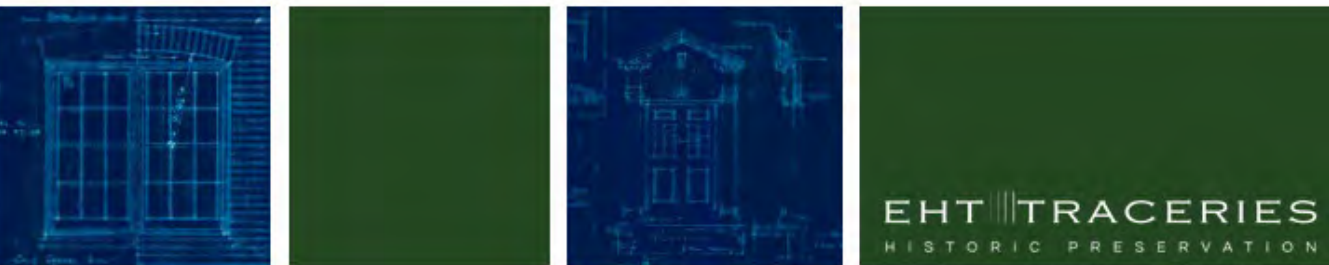
- Replacement of original multi-lite wood-sash double-hung and casement windows with vinyl (matching historic configuration)
- Addition of through-wall mechanical vents
- Replacement of shutters
- Replacement of front doors
- Replacement of light fixtures



# BARCROFT APARTMENTS

Arlington, VA

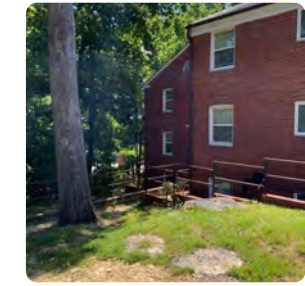
## Architectural Survey Summary Report



### Building 22

1401-1405 S Thomas St  
Section 3

Construction Date 1943-1944  
Architect William H. Harris



- Masonry** American Bond; Row Lock Arches Over Windows
- Roof Form** Side Gable
- Roof Materials** Slate
- Roof Features**
- Entrances** Double-leaf; Grouped Entrances
- Door Surrounds** Type E; Type F
- Windows** Replacement; Tripartite Hung; Paired Hung; Single Casement; Awning
- Decorative Features** Blind openings
- Site Features** Brick Retaining Walls; Chimney
- Additional Notes** AC units through exterior walls

#### Existing Photographs



**Building 23**

1407-1411 S Thomas St  
Section 3

Construction Date 1943-1944

Architect William H. Harris



Masonry American Bond; Row Lock Arches Over Windows

Roof Form Side Gable  
Roof Materials Slate  
Roof Features

Entrances Grouped Entrances; Double-leaf  
Door Surrounds Type E; Type F

Windows Replacement; Tripartite Hung; Paired Hung; Awning

Decorative Features

Site Features Brick Retaining Walls

Additional Notes AC units through exterior walls

Existing Photographs



**Building 24**

4403-4409 S Four Mile Run Dr  
Section 3

Construction Date 1943-1944

Architect William H. Harris



Masonry American Bond; Row Lock Arches Over Windows

Roof Form Side Gable  
Roof Materials Slate  
Roof Features

Entrances Double-leaf; Grouped Entrances  
Door Surrounds Type E; Type F

Windows Replacement; Single Casement; Paired Hung; Tripartite Hung; Awning

Decorative Features Vinyl Shutters

Site Features Brick Retaining Walls

Additional Notes AC units through exterior walls

Existing Photographs



### Building 25

1410-1418 South George  
Mason Drive  
Section 3

Construction Date 1943-  
1944

Architect William H. Harris



**Masonry** American Bond; Row Lock Arches Over Windows

**Roof Form** Side Gable  
**Roof Materials** Slate  
**Roof Features**

**Entrances** Grouped Entrances; Double-leaf; Screen/Storm Door  
**Door Surrounds** Type E; Type F

**Windows** Replacement; Paired Hung; Single Casement; Tripartite Hung; Awning

**Decorative Features**

**Site Features** Brick Retaining Walls; Chimney

**Additional Notes** AC units through exterior walls

**Existing Photographs**



### Building 26

1400-1406 South George  
Mason Drive  
Section 3

Construction Date 1943-  
1944

Architect William H. Harris



**Masonry** American Bond; Row Lock Arches Over Windows

**Roof Form** Side Gable  
**Roof Materials** Slate  
**Roof Features**

**Entrances** Grouped Entrances; Double-leaf  
**Door Surrounds** Type E; Type F

**Windows** Replacement; Tripartite Hung; Paired Hung; Single Casement; Awning

**Decorative Features** Vinyl Shutters

**Site Features** Brick Retaining Walls

**Additional Notes** AC units through exterior walls

**Existing Photographs**



**Scope of Work**

The proposed project involves the rehabilitation of five existing buildings (Buildings 22, 23, 24, 25, and 26) located within Barcroft Section 3. The buildings will be rehabilitated consistent with the Arlington County Conservation Area Standards, which are based upon the Secretary of the Interior’s Standards for Rehabilitation. The project must also adhere to the Virginia Housing Minimum Design and Construction Requirements (MDCR).

The project scope of work includes:

- Repair of exterior masonry (including brick and cast stone); Repoint deteriorated mortar where necessary matching the existing size, shape, color, and texture
- Removal of non-historic attachments and light fixtures
- Gently clean and wash all existing brick and concrete facades with low- to medium-pressure adhering to the Secretary of the Interior’s Standards and “NPS Preservation Brief #1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings”
- Removal and replacement of steel-sash basement windows matching the original configuration. All new windows proposed to be vinyl to match existing adjacent windows\*
- Removal and replacement of existing mechanical systems
- Removal of existing through-wall mechanical system openings and patch brick to match existing
- Replacement of non-original light fixtures with new compatible fixtures
- Replacement of gutters and downspouts in-kind
- Repair of slate roofs
- Repair and paint existing metal railings
- Repair and paint existing non-original shutters
- Repair and paint corroded metal lintels
- Construction of small and subordinate rear additions on Buildings 24, 25, and 26 compatible with the historic buildings
- Addition of new paved courtyard adjacent to Building 22
- Addition of new entry canopy above entrances to meet Virginia Housing MCDRs\*
- Addition of vinyl or aluminum cladding on existing wood trim per Virginia Housing MCDRs\*
- Addition of new penetrations on rear elevations for bathroom exhaust, dryer, and HVAC vents\*

\* Conservation Area standard modification necessary in order to meet MDCR requirements.





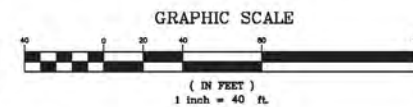


LANDSCAPE LEGEND:

- EXISTING TREE TO REMAIN (SEE SHEETS L-01 TO L-08)
- EXISTING TREE TO BE PRESERVED (SEE SHEETS L-01 TO L-08)
- PROPOSED ORNAMENTAL TREE
- PROPOSED SHADE TREE
- PROPOSED SHRUBS

NOTE

PROPOSED LANDSCAPE ELEMENTS SHOWN HEREON ARE CONCEPTUAL IN NATURE-FINAL PLANT LOCATIONS AND QUANTITIES MAY CHANGE AT TIME OF COUNTY LANDSCAPE PLAN SUBMISSION. WITHIN THE LIMITS OF DISTURBANCE SHOWN, PROPOSED LANDSCAPE CHANGES ARE LIMITED TO NEW PLANTINGS, MINOR EROSION CONTROL, LAWN INSTALLATION, ETC. ANY RECONSTRUCTION OR REPAIR OF DETERIORATING WALLS AND SIDEWALKS, WILL BE PERFORMED IN-PLACE AND BE IN-KIND, AND WORK PERFORMED WILL BE BY HAND SO AS TO PREVENT IMPACT TO EXISTING TREES TO BE PRESERVED.



LAYOUT: L-09 OVERALL LANDSCAPE; PLOTTER: 24" x 36"



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PLAN STATUS	DATE
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POST-APPROVAL SHEET STATUS	DATE

PROFESSIONAL SEAL

BARCROFT - PHASE 1

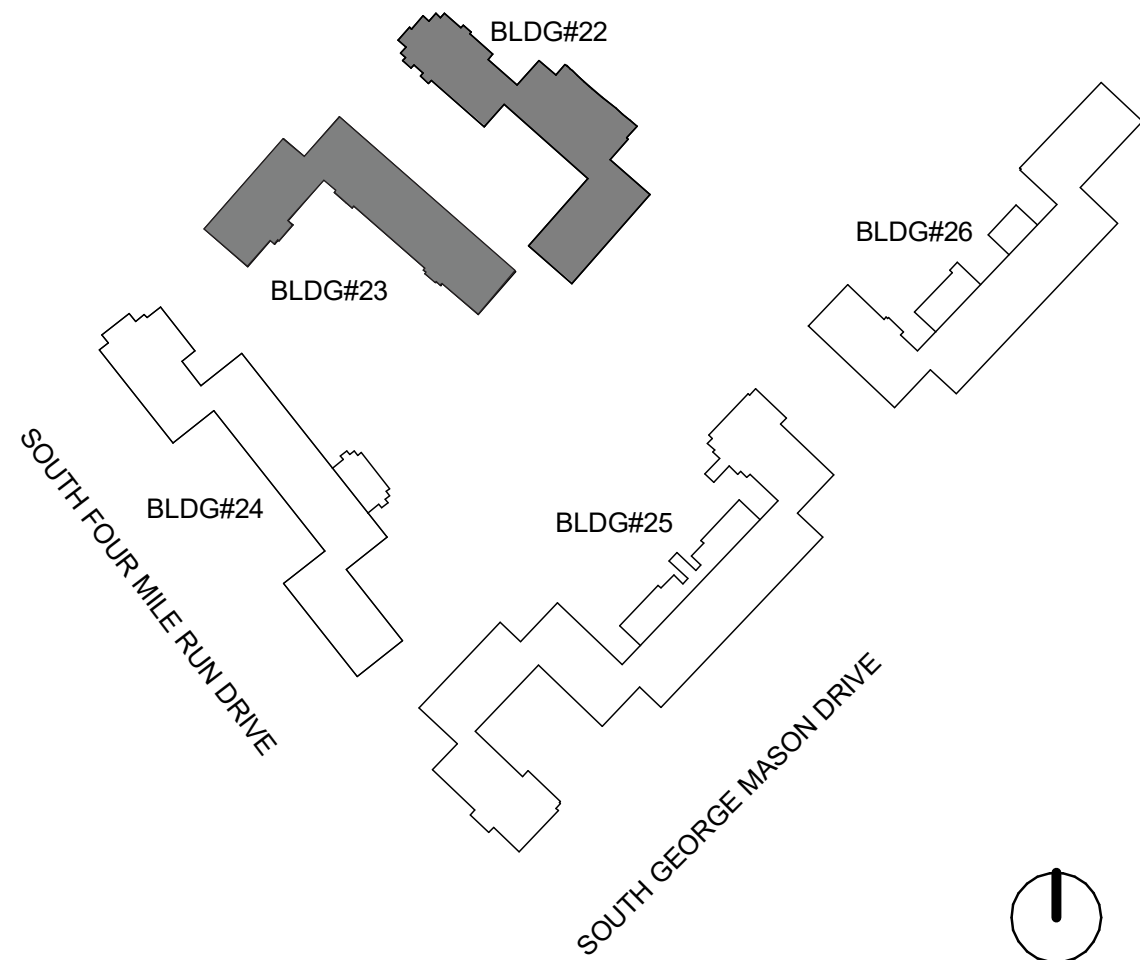
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OVERALL LANDSCAPE PLAN

DRAWN BY: \_\_\_\_\_  
 DESIGNED BY: \_\_\_\_\_  
 DATE ISSUED: 4/11/2023  
 DWG. SCALE: 1"=40'  
 VIKA NO.: VV8340K  
 SHEET NO.: L-09

FILE: Q:\Projects\VB340\VB340\CAD\VP\ANNING\PLANNING DRAWINGS\Use Permit\VB340K\_LANDSCAPE PLAN.dwg USER: ohen DATE: Apr. 14 2023 TIME: 07:14 pm

# BUILDINGS 22 - 23



EXISTING & PROPOSED UNIT MIX			
BUILDING	UNIT TYPE	EXISTING	PROPOSED
22	1BR	4	4
	2BR	10	10
	3BR	—	—
	4BR	—	—
	TOTAL	14	14
23	1BR	—	—
	2BR	15	15
	3BR	—	—
	4BR	—	—
	TOTAL	15	15



Building 22



Building 23



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USE PERMIT  
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1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-254
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 22 - ELEVATIONS - DEMOLITION

DRAWING SET  
NOT FOR CONSTRUCTION

SA-4



1 BLDG 22 - ELEVATION A - DEMO  
AD0200 1/8" = 1'-0"



2 BLDG 22 - ELEVATION B - DEMO  
AD0200 1/8" = 1'-0"

**GENERAL DEMOLITION ELEVATION NOTES**

1. REPOINT DETERIORATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
2. REMOVE ABANDONED ITEMS AND SALVAGE REMOVED BRICKS FOR REUSE;
3. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
4. GENTLY CLEAN AND WASH ALL EXISTING BRICK AND CONCRETE FACADES WITH LOW-TO-MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PSI OR BELOW) AND PROGRESS AS NEEDED TO SLIGHTLY HIGHER PRESSURE NOT TO EXCEED 300-400PSI. ALL EXTERIOR CLEANING TO BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE TO ADHERE TO THE SECRETARY OF THE INTERIORS STANDARDS AND NPS PRESERVATION BRIEF#4: ASSESSING CLEANING AND WATER-REPELLANT TREATMENTS FOR HISTORIC MASONRY BUILDINGS.
5. ALL WINDOWS OLDER THAN 25 YEARS MUST BE REMOVED;
6. PREPARE EXISTING RAILING TO BE PAINTED;
7. CLEAN AND WASH ALL EXISTING WINDOW WELLS. REFER TO NOTE #4;

**KEYED DEMOLITION ELEVATION NOTES**

1. EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP.
2. EXISTING WINDOWS TO REMAIN, TYP.
3. ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP.
4. REMOVE ALL EXISTING EXTERIOR HVAC EQUIPMENT, TYP.
5. REMOVE EXISTING DAMAGED ROOF SLATE TILES AND ASSOCIATED UNDERLAYMENT AND FLASHING WHERE NECESSARY, TYP.
6. REMOVE EXISTING GUTTER AND DOWNSPOUT, TYP.
7. EXISTING ATTIC VENTS TO REMAIN, TYP.
8. EXISTING EXTERIOR LIGHT FIXTURES TO BE REMOVED, TYP.
9. EXISTING ENTRANCE TRIM TO REMAIN, PREPARE FOR CONSTRUCTION OF CANOPY;
10. EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;
11. EXISTING SHUTTERS TO REMAIN, REPAIR AS NECESSARY. PREPARE TO RECEIVE NEW PAINT, TYP.
12. EXISTING RAILING TO BE DEMOLISHED;
13. REMOVE EXISTING WINDOWS;

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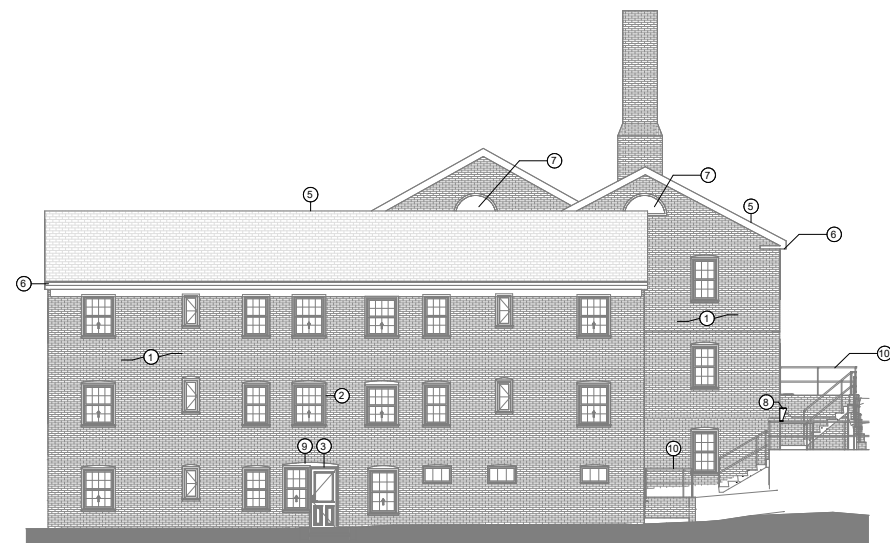
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2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-254
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 22 - ELEVATIONS - DEMOLITION

SA-5



1 BLDG 22 - ELEVATION C - DEMO  
AD020 1/8" = 1'-0"



2 BLDG 22 - ELEVATION D - DEMO  
AD020 1/8" = 1'-0"

**GENERAL DEMOLITION ELEVATION NOTES**

1. REPOINT DETERIORATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
2. REMOVE ABANDONED ITEMS AND SALVAGE REMOVED BRICKS FOR REUSE;
3. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
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**KEYED DEMOLITION ELEVATION NOTES**

- 1 EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP.
- 2 EXISTING WINDOWS TO REMAIN, TYP.
- 3 ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP.
- 4 REMOVE ALL EXISTING EXTERIOR HVAC EQUIPMENT, TYP.
- 5 REMOVE EXISTING DAMAGED ROOF SLATE TILES AND ASSOCIATED UNDERLAYMENT AND FLASHING WHERE NECESSARY, TYP.
- 6 REMOVE EXISTING GUTTER AND DOWNSPOUT, TYP.
- 7 EXISTING ATTIC VENTS TO REMAIN, TYP.
- 8 EXISTING EXTERIOR LIGHT FIXTURES TO BE REMOVED, TYP.
- 9 EXISTING ENTRANCE TRIM TO REMAIN, PREPARE FOR CONSTRUCTION OF CANOPY;
- 10 EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;
- 11 EXISTING SHUTTERS TO REMAIN, REPAIR AS NECESSARY. PREPARE TO RECEIVE NEW PAINT, TYP.
- 12 EXISTING RAILING TO BE DEMOLISHED;
- 13 REMOVE EXISTING WINDOWS;



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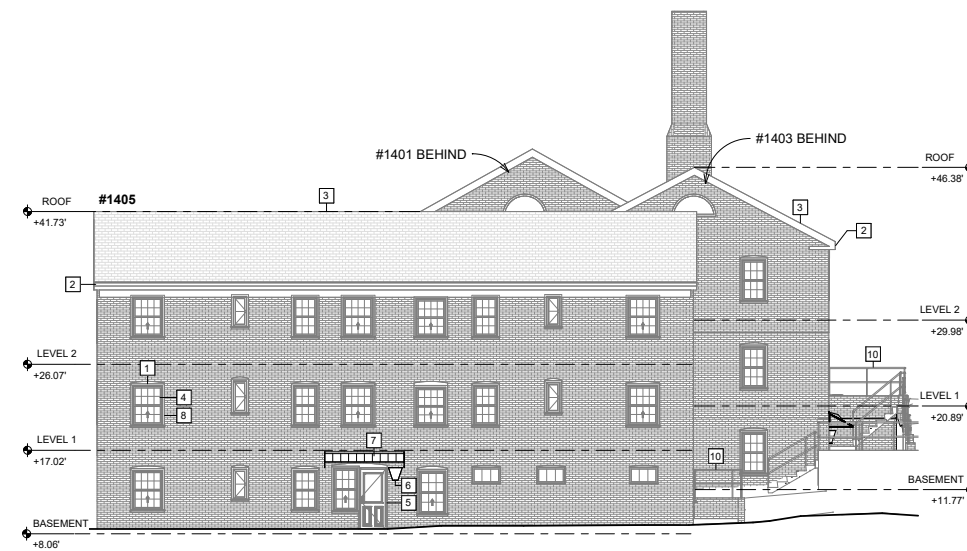
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3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-054
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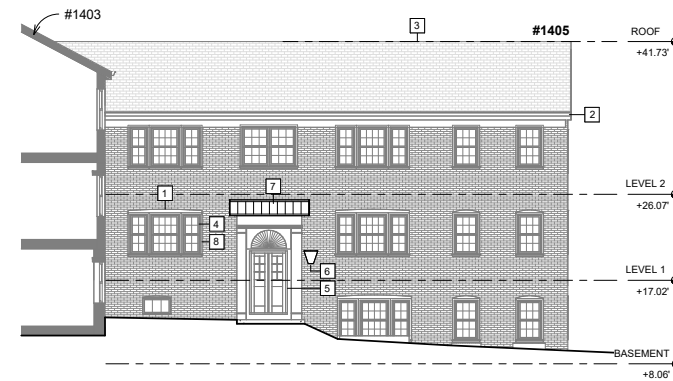
BUILDING 22 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A4



1 BLDG 22 - ELEVATION C  
A4  
1/8" = 1'-0"  
ASE: 154.37'



2 BLDG 22 - ELEVATION D  
A4  
1/8" = 1'-0"  
ASE: 154.37'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING.
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK.
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT.
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES.
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS, POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY.
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**\*NOTE:**  
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

**KEYED NEW WORK ELEVATION NOTES**

- |  |   |
|--|---|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTER, SEE SCHEDULE FOR MORE INFORMATION TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD.</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY.</li> <li>10. PAINT EXISTING RAILING.</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;</li> </ol> |
|--|---|

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BARCROFT - PHASE 1  
USE PERMIT  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

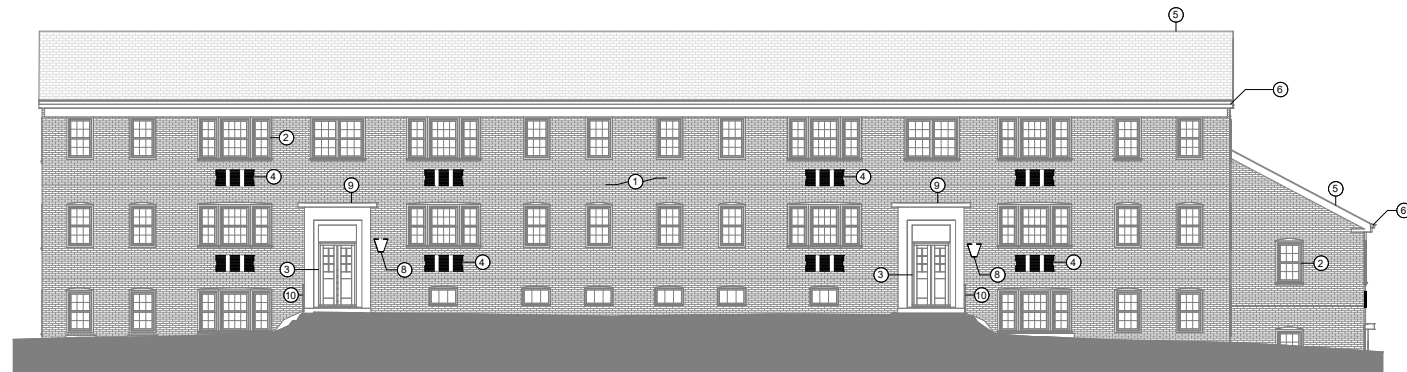
1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-254
DRAWN BY:	EOP / AL
CHECKED BY:	MF

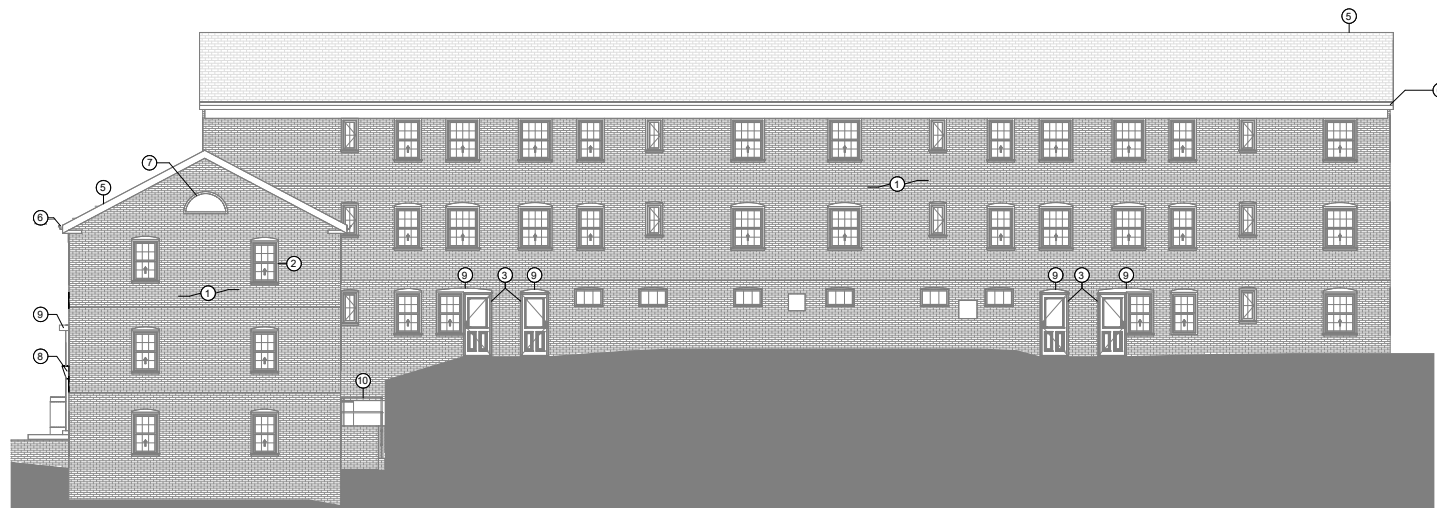
BUILDING 23 - ELEVATIONS - DEMOLITION

DRAWING SET  
NOT FOR CONSTRUCTION

SA-7



1 BLDG 23 - ELEVATION A - DEMO  
AD0202 1/8" = 1'-0"



2 BLDG 23 - ELEVATION B - DEMO  
AD0202 1/8" = 1'-0"

GENERAL DEMOLITION ELEVATION NOTES

1. REPOINT DETERIORATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
2. REMOVE ABANDONED ITEMS AND SALVAGE REMOVED BRICKS FOR REUSE;
3. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
4. GENTLY CLEAN AND WASH ALL EXISTING BRICK AND CONCRETE FACADES WITH LOW-TO-MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PSI OR BELOW) AND PROGRESS AS NEEDED TO SLIGHTLY HIGHER PRESSURE NOT TO EXCEED 300-400PSI. ALL EXTERIOR CLEANING TO BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE TO ADHERE TO THE SECRETARY OF THE INTERIORS STANDARDS AND NPS PRESERVATION BRIEF#4: ASSESSING CLEANING AND WATER-REPELLANT TREATMENTS FOR HISTORIC MASONRY BUILDINGS.
5. ALL WINDOWS OLDER THAN 25 YEARS MUST BE REMOVED;
6. PREPARE EXISTING RAILING TO BE PAINTED;
7. CLEAN AND WASH ALL EXISTING WINDOW WELLS. REFER TO NOTE #4;

KEYED DEMOLITION ELEVATION NOTES

- 1 EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP.
- 2 EXISTING WINDOWS TO REMAIN, TYP.
- 3 ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP.
- 4 REMOVE ALL EXISTING EXTERIOR HVAC EQUIPMENT, TYP.
- 5 REMOVE EXISTING DAMAGED ROOF SLATE TILES AND ASSOCIATED UNDERLAYMENT AND FLASHING WHERE NECESSARY, TYP.
- 6 REMOVE EXISTING GUTTER AND DOWNSPOUT, TYP.
- 7 EXISTING ATTIC VENTS TO REMAIN, TYP.
- 8 EXISTING EXTERIOR LIGHT FIXTURES TO BE REMOVED, TYP.
- 9 EXISTING ENTRANCE TRIM TO REMAIN, PREPARE FOR CONSTRUCTION OF CANOPY;
- 10 EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;
- 11 EXISTING SHUTTERS TO REMAIN, REPAIR AS NECESSARY. PREPARE TO RECEIVE NEW PAINT, TYP.
- 12 EXISTING RAILING TO BE DEMOLISHED;
- 13 REMOVE EXISTING WINDOWS;

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1	SD SUBMISSION	03/15/23
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3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-254
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 23 - ELEVATIONS - DEMOLITION

DRAWING SET  
NOT FOR CONSTRUCTION

SA-8



1 BLDG 23 - ELEVATION C - DEMO  
AD0203 1/8" = 1'-0"



2 BLDG 23 - ELEVATION D - DEMO  
AD0203 1/8" = 1'-0"

GENERAL DEMOLITION ELEVATION NOTES

1. REPOINT DETERIORATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
2. REMOVE ABANDONED ITEMS AND SALVAGE REMOVED BRICKS FOR REUSE;
3. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
4. GENTLY CLEAN AND WASH ALL EXISTING BRICK AND CONCRETE FACADES WITH LOW-TO-MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PSI OR BELOW) AND PROGRESS AS NEEDED TO SLIGHTLY HIGHER PRESSURE NOT TO EXCEED 300-400PSI. ALL EXTERIOR CLEANING TO BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE TO ADHERE TO THE SECRETARY OF THE INTERIORS STANDARDS AND NPS PRESERVATION BRIEF#4: ASSESSING CLEANING AND WATER-REPELLANT TREATMENTS FOR HISTORIC MASONRY BUILDINGS.
5. ALL WINDOWS OLDER THAN 25 YEARS MUST BE REMOVED;
6. PREPARE EXISTING RAILING TO BE PAINTED;
7. CLEAN AND WASH ALL EXISTING WINDOW WELLS. REFER TO NOTE #4;

KEYED DEMOLITION ELEVATION NOTES

1. EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP.
2. EXISTING WINDOWS TO REMAIN, TYP.
3. ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP.
4. REMOVE ALL EXISTING EXTERIOR HVAC EQUIPMENT, TYP.
5. REMOVE EXISTING DAMAGED ROOF SLATE TILES AND ASSOCIATED UNDERLAYMENT AND FLASHING WHERE NECESSARY, TYP.
6. REMOVE EXISTING GUTTER AND DOWNSPOUT, TYP.
7. EXISTING ATTIC VENTS TO REMAIN, TYP.
8. EXISTING EXTERIOR LIGHT FIXTURES TO BE REMOVED, TYP.
9. EXISTING ENTRANCE TRIM TO REMAIN, PREPARE FOR CONSTRUCTION OF CANOPY;
10. EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;
11. EXISTING SHUTTERS TO REMAIN, REPAIR AS NECESSARY. PREPARE TO RECEIVE NEW PAINT, TYP.
12. EXISTING RAILING TO BE DEMOLISHED;
13. REMOVE EXISTING WINDOWS;

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BARCROFT - PHASE 1  
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REVISIONS

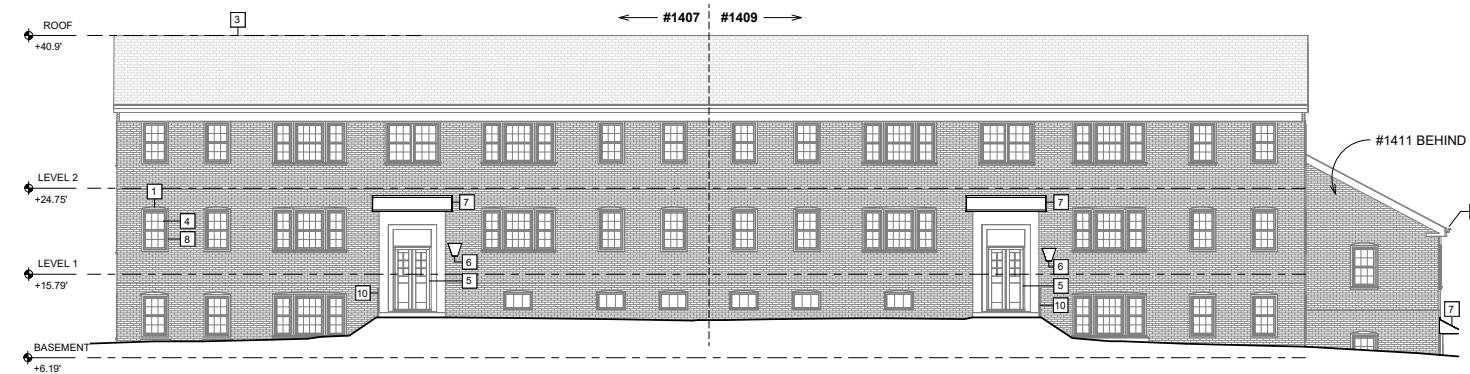
1	SD SUBMISSION	03/15/23
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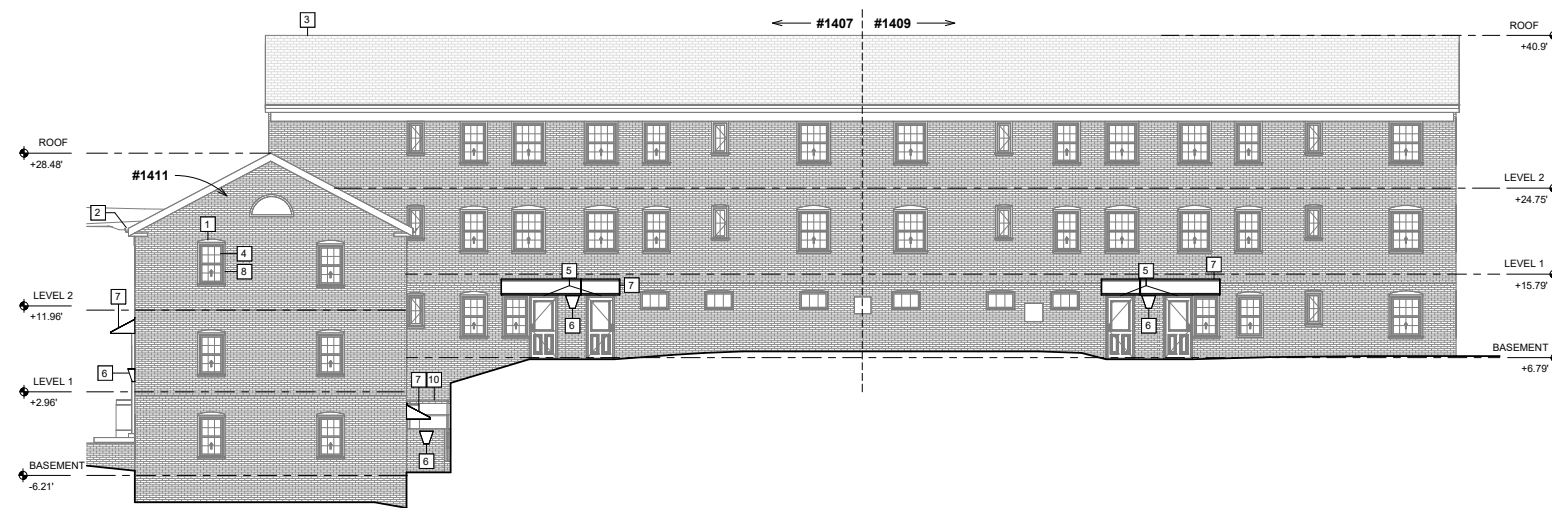
BUILDING 23 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A6



1 BLDG 23 - ELEVATION A  
A6  
1/8" = 1'-0"  
ASE: 154.37'



2 BLDG 23 - ELEVATION B  
A6  
1/8" = 1'-0"  
ASE: 154.37'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING.
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK.
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5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS, POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY.
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

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ELEVATIONS TO BE VERIFIED IN FIELD.

**KEYED NEW WORK ELEVATION NOTES**

- |  |   |
|--|---|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTERN, SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD.</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS.</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY.</li> <li>10. PAINT EXISTING RAILING.</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS.</li> </ol> |
|--|---|

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BARCROFT - PHASE 1  
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ARLINGTON COUNTY, VIRGINIA

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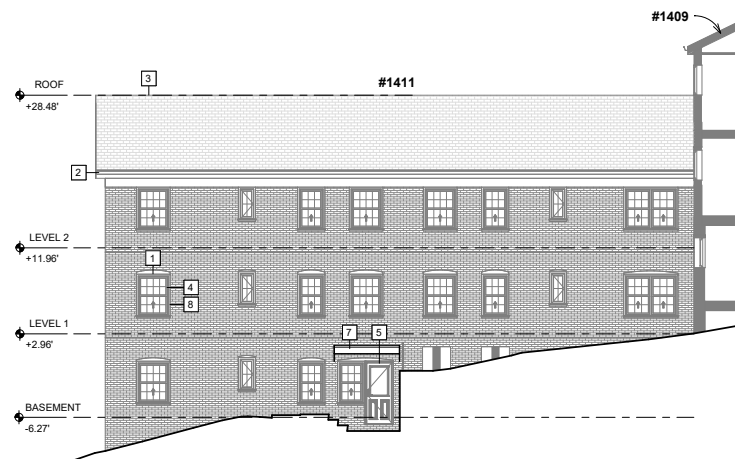
1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/15/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 23 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A7

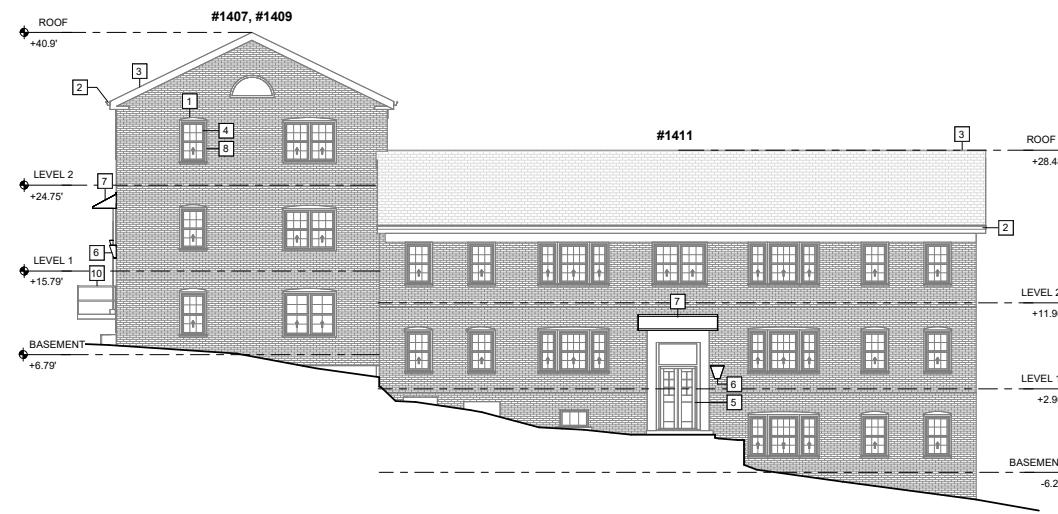


1 BLDG 23 - ELEVATION C  
A7  
1/8" = 1'-0"  
ASE: 154.37'

GENERAL NEW WORK ELEVATION NOTES

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\*NOTE:  
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ELEVATIONS TO BE VERIFIED IN FIELD.



2 BLDG 23 - ELEVATION D  
A7  
1/8" = 1'-0"  
ASE: 154.37'

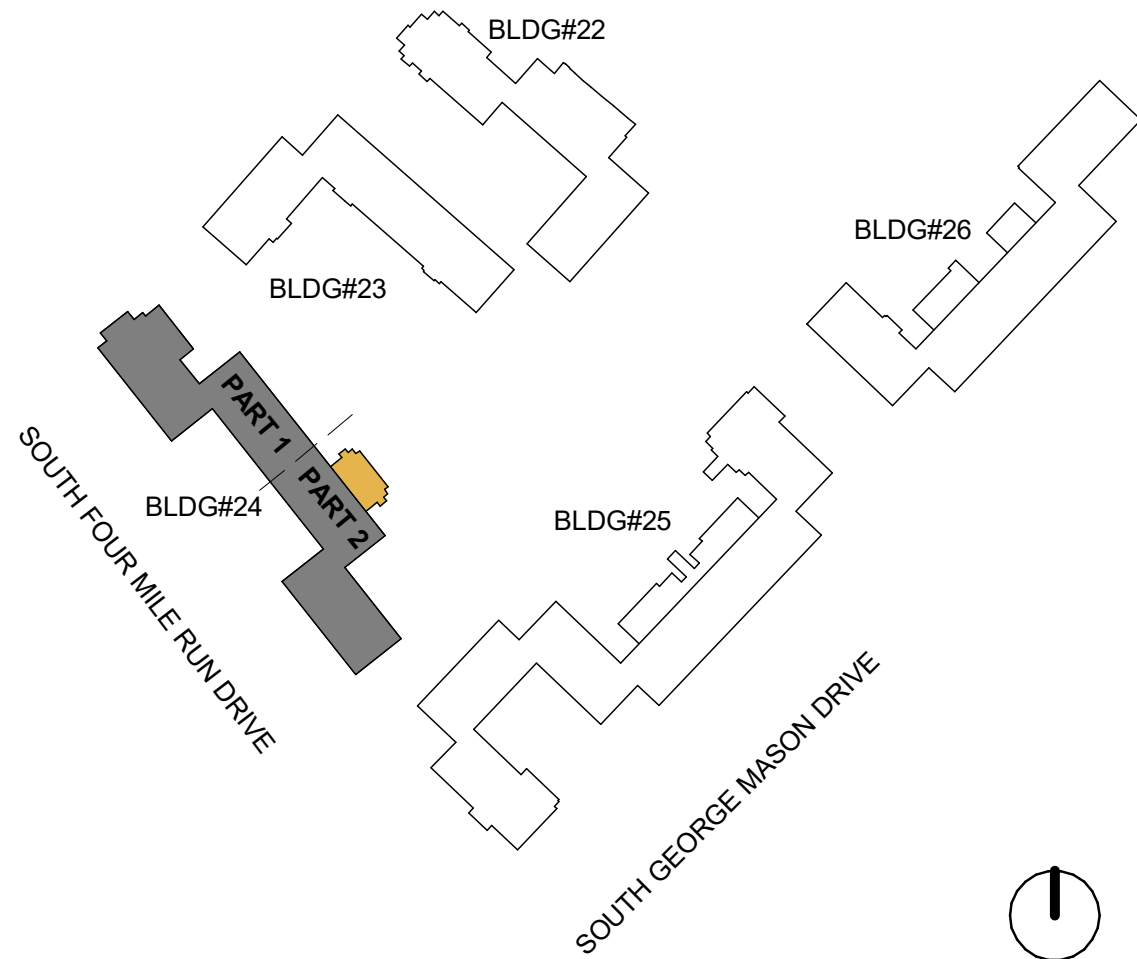
KEYED NEW WORK ELEVATION NOTES

- |  |   |
|--|---|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTERN, SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD.</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY.</li> <li>10. PAINT EXISTING RAILING.</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS.</li> </ol> |
|--|---|



# BUILDING 24

EXISTING & PROPOSED UNIT MIX			
BUILDING	UNIT TYPE	EXISTING	PROPOSED
24	1BR	—	—
	2BR	18	14
	3BR	—	4
	4BR	—	—
	TOTAL	18	18



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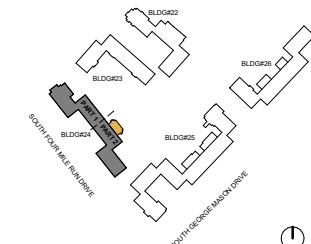
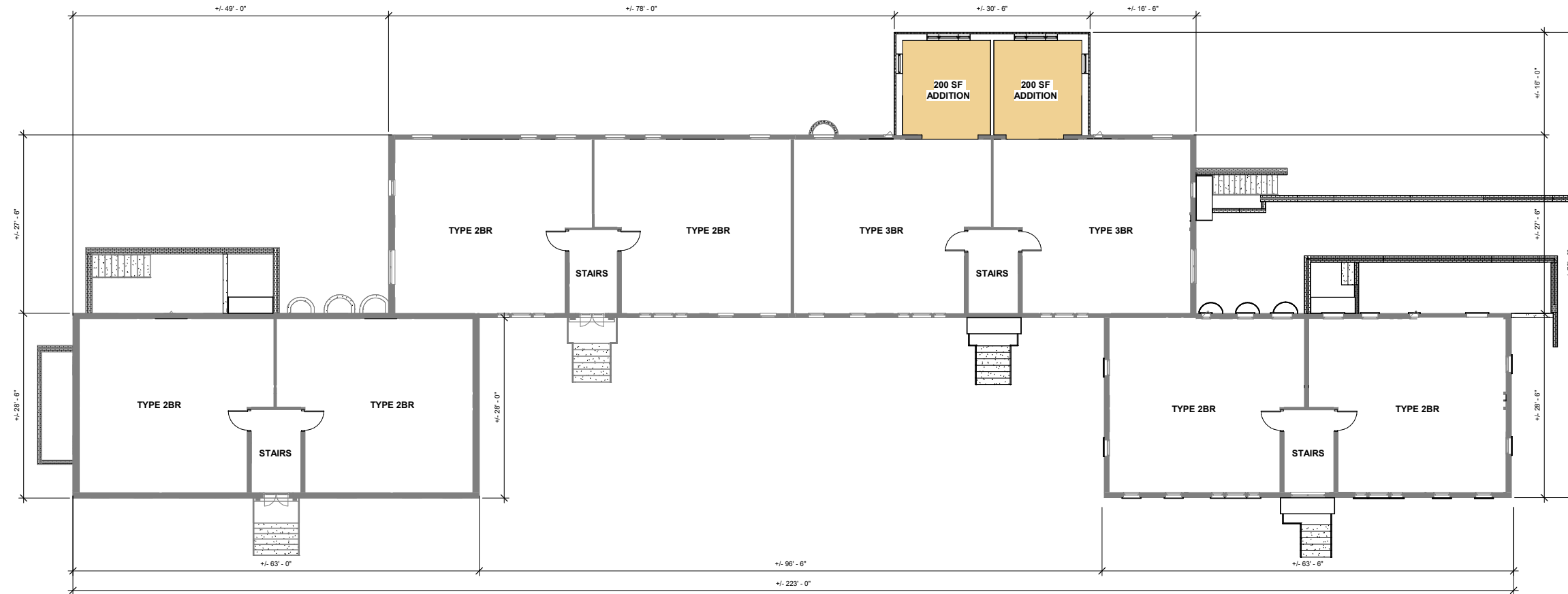
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BARCROFT - PHASE 1  
USE PERMIT  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1 USE PERMIT 04/25/23

DATE: 04/10/23  
PROJECT NO: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF



1 BLDG 24 - OVERALL PLAN  
A8 1/8" = 1'-0"

BUILDING 24 - TYPICAL PLAN

DRAWING SET  
NOT FOR CONSTRUCTION

A8



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BARCROFT - PHASE 1  
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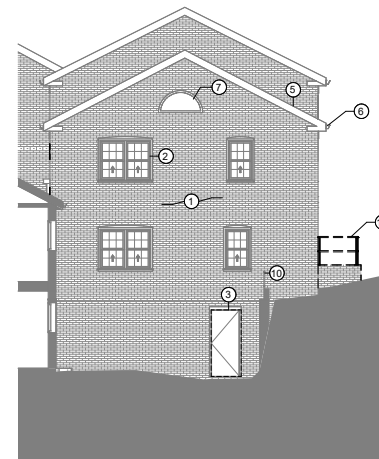
1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/28/23

DATE:	03/01/23
PROJECT NO.:	2022-254
DRAWN BY:	EOP / AL
CHECKED BY:	MF

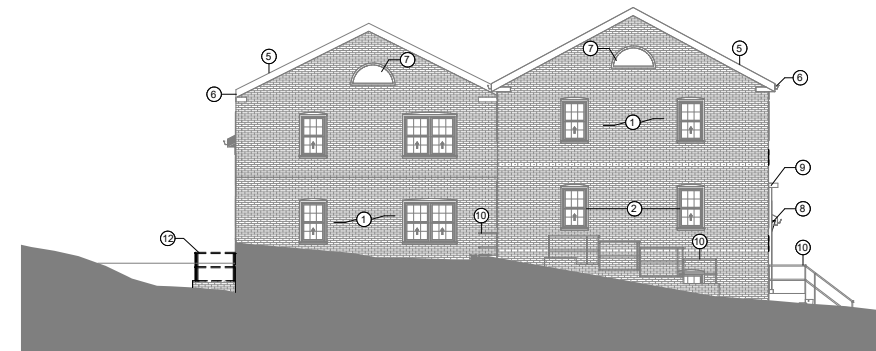
BUILDING 24 - ELEVATIONS - DEMOLITION

DRAWING SET  
NOT FOR CONSTRUCTION

SA-11



1 BLDG 24 - ELEVATION C - DEMO  
AD0205 1/8" = 1'-0"



2 BLDG 24 - ELEVATION D - DEMO  
AD0205 1/8" = 1'-0"

GENERAL DEMOLITION ELEVATION NOTES

1. REPOINT DETERIORATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
2. REMOVE ABANDONED ITEMS AND SALVAGE REMOVED BRICKS FOR REUSE;
3. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
4. GENTLY CLEAN AND WASH ALL EXISTING BRICK AND CONCRETE FACADES WITH LOW-TO-MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PSI OR BELOW) AND PROGRESS AS NEEDED TO SLIGHTLY HIGHER PRESSURE NOT TO EXCEED 300-400PSI. ALL EXTERIOR CLEANING TO BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE TO ADHERE TO THE SECRETARY OF THE INTERIORS STANDARDS AND NPS PRESERVATION BRIEF#4: ASSESSING CLEANING AND WATER-REPELLANT TREATMENTS FOR HISTORIC MASONRY BUILDINGS.
5. ALL WINDOWS OLDER THAN 25 YEARS MUST BE REMOVED;
6. PREPARE EXISTING RAILING TO BE PAINTED;
7. CLEAN AND WASH ALL EXISTING WINDOW WELLS. REFER TO NOTE #4;

KEYED DEMOLITION ELEVATION NOTES

- 1 EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP.
- 2 EXISTING WINDOWS TO REMAIN, TYP.
- 3 ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP.
- 4 REMOVE ALL EXISTING EXTERIOR HVAC EQUIPMENT, TYP.
- 5 REMOVE EXISTING DAMAGED ROOF SLATE TILES AND ASSOCIATED UNDERLAYMENT AND FLASHING WHERE NECESSARY, TYP.
- 6 REMOVE EXISTING GUTTER AND DOWNSPOUT, TYP.
- 7 EXISTING ATTIC VENTS TO REMAIN, TYP.
- 8 EXISTING EXTERIOR LIGHT FIXTURES TO BE REMOVED, TYP.
- 9 EXISTING ENTRANCE TRIM TO REMAIN, PREPARE FOR CONSTRUCTION OF CANOPY;
- 10 EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;
- 11 EXISTING SHUTTERS TO REMAIN, REPAIR AS NECESSARY. PREPARE TO RECEIVE NEW PAINT, TYP.
- 12 EXISTING RAILING TO BE DEMOLISHED;
- 13 REMOVE EXISTING WINDOWS;



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REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

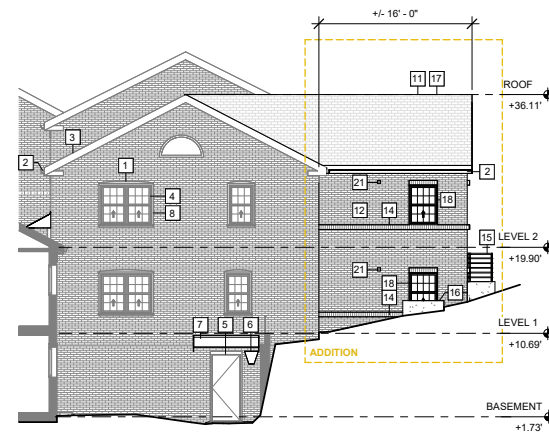
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PROJECT NO.:	2022-254
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 24 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A16

1 BLDG 24 - ELEVATION C  
A16 1/8" = 1'-0"  
ASE: 112.31'



GENERAL NEW WORK ELEVATION NOTES

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING.
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK.
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT.
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES.
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS, POWDER COAT, GALVANIZE OR PROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY.
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

\*NOTE:  
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

2 BLDG 24 - ELEVATION D  
A16 1/8" = 1'-0"  
ASE: 112.31'



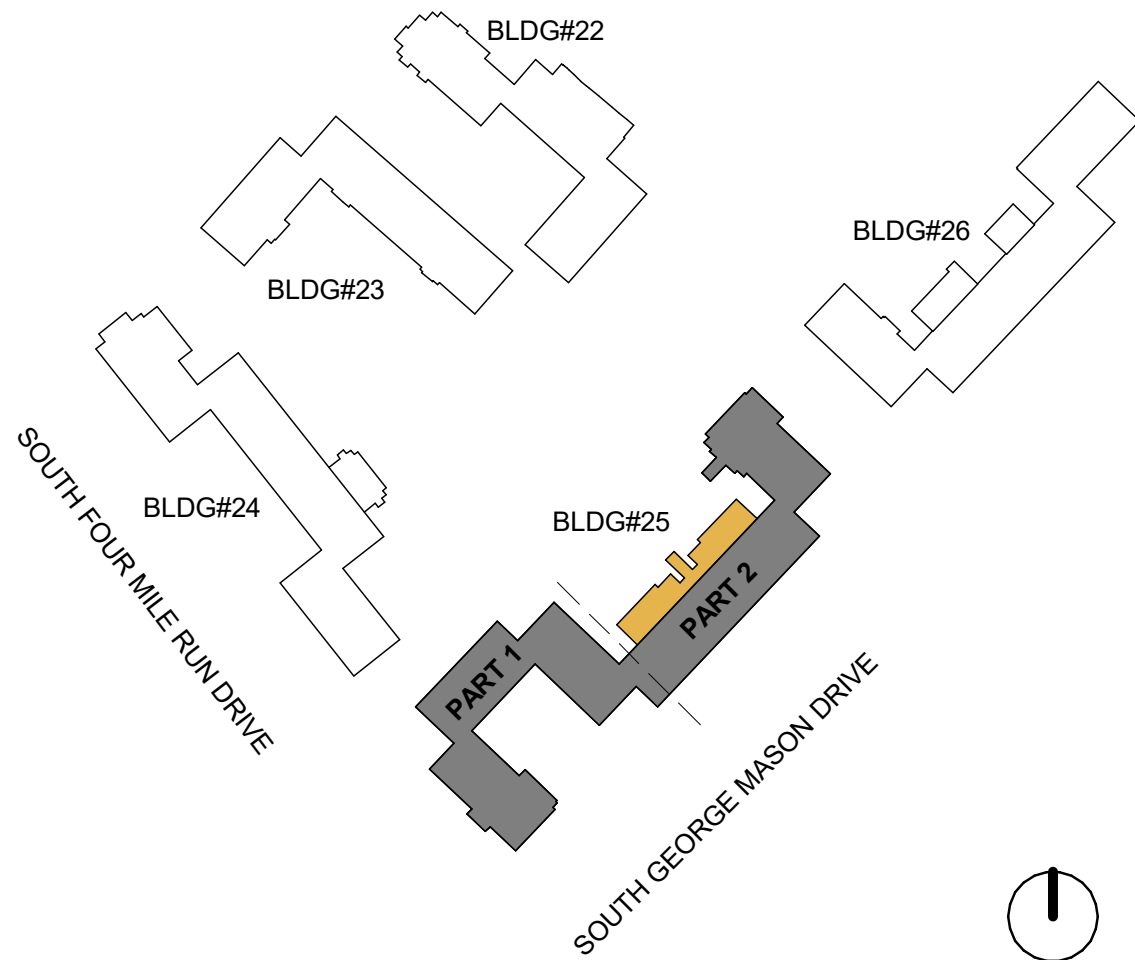
KEYED NEW WORK ELEVATION NOTES

- |  |   |
|--|---|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTERN, SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD.</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY.</li> <li>10. PAINT EXISTING RAILING.</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS.</li> </ol> |
|--|---|



# BUILDING 25

EXISTING & PROPOSED UNIT MIX			
BUILDING	UNIT TYPE	EXISTING	PROPOSED
25	1BR	—	—
	2BR	28	20
	3BR	—	4
	4BR	—	4
	TOTAL	28	28





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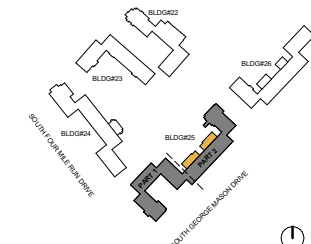
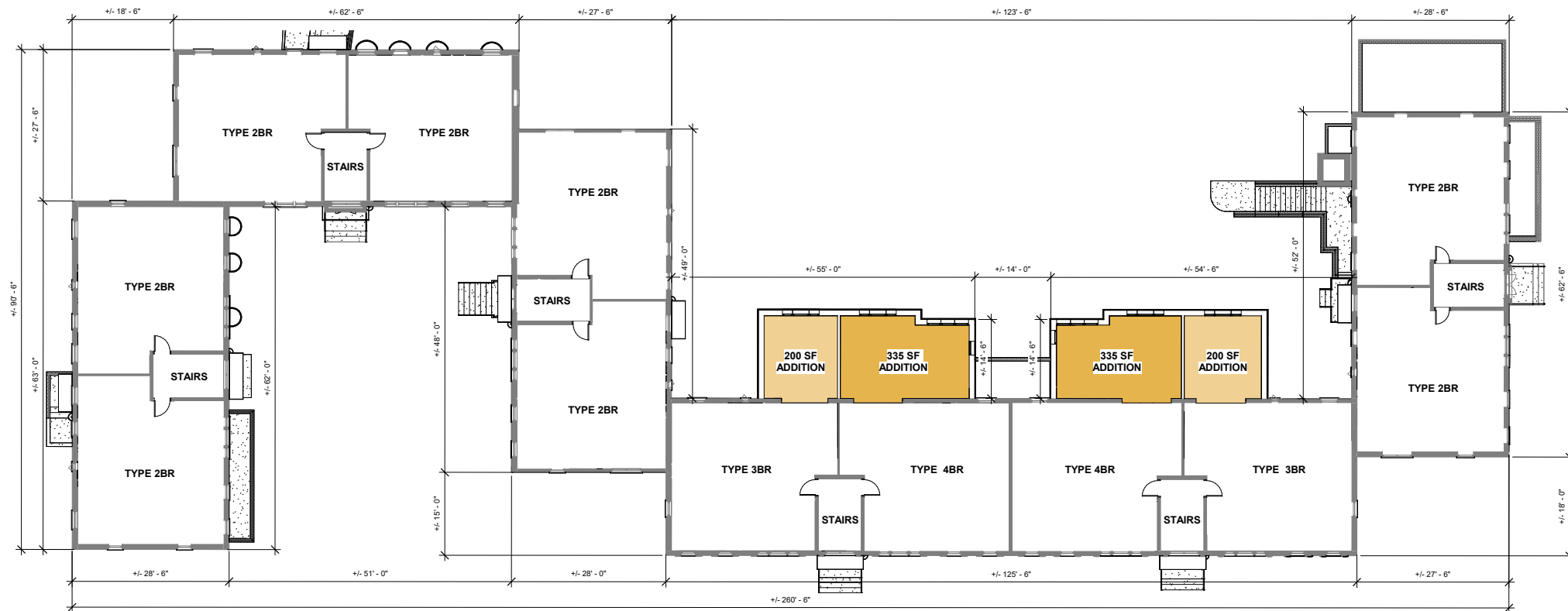
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REVISIONS

1	USE PERMIT	04/25/23
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DATE:	04/10/23
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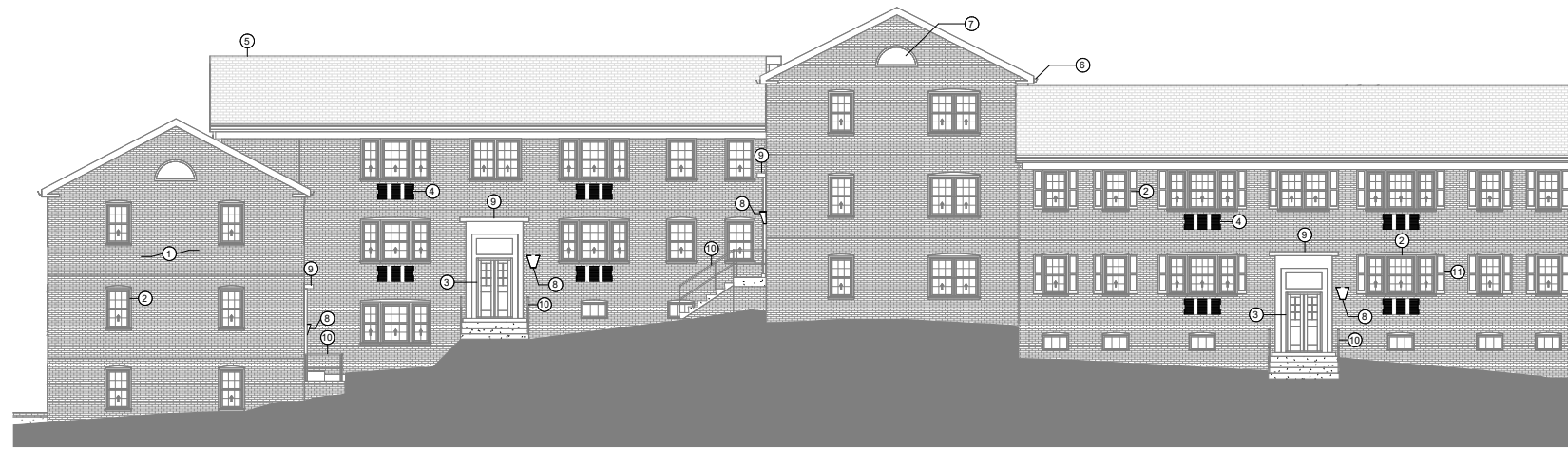


1 BLDG 25 - OVERALL PLAN  
A18 3/32" = 1'-0"

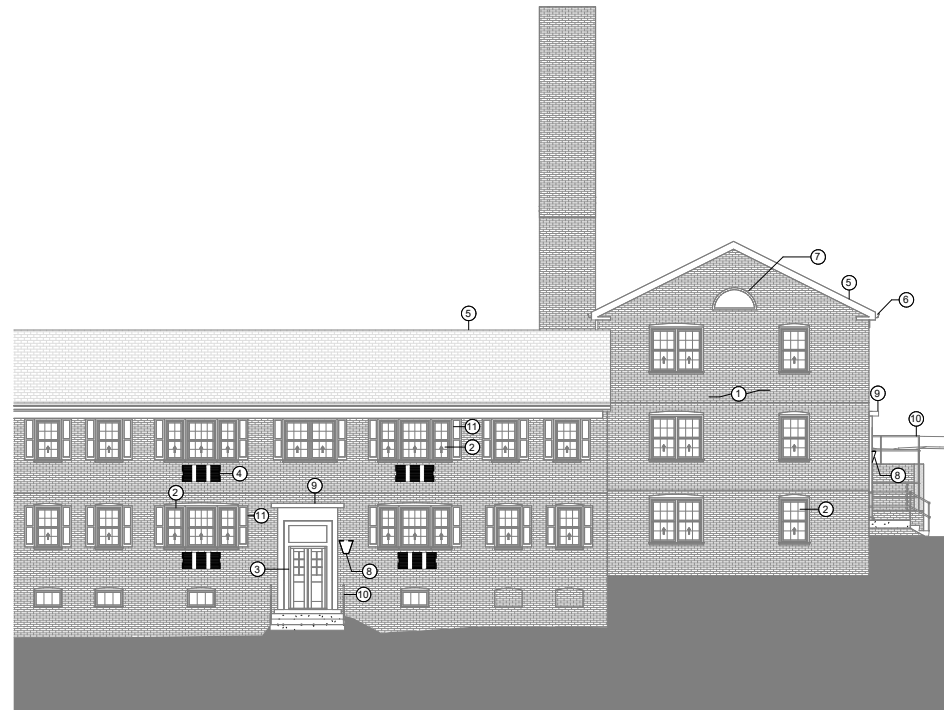
BUILDING 25 - TYPICAL PLAN

DRAWING SET  
NOT FOR CONSTRUCTION

**A18**



1 BLDG 25 - ELEVATION A - 1 - DEMO  
AD0206 1/8" = 1'-0"



2 BLDG 25 - ELEVATION A - 2 - DEMO  
AD0206 1/8" = 1'-0"

**GENERAL DEMOLITION ELEVATION NOTES**

1. REPOINT DETERIORATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
2. REMOVE ABANDONED ITEMS AND SALVAGE REMOVED BRICKS FOR REUSE;
3. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
4. GENTLY CLEAN AND WASH ALL EXISTING BRICK AND CONCRETE FACADES WITH LOW-TO-MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PSI OR BELOW) AND PROGRESS AS NEEDED TO SLIGHTLY HIGHER PRESSURE NOT TO EXCEED 300-400PSI. ALL EXTERIOR CLEANING TO BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE TO ADHERE TO THE SECRETARY OF THE INTERIORS STANDARDS AND NPS PRESERVATION BRIEF#4: ASSESSING CLEANING AND WATER-REPELLANT TREATMENTS FOR HISTORIC MASONRY BUILDINGS.
5. ALL WINDOWS OLDER THAN 25 YEARS MUST BE REMOVED;
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7. CLEAN AND WASH ALL EXISTING WINDOW WELLS. REFER TO NOTE #4;

**KEYED DEMOLITION ELEVATION NOTES**

- 1 EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP.
- 2 EXISTING WINDOWS TO REMAIN, TYP.
- 3 ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP.
- 4 REMOVE ALL EXISTING EXTERIOR HVAC EQUIPMENT, TYP.
- 5 REMOVE EXISTING DAMAGED ROOF SLATE TILES AND ASSOCIATED UNDERLAYMENT AND FLASHING WHERE NECESSARY, TYP.
- 6 REMOVE EXISTING GUTTER AND DOWNSPOUT, TYP.
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- 8 EXISTING EXTERIOR LIGHT FIXTURES TO BE REMOVED, TYP.
- 9 EXISTING ENTRANCE TRIM TO REMAIN, PREPARE FOR CONSTRUCTION OF CANOPY;
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- 12 EXISTING RAILING TO BE DEMOLISHED;
- 13 REMOVE EXISTING WINDOWS;

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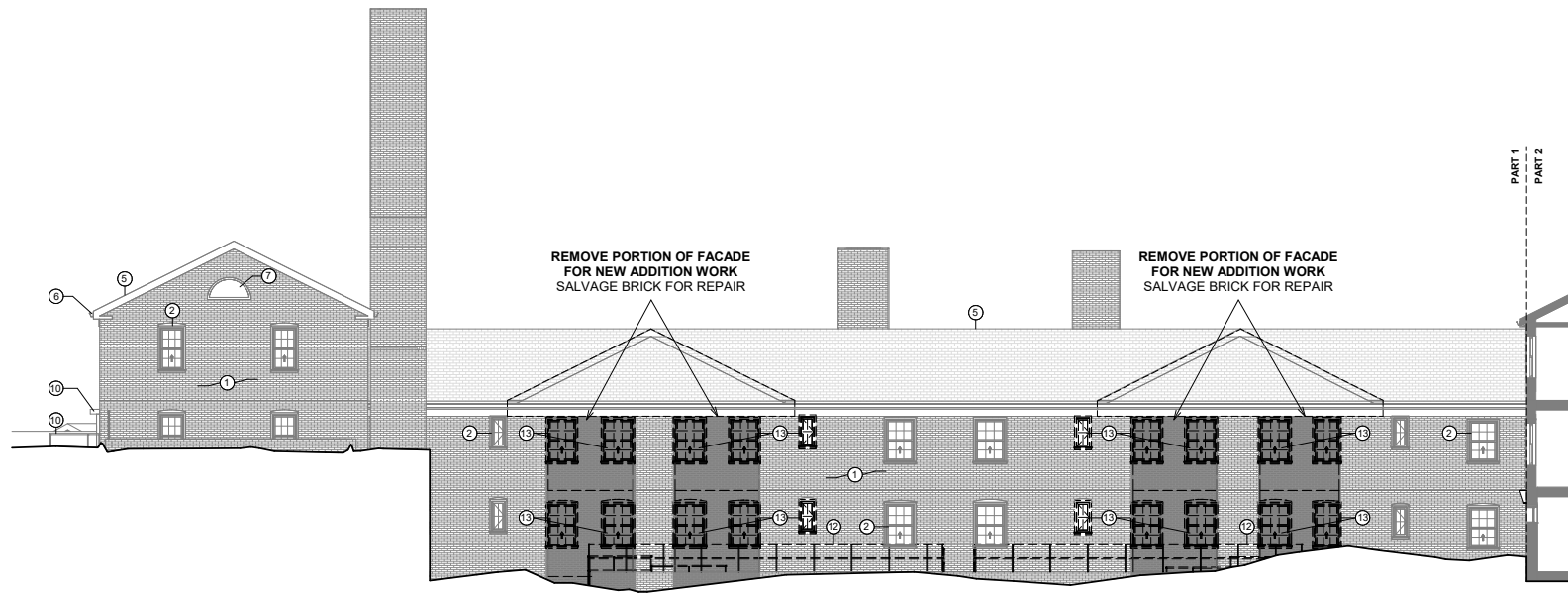
1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

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CHECKED BY:	MF

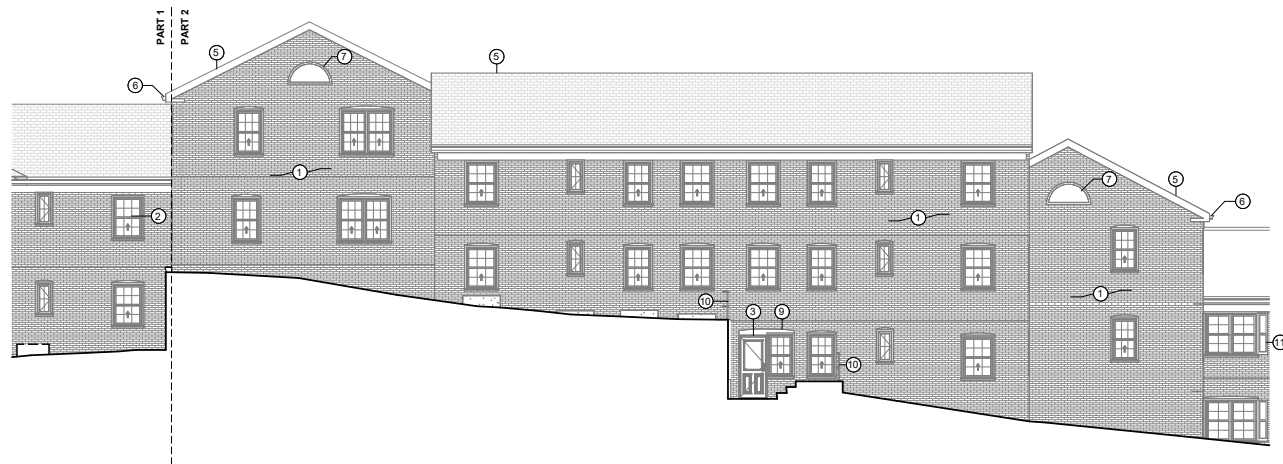
BUILDING 25 - ELEVATIONS - DEMOLITION

DRAWING SET  
NOT FOR CONSTRUCTION

SA-13



1 BLDG 25 - ELEVATION B - 1 - DEMO  
AD0207 1/8" = 1'-0"



2 BLDG 25 - ELEVATION B - 2 - DEMO  
AD0207 1/8" = 1'-0"

**GENERAL DEMOLITION ELEVATION NOTES**

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- 4 REMOVE ALL EXISTING EXTERIOR HVAC EQUIPMENT, TYP.
- 5 REMOVE EXISTING DAMAGED ROOF SLATE TILES AND ASSOCIATED UNDERLAYMENT AND FLASHING WHERE NECESSARY, TYP.
- 6 REMOVE EXISTING GUTTER AND DOWNSPOUT, TYP.
- 7 EXISTING ATTIC VENTS TO REMAIN, TYP.
- 8 EXISTING EXTERIOR LIGHT FIXTURES TO BE REMOVED, TYP.
- 9 EXISTING ENTRANCE TRIM TO REMAIN, PREPARE FOR CONSTRUCTION OF CANOPY;
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- 11 EXISTING SHUTTERS TO REMAIN, REPAIR AS NECESSARY. PREPARE TO RECEIVE NEW PAINT, TYP.
- 12 EXISTING RAILING TO BE DEMOLISHED;
- 13 REMOVE EXISTING WINDOWS;

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2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

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BUILDING 25 - ELEVATIONS - DEMOLITION

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SA-14

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REVISIONS

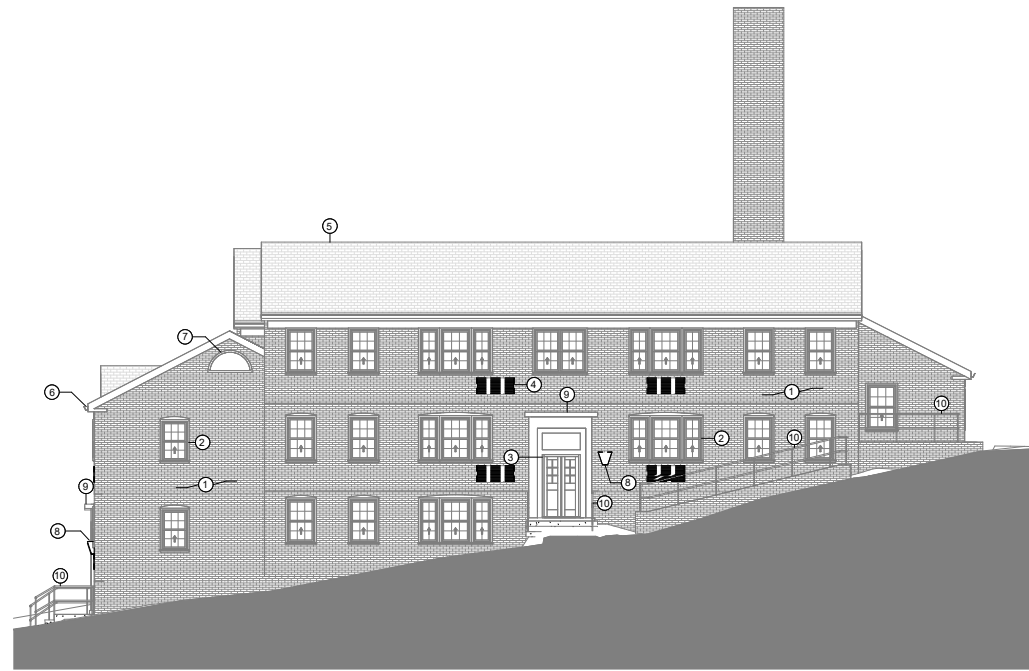
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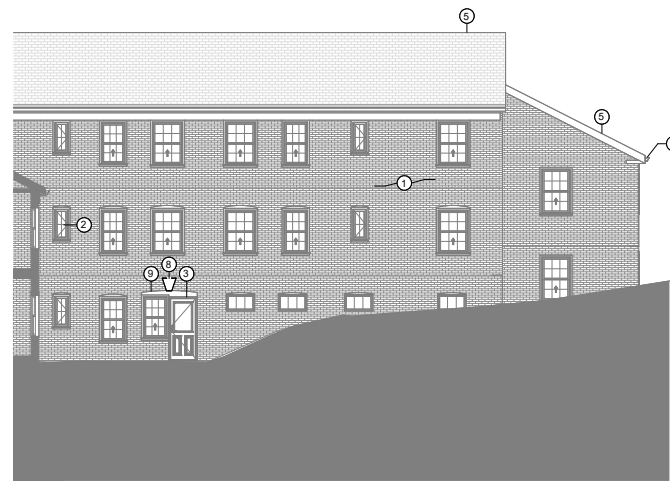
BUILDING 25 - ELEVATIONS - DEMOLITION

DRAWING SET  
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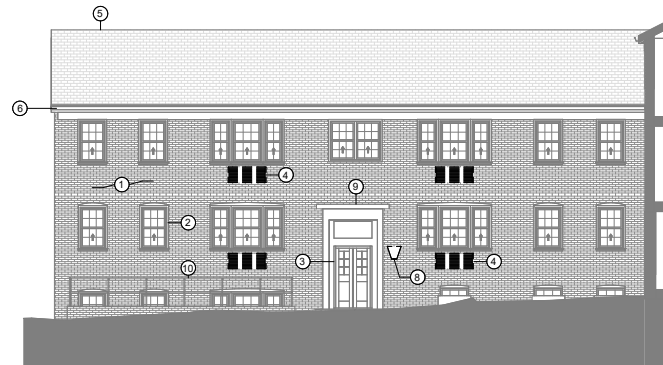
SA-15



1 BLDG 25 - ELEVATION C - DEMO  
AD0208 1/8" = 1'-0"



2 BLDG 25 - ELEVATION D - DEMO  
AD0208 1/8" = 1'-0"



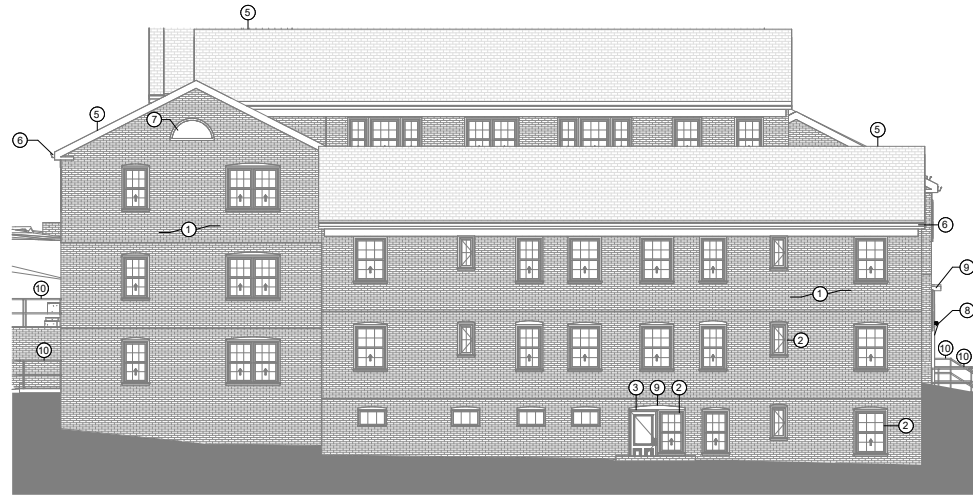
3 BLDG 25 - ELEVATION E - DEMO  
AD0208 1/8" = 1'-0"

**GENERAL DEMOLITION ELEVATION NOTES**

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**KEYED DEMOLITION ELEVATION NOTES**

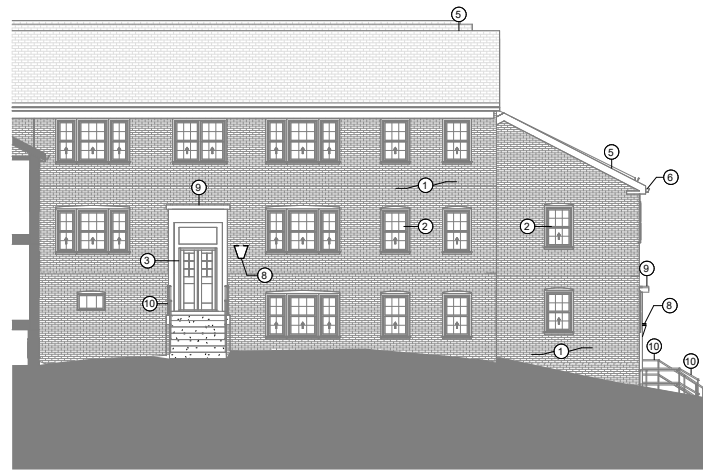
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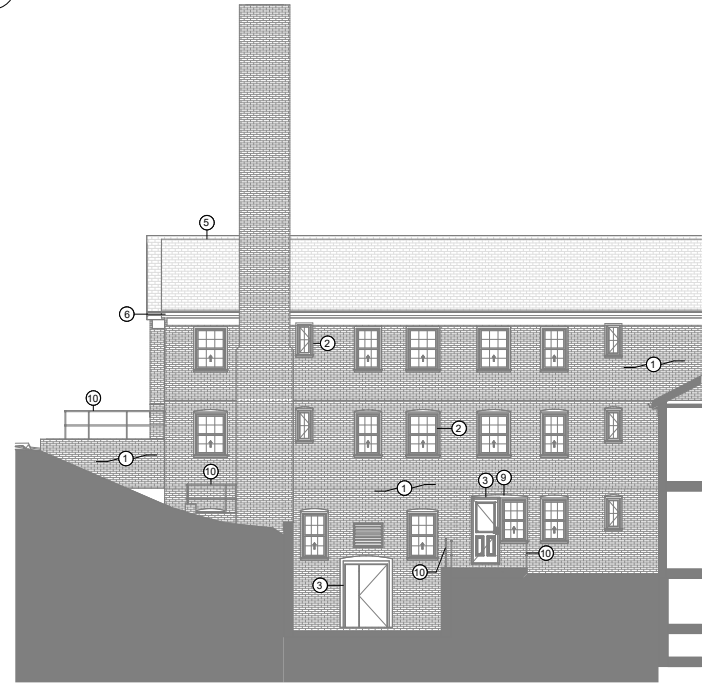
1 BLDG 25 - ELEVATION F - DEMO  
AD0209 1/8" = 1'-0"



4 BLDG 25 - ELEVATION I - DEMO  
AD0209 1/8" = 1'-0"



2 BLDG 25 - ELEVATION G - DEMO  
AD0209 1/8" = 1'-0"



3 BLDG 25 - ELEVATION H - DEMO  
AD0209 1/8" = 1'-0"

**GENERAL DEMOLITION ELEVATION NOTES**

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ARLINGTON, VA 22207  
(703) 553 55 99

BARCROFT - PHASE 1  
USE PERMIT  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-254
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 25 - ELEVATIONS - DEMOLITION

DRAWING SET  
NOT FOR CONSTRUCTION

SA-16

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(703) 553 55 99

BARCROFT - PHASE 1  
USE PERMIT  
ARLINGTON COUNTY, VIRGINIA

REVISIONS	
1	SD SUBMISSION 03/15/23
2	DD SUBMISSION 04/28/23
3	USE PERMIT 04/28/23

DATE:	03/01/23
PROJECT NO.:	2022-264
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 25 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A24



1 BLDG 25 - ELEVATION A - 1  
A24 1/8" = 1'-0"  
ASE: 109.5'



2 BLDG 25 - ELEVATION A - 2  
A24 1/8" = 1'-0"  
ASE: 109.5'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS, POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**\*NOTE:**  
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

**KEYED NEW WORK ELEVATION NOTES**

- |    |   |    |  |
|----|---|----|--|
| 1  | REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;                                      | 12 | NEW BRICK WALL TO MATCH EXISTING COLOR;  |
| 2  | REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.  | 13 | NEW BRICK WALL, SIZE AND COLOR TBD;  |
| 3  | REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;                       | 14 | NEW BRICK MOULDING, SIZE AND COLOR TBD;  |
| 4  | EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.   | 15 | NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);  |
| 5  | REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.   | 16 | NEW CONCRETE RETAINING WALL, FINISH TBD;   |
| 6  | PROVIDE & INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTERN; SEE SCHEDULE FOR MORE INFORMATION TYP. | 17 | NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;   |
| 7  | PROVIDE & INSTALL NEW CANOPY, DESIGN TBD;   | 18 | NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;  |
| 8  | EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;                                      | 19 | NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;   |
| 9  | REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;  | 20 | NEW ATTIC VENT, DESIGN AND LOCATION TBD;   |
| 10 | PAINT EXISTING RAILING;   | 21 | NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS; |
| 11 | NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;  |    |  |

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BARCROFT - PHASE 1  
USE PERMIT  
ARLINGTON COUNTY, VIRGINIA

REVISIONS	
1	SD SUBMISSION 03/15/23
2	DD SUBMISSION 04/28/23
3	USE PERMIT 04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-254
DRAWN BY:	EOP / AL
CHECKED BY:	MF

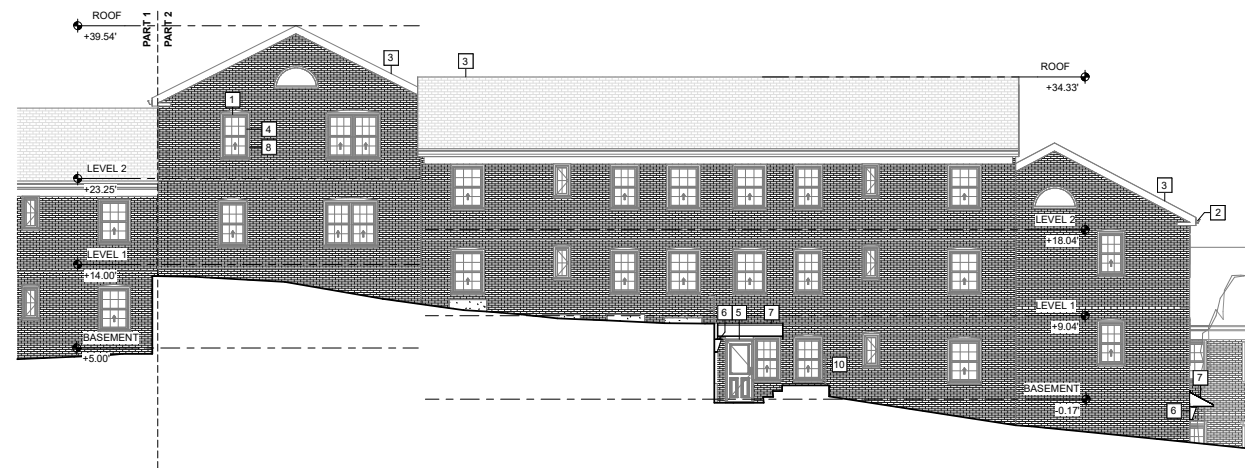
BUILDING 25 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A25



1 BLDG 25 - ELEVATION B - 1  
1/8" = 1'-0"  
ASE: 109.5'



2 BLDG 25 - ELEVATION B - 2  
1/8" = 1'-0"  
ASE: 109.5'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS, POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**\*NOTE:**  
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
ELEVATIONS IN FIELD MAY VARY (+/- 1") FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

**KEYED NEW WORK ELEVATION NOTES**

- |  |   |
|--|---|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTERN, SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD.</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY.</li> <li>10. PAINT EXISTING RAILING.</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD.</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE.</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD.</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS.</li> </ol> |
|--|---|



TYPICAL BRICK VENT EXAMPLE





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**BARCROFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

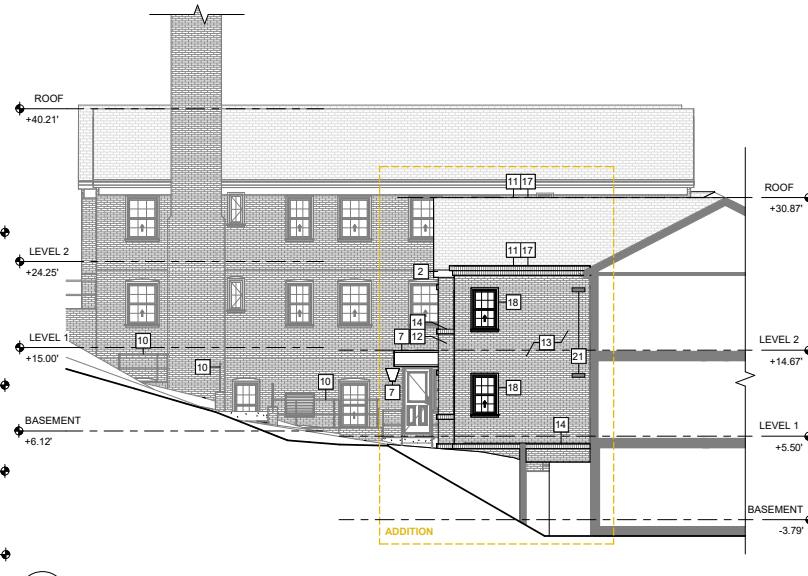
BUILDING 25 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A27



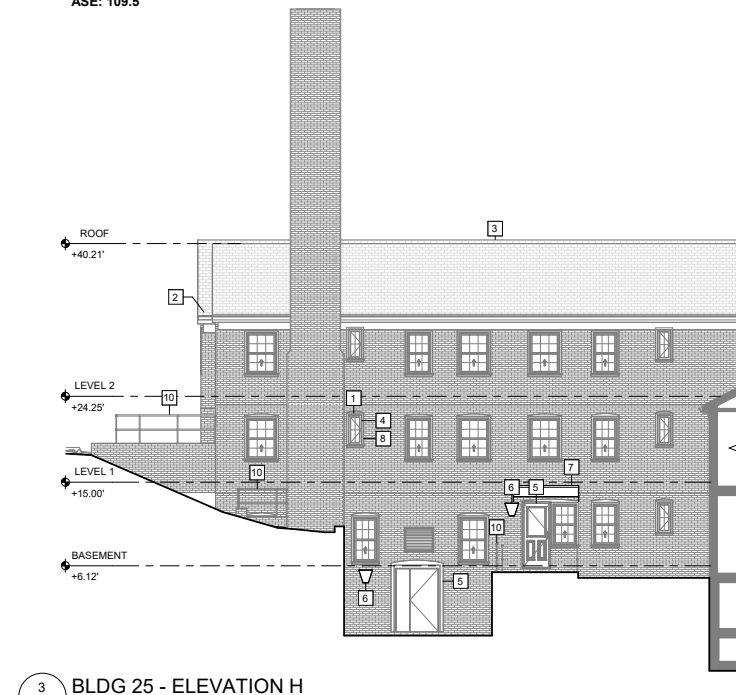
1 BLDG 25 - ELEVATION F  
1/8" = 1'-0"  
ASE: 109.5'



4 BLDG 25 - ELEVATION I  
1/8" = 1'-0"  
ASE: 109.5'



2 - BLDG 25 - ELEVATION G  
1/8" = 1'-0"  
ASE: 109.5'



3 BLDG 25 - ELEVATION H  
1/8" = 1'-0"  
ASE: 109.5'

GENERAL NEW WORK ELEVATION NOTES

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2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK.
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5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS, POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY.
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

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ELEVATIONS TO BE VERIFIED IN FIELD.

KEYED NEW WORK ELEVATION NOTES

- |   |   |
|---|---|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTERN, SEE SCHEDULE FOR MORE INFORMATION TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD.</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS.</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY.</li> <li>10. PAINT EXISTING RAILING.</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE.</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS.</li> </ol> |
|---|---|

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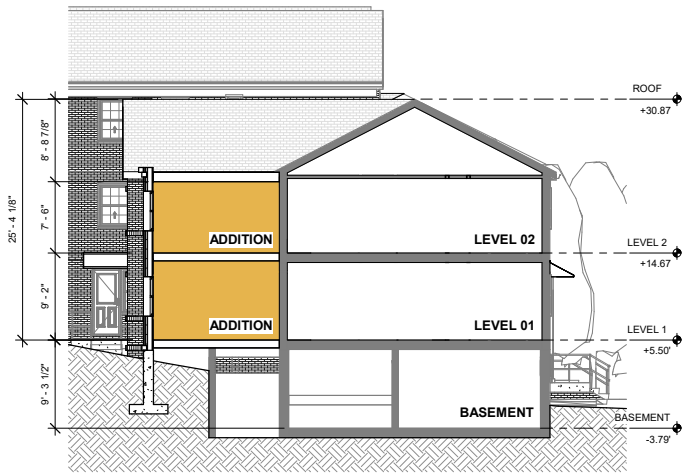
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BARCROFT - PHASE 1  
USE PERMIT  
ARLINGTON COUNTY, VIRGINIA

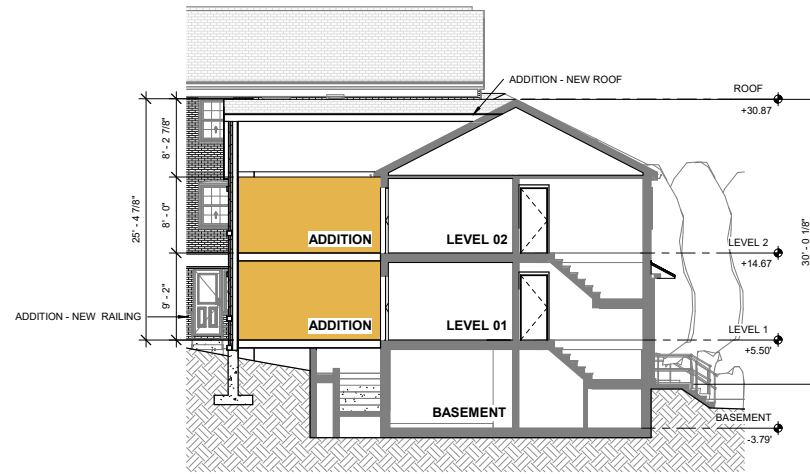
REVISIONS

1	DD SUBMISSION	04/28/23
2	USE PERMIT	04/25/23

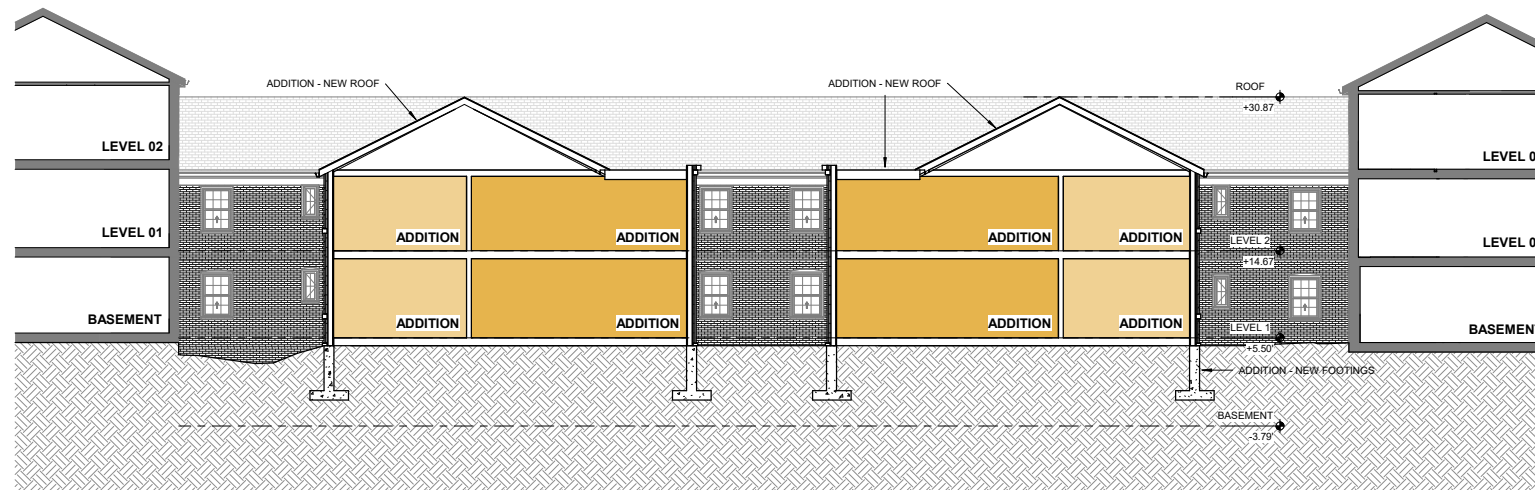
DATE:	04/04/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF



1 BUILDING 25 - BUILDING SECTION A  
A28 1/8" = 1'-0"



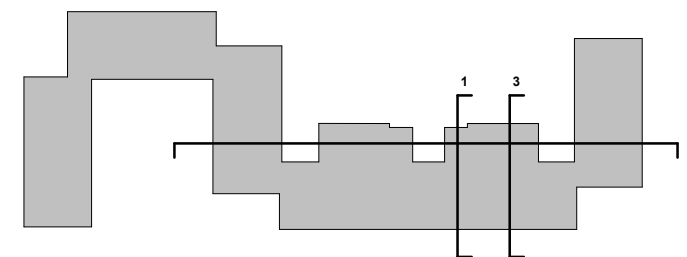
3 BUILDING 25 - BUILDING SECTION C  
A28 1/8" = 1'-0"



2 BUILDING 25 - BUILDING SECTION B  
A28 1/8" = 1'-0"

\*NOTE:  
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ELEVATIONS IN FIELD MAY VARY (+/- 1") FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

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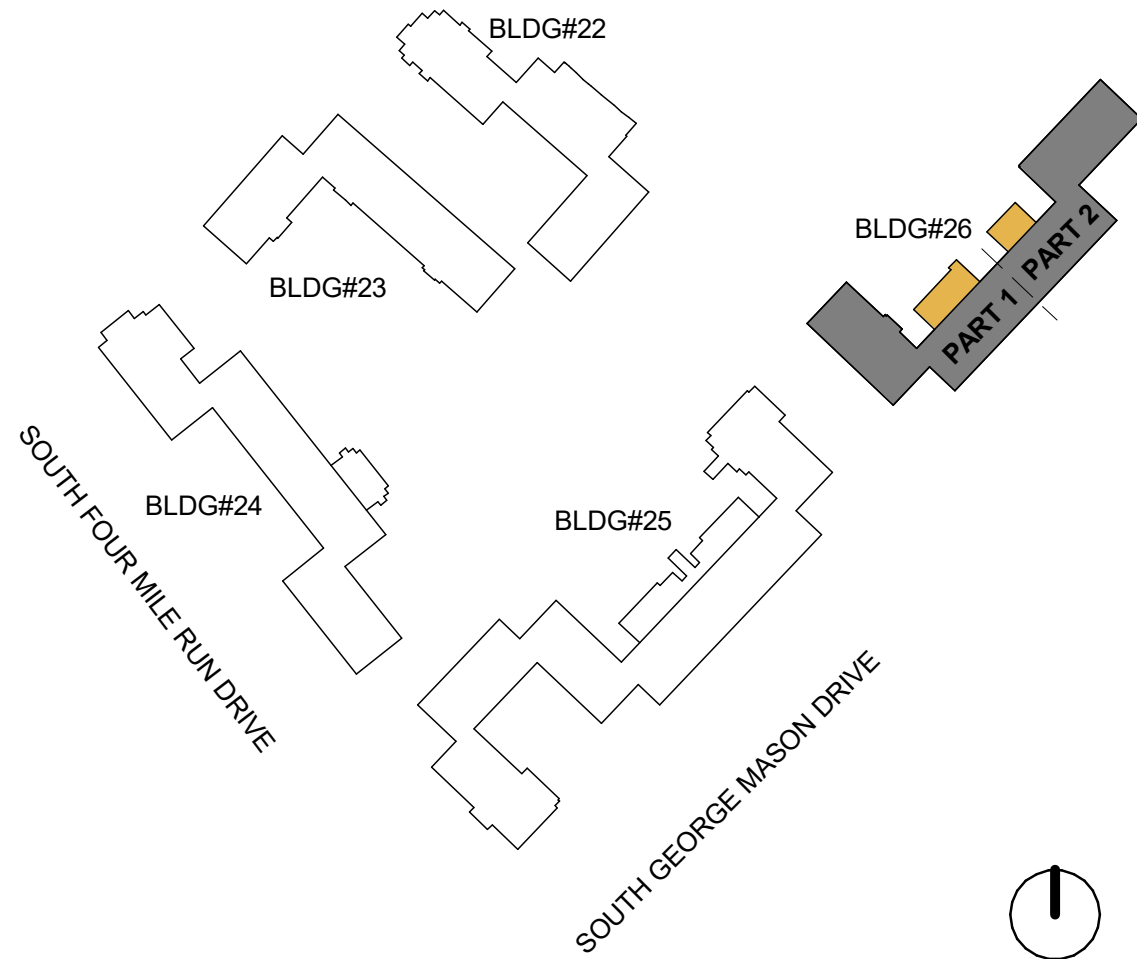
DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 25 - BUILDING SECTION

A28

# BUILDING 26

EXISTING & PROPOSED UNIT MIX			
BUILDING	UNIT TYPE	EXISTING	PROPOSED
26	1BR	—	—
	2BR	18	12
	3BR	—	6
	4BR	—	—
	TOTAL	18	18



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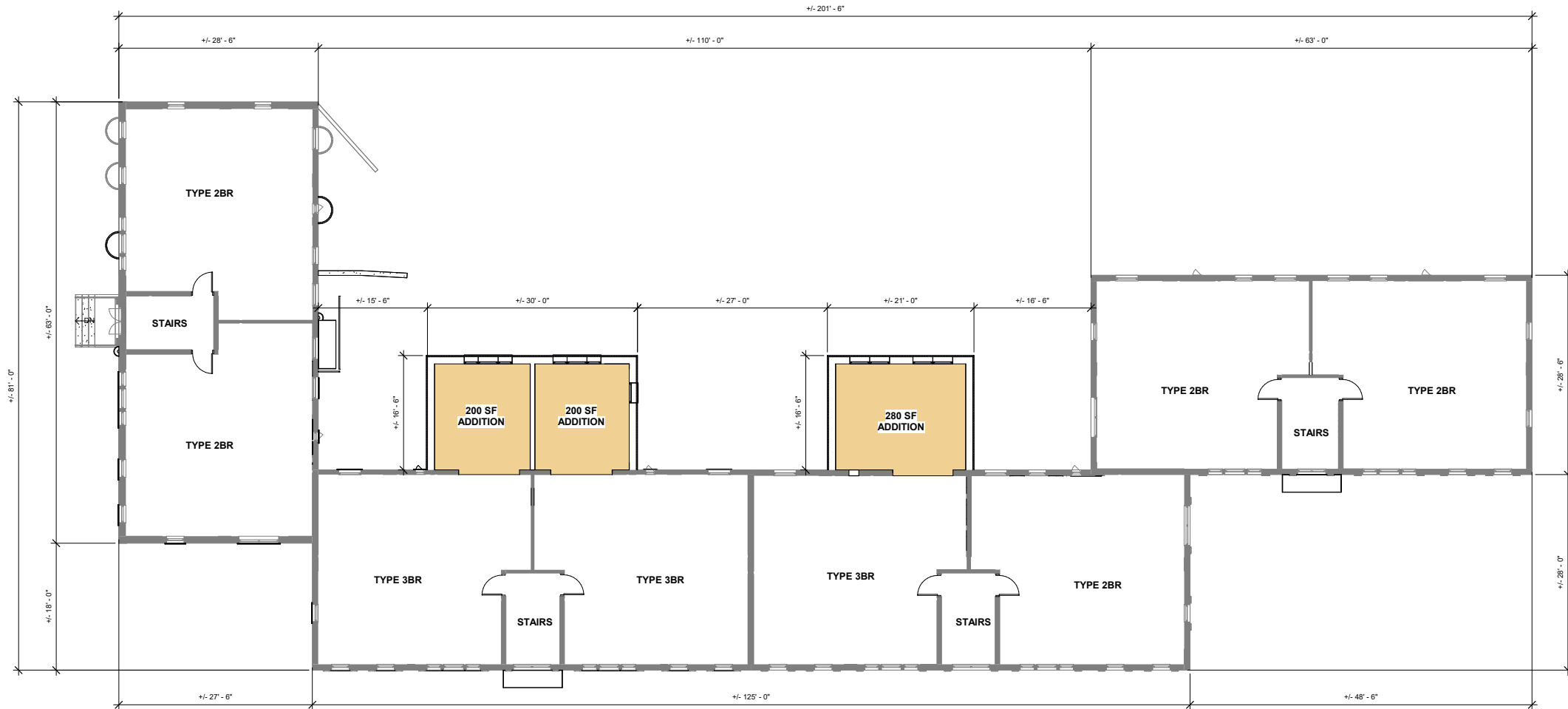
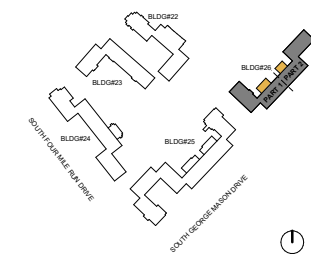
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BARCROFT - PHASE 1  
USE PERMIT  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	USE PERMIT	04/25/23
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DATE:	04/10/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF



1 BLDG 26 - OVERALL PLAN  
A29 1/8" = 1'-0"

BUILDING 26 - TYPICAL PLAN

DRAWING SET  
NOT FOR CONSTRUCTION

A29



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BARCROFT - PHASE 1  
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REVISIONS

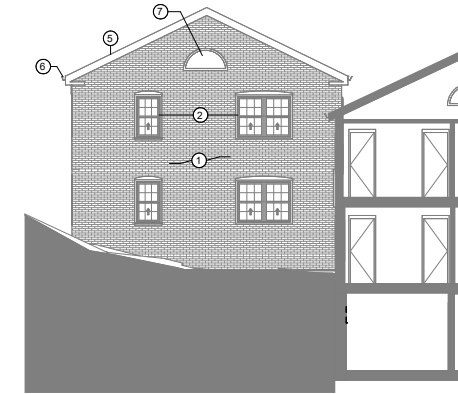
1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/28/23

DATE:	03/01/23
PROJECT NO.:	2022-264
DRAWN BY:	EOP / AL
CHECKED BY:	MF

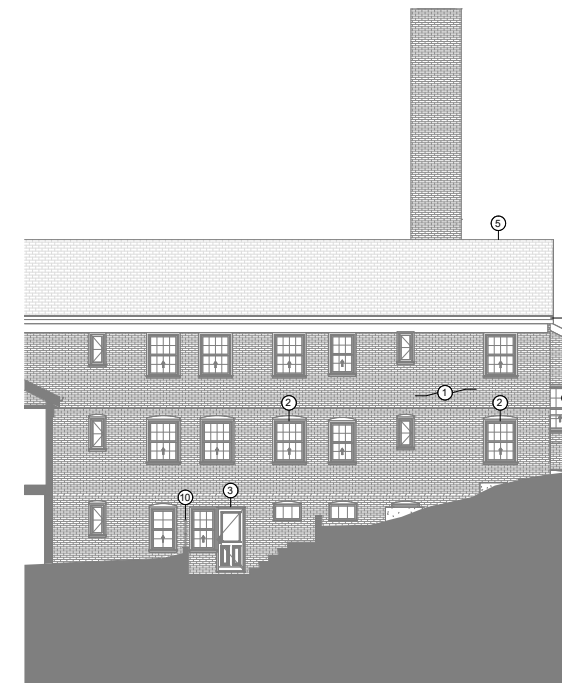
BUILDING 26 - ELEVATIONS - DEMOLITION

DRAWING SET  
NOT FOR CONSTRUCTION

SA-19



3 BLDG 26 - ELEVATION E - DEMO  
AD0217 1/8" = 1'-0"



2 BLDG 26 - ELEVATION D - DEMO  
AD0217 1/8" = 1'-0"



1 BLDG 26 - ELEVATION C - DEMO  
AD0217 1/8" = 1'-0"

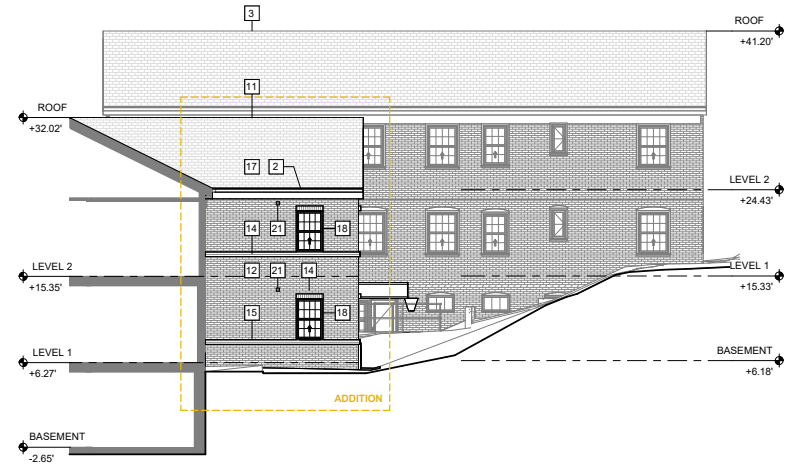
**GENERAL DEMOLITION ELEVATION NOTES**

1. REPOINT DETERIORATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
2. REMOVE ABANDONED ITEMS AND SALVAGE REMOVED BRICKS FOR REUSE;
3. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
4. GENTLY CLEAN AND WASH ALL EXISTING BRICK AND CONCRETE FACADES WITH LOW-TO-MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PSI OR BELOW) AND PROGRESS AS NEEDED TO SLIGHTLY HIGHER PRESSURE NOT TO EXCEED 300-400PSI. ALL EXTERIOR CLEANING TO BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE TO ADHERE TO THE SECRETARY OF THE INTERIORS STANDARDS AND NPS PRESERVATION BRIEF#4; ASSESSING CLEANING AND WATER-REPELLANT TREATMENTS FOR HISTORIC MASONRY BUILDINGS.
5. ALL WINDOWS OLDER THAN 25 YEARS MUST BE REMOVED;
6. PREPARE EXISTING RAILING TO BE PAINTED;
7. CLEAN AND WASH ALL EXISTING WINDOW WELLS. REFER TO NOTE #4;

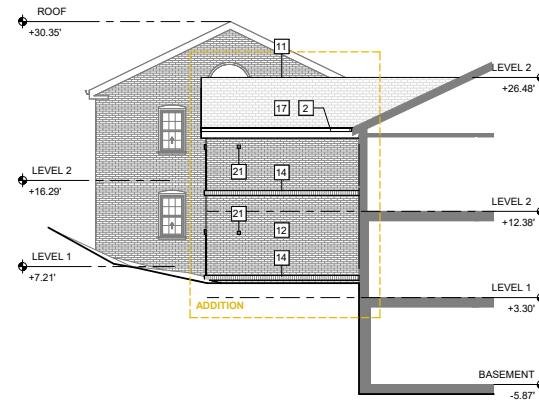
**KEYED DEMOLITION ELEVATION NOTES**

- 1 EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP.
- 2 EXISTING WINDOWS TO REMAIN, TYP.
- 3 ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP.
- 4 REMOVE ALL EXISTING EXTERIOR HVAC EQUIPMENT, TYP.
- 5 REMOVE EXISTING DAMAGED ROOF SLATE TILES AND ASSOCIATED UNDERLAYMENT AND FLASHING WHERE NECESSARY, TYP.
- 6 REMOVE EXISTING GUTTER AND DOWNSPOUT, TYP.
- 7 EXISTING ATTIC VENTS TO REMAIN, TYP.
- 8 EXISTING EXTERIOR LIGHT FIXTURES TO BE REMOVED, TYP.
- 9 EXISTING ENTRANCE TRIM TO REMAIN, PREPARE FOR CONSTRUCTION OF CANOPY;
- 10 EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;
- 11 EXISTING SHUTTERS TO REMAIN, REPAIR AS NECESSARY. PREPARE TO RECEIVE NEW PAINT, TYP.
- 12 EXISTING RAILING TO BE DEMOLISHED;
- 13 REMOVE EXISTING WINDOWS;

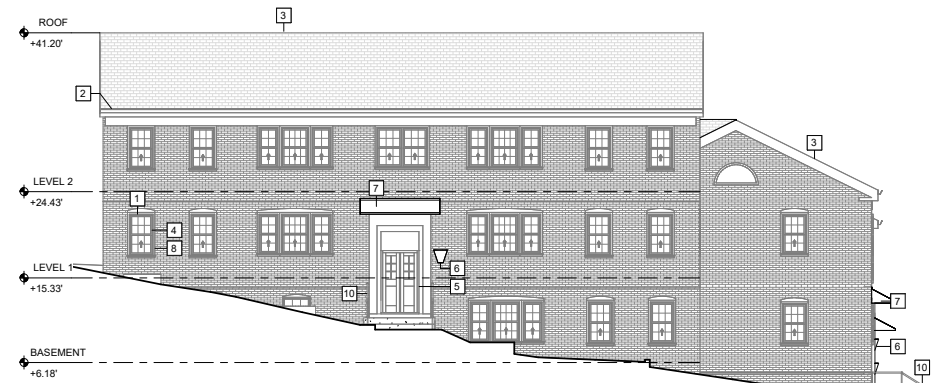




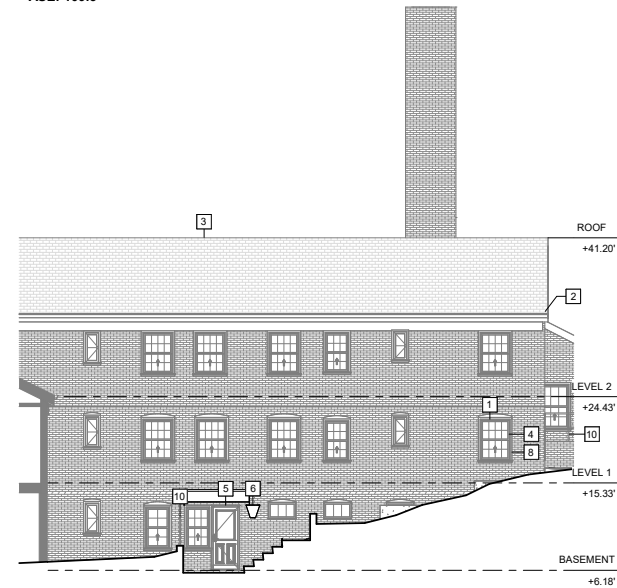
3 BLDG 26 - ELEVATION E  
A36 1/8" = 1'-0"  
ASE: 109.5'



4 BLDG 26 - ELEVATION F  
A36 1/8" = 1'-0"  
ASE: 109.5'



1 BLDG 26 - ELEVATION C  
A36 1/8" = 1'-0"  
ASE: 109.5'



2 BLDG 26 - ELEVATION D  
A36 1/8" = 1'-0"  
ASE: 109.5'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS, POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**\*NOTE:**  
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
ELEVATIONS IN FIELD MAY VARY (+/- 1") FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

**KEYED NEW WORK ELEVATION NOTES**

- |  |   |
|--|---|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTERN, SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD.</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;</li> <li>10. PAINT EXISTING RAILING;</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS.</li> </ol> |
|--|---|

**\*NOTE:**  
ALL ELEMENTS RELATED TO NEW BASEMENT ACCESS (CONCRETE WALLS, RAILINGS, STAIRS, ETC) WILL BE DELETED FROM THE PROJECT. PLANS, ELEVATIONS AND SECTIONS WILL BE UPDATED FOR THE FINAL SUBMISSION.

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ARLINGTON, VA 22207  
(703) 553 55 93

BARCROFT - PHASE 1  
USE PERMIT  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/28/23

DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 26 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A36



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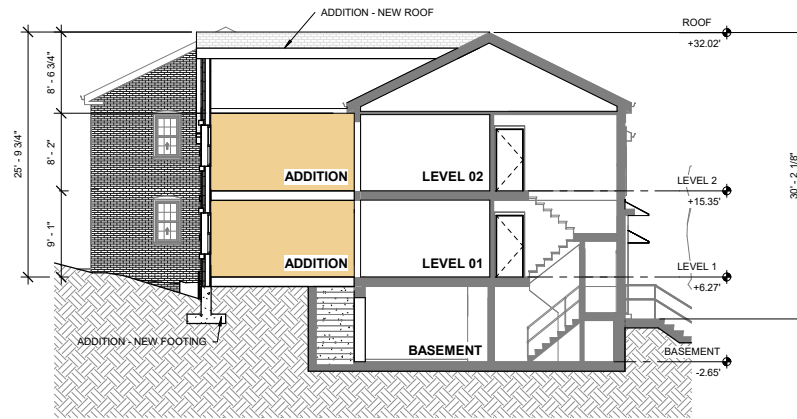
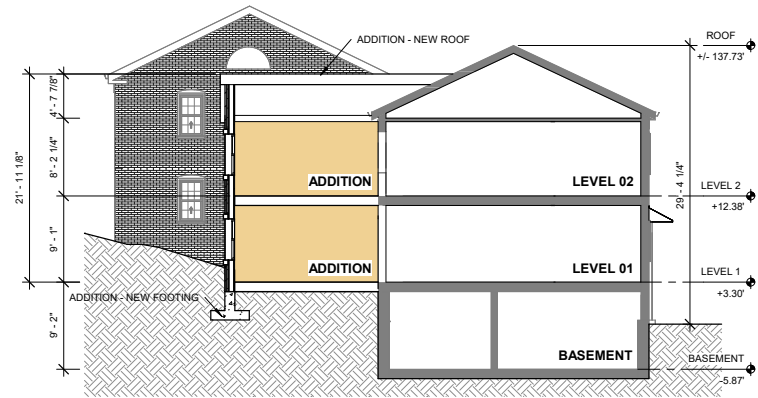
ARCHITECT  
SILMAN & ASSOCIATES  
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WASHINGTON, DC 20007  
(202) 534 6200

ENGINEER  
SUMMIT ENGINEERS  
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ARLINGTON, VA 22207  
(703) 553 55 99

REVISIONS  
1 DD SUBMISSION 04/28/23  
2 USE PERMIT 04/25/23

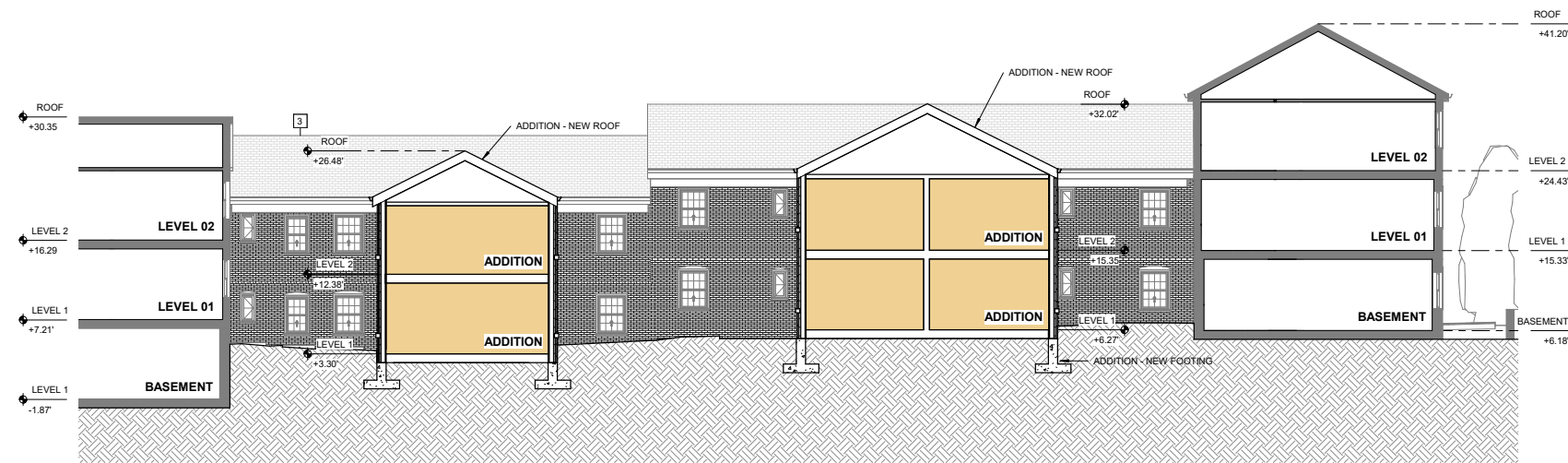
DATE: 04/04/23  
PROJECT NO: 2022-054  
DRAWN BY: EOP/JAL  
CHECKED BY: MF

BARCROFT - PHASE 1  
USE PERMIT  
ARLINGTON COUNTY, VIRGINIA

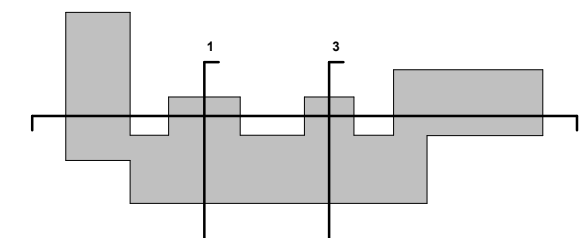


1 BUILDING 26 - BUILDING SECTION A  
A37 1/8" = 1'-0"

3 BUILDING 26 - BUILDING SECTION C  
A37 1/8" = 1'-0"



2 BUILDING 26 - BUILDING SECTION B  
A37 1/8" = 1'-0"



**\*NOTE:**  
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ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 26 - BUILDING SECTION

A37

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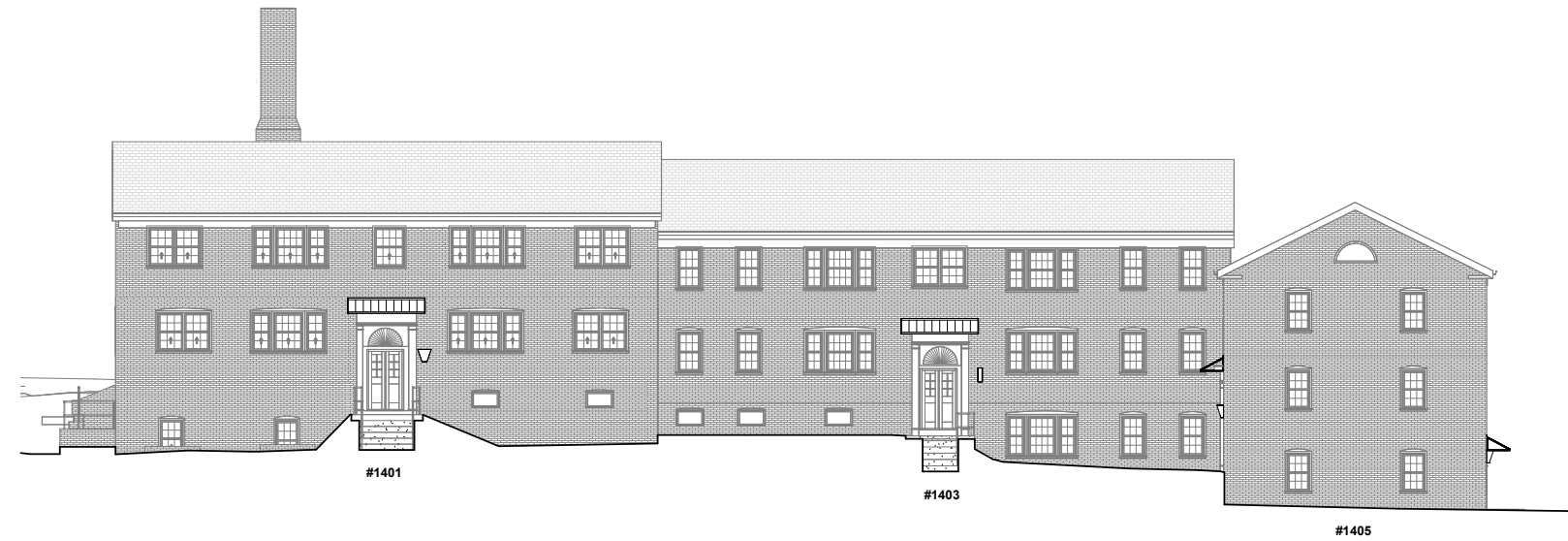
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SUMMIT ENGINEERS  
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ARLINGTON, VA 22207  
(703) 553 55 93

BARCROFT - PHASE 1  
USE PERMIT  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

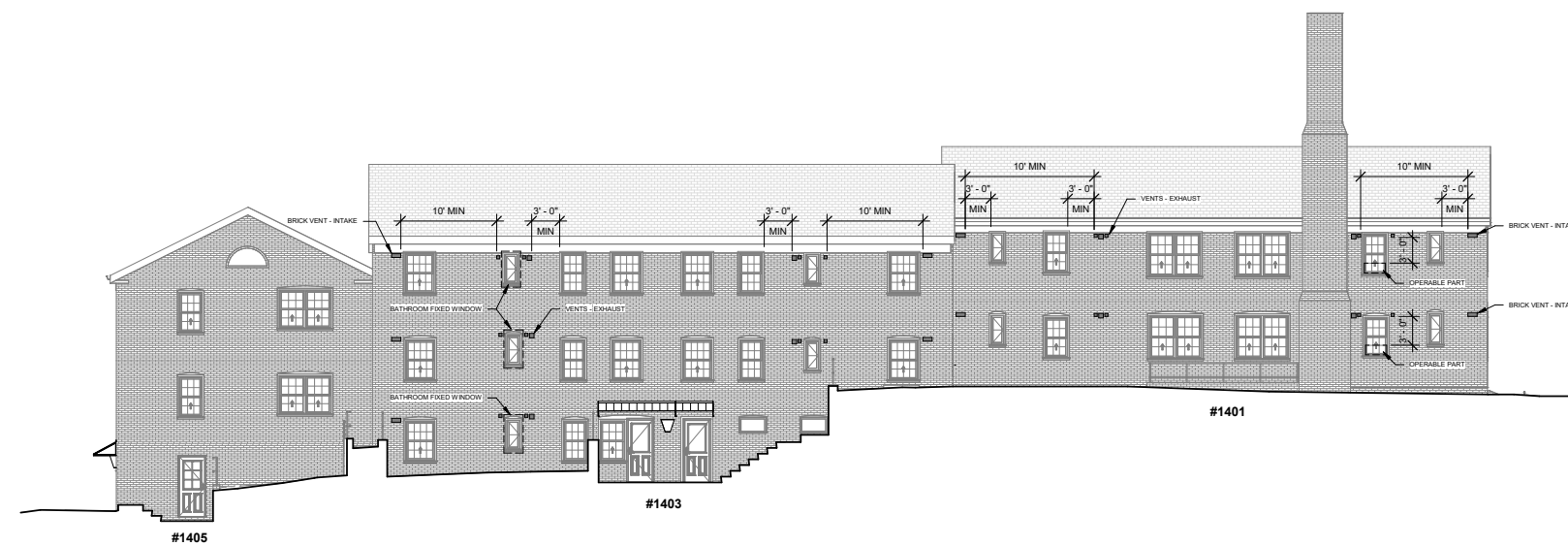
1 USE PERMIT 04/25/23

DATE: 04/04/23  
PROJECT NO: 2022-254  
DRAWN BY: EOP / AL  
CHECKED BY: MF



1  
A38 TYPICAL PENETRATIONS - FRONT FACADE  
1/8" = 1'-0"

\*ALL PENETRATIONS AT ADDRESSES #1401, #1403, #1405, #1407, #1409, #1411, #4409, #4407, #4405, #4403, #1418, #1416, #1414, #1408, #1406, AND #1400 TO BE LOCATED SOLELY ON BACK FACADE.



2  
A38 TYPICAL PENETRATIONS - BACK FACADE  
1/8" = 1'-0"

\*ALL PENETRATIONS AT ADDRESSES #1401, #1403, #1405, #1407, #1409, #1411, #4409, #4407, #4405, #4403, #1418, #1416, #1414, #1408, #1406, AND #1400 TO BE LOCATED ON BACK FACADE.  
\*SIZES AND LOCATIONS SHOWN FOR REFERENCE ONLY.  
\*ACTUAL SIZES AND LOCATIONS TO BE CONFIRMED AT A LATER TIME.  
\*IMPACT ON WINDOW OPERABLE PARTS TO BE CONFIRMED DEPENDING ON FINAL LOCATION AND SIZING.

TYPICAL PENETRATIONS  
LOCATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A38

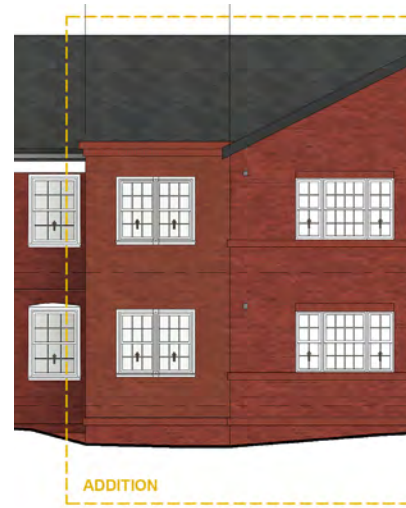
# DESIGN CHANGES AND OPTIONS SUMMARY

/ MATERIALS

**2 BRICK COLOR**



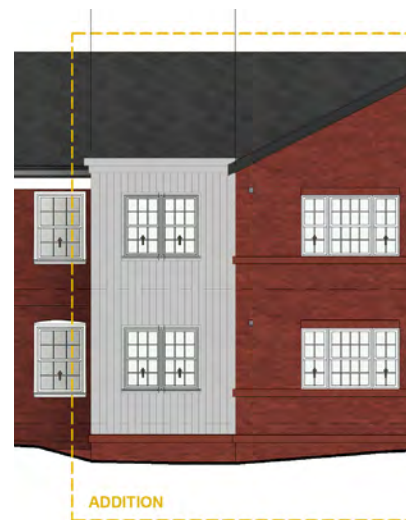
**1 BRICK COLOR**



**HORIZONTAL SIDING**



**VERTICAL SIDING**



/ MISCELLANEOUS

**MODIFICATIONS**

- ATTIC VENTS HAVE BEEN REDUCED IN SIZE
- BRICK LINTELS AND BELTS TO MATCH TYPICAL BRICK COLOR

/ WINDOW PATTERNS

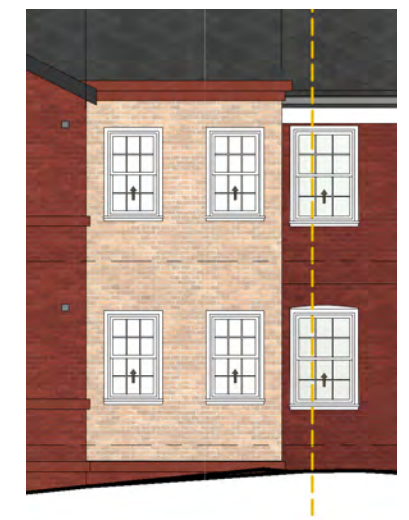
**OPTION 1**



**OPTION 2**



**OPTION 3**



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MAY 10, 2023

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**BARCROFT APARTMENTS - SECTION 3 - PHASE 1**

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# ADDITIONS STUDY



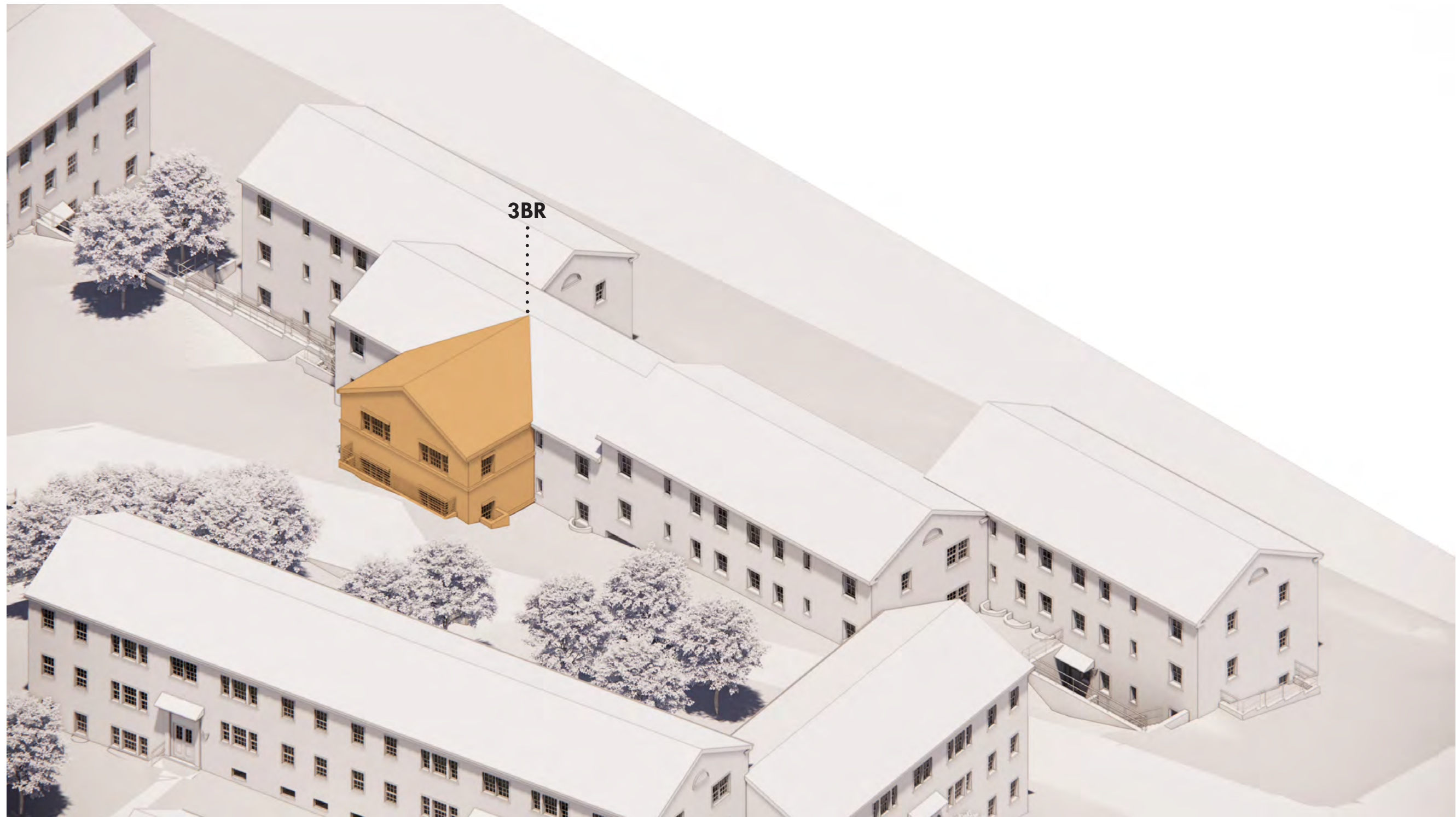
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BUILDING 24



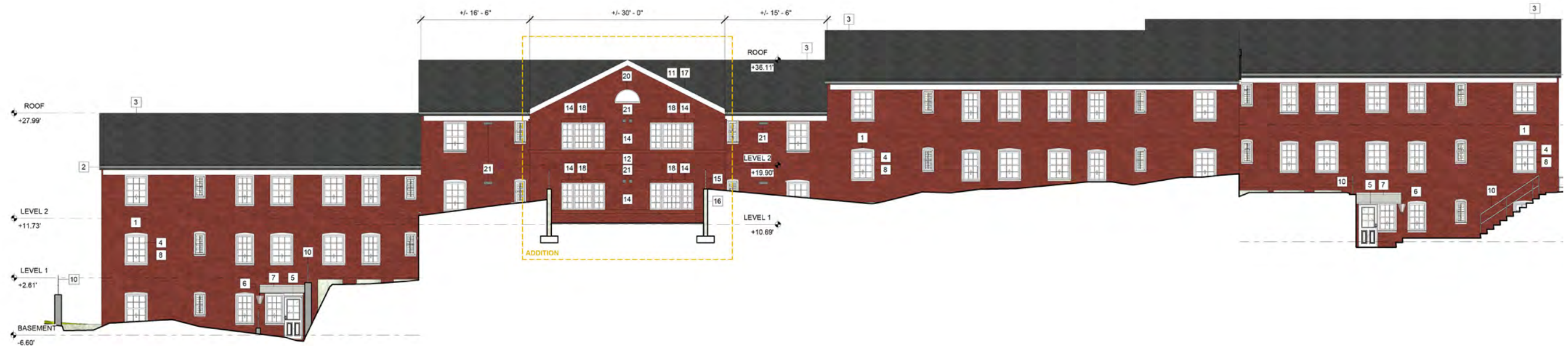
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1 BLDG 24 - ELEVATION B

ASE: 112.31'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
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3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS. POWDER COAT, GALVANIZE OR PROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
6. BRICK REPAIR FOLLOWING REMOVAL OF PTAC/HVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**KEYED NEW WORK ELEVATION NOTES**

- |   |   |
|---|---|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP;</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN. CLEAN AS NECESSARY TYP;</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC. ) TYP;</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTER. SEE SCHEDULE FOR MORE INFORMATION, TYP;</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD;</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;</li> <li>10. PAINT EXISTING RAILING;</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK Moulding, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;</li> </ol> |
|---|---|

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BUILDING 25



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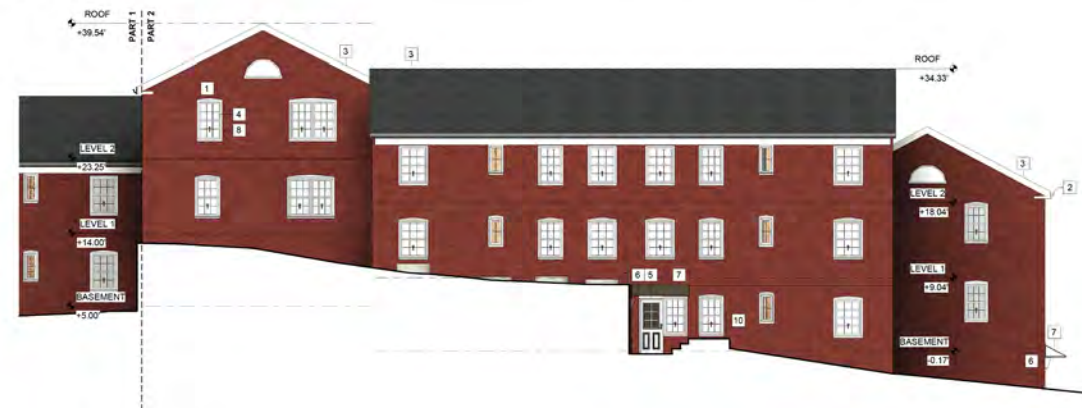
BARCROFT APARTMENTS - SECTION 3 - PHASE 1

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1 BLDG 25 - ELEVATION B - 1

ASE: 109.5'



2 BLDG 25 - ELEVATION B - 2

ASE: 109.5'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING.
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**KEYED NEW WORK ELEVATION NOTES**

- |   |   |
|---|---|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED.</li> <li>2. REPLACE IN-KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY.</li> <li>4. EXISTING WINDOWS TO REMAIN. CLEAN AS NECESSARY, TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTERN; SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD.</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS.</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY.</li> <li>10. PAINT EXISTING RAILING.</li> <li>11. NEW ADDITION. INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES.</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR.</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD.</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD.</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK).</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD.</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING.</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD.</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE.</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD.</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD. SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS.</li> </ol> |
|---|---|

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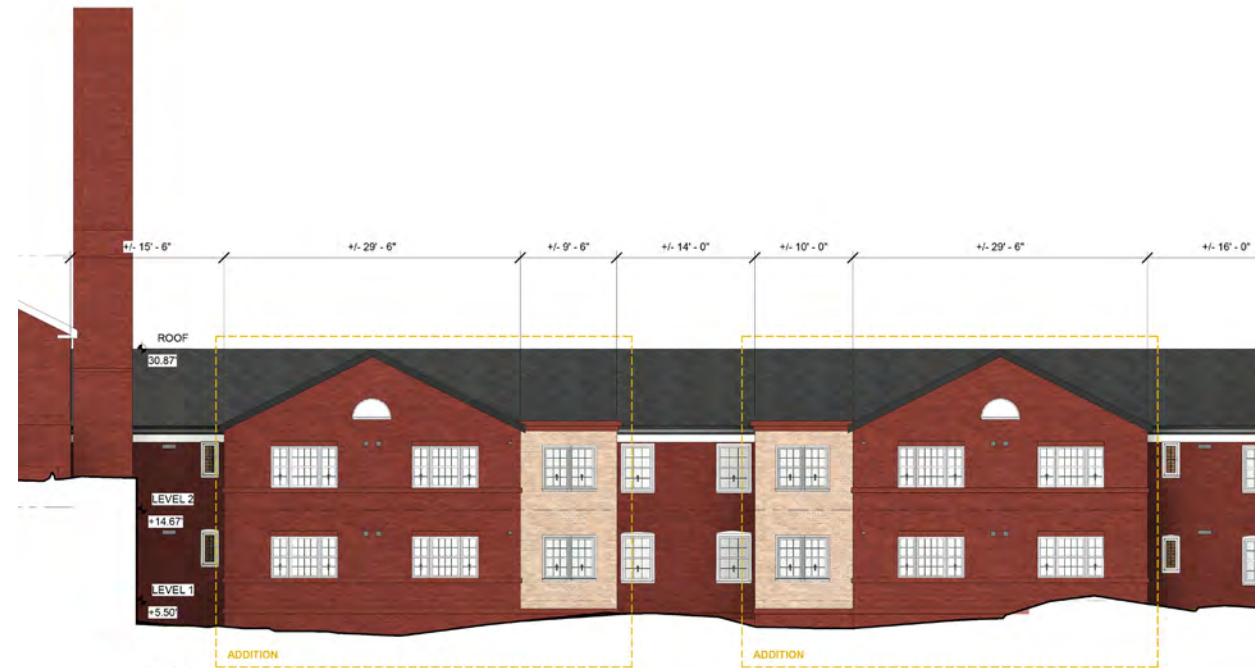
BARCROFT APARTMENTS - SECTION 3 - PHASE 1

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MATERIAL STUDY

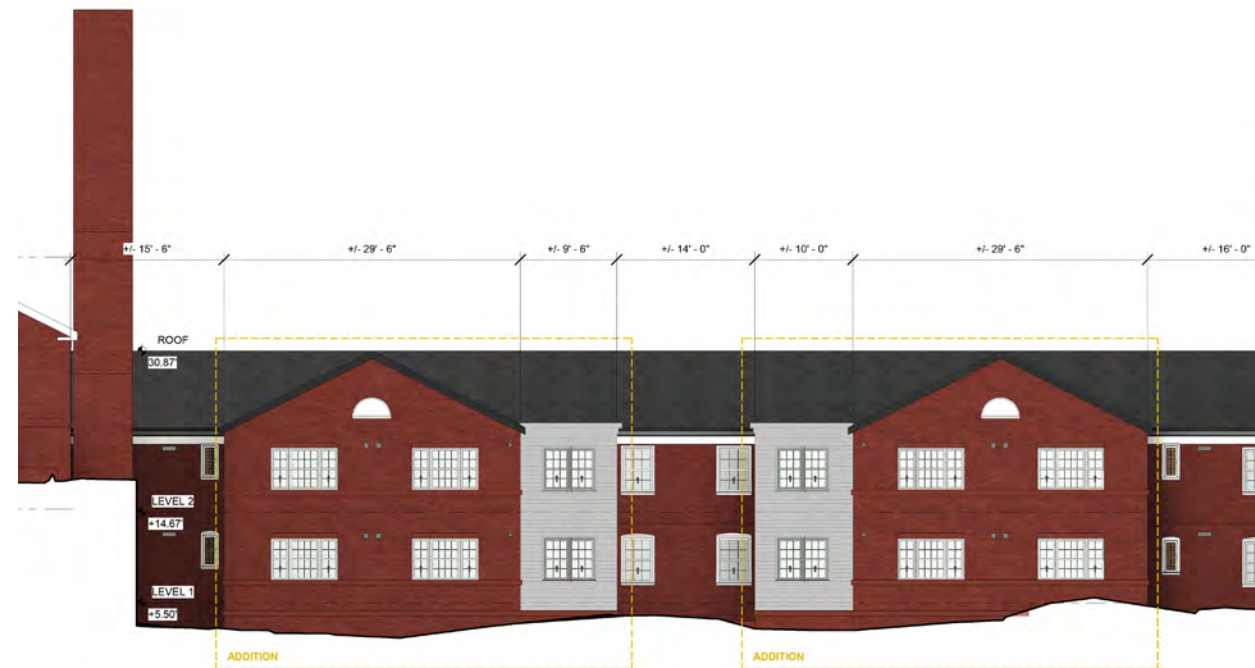
OPTION 1 - 2 BRICK COLORS



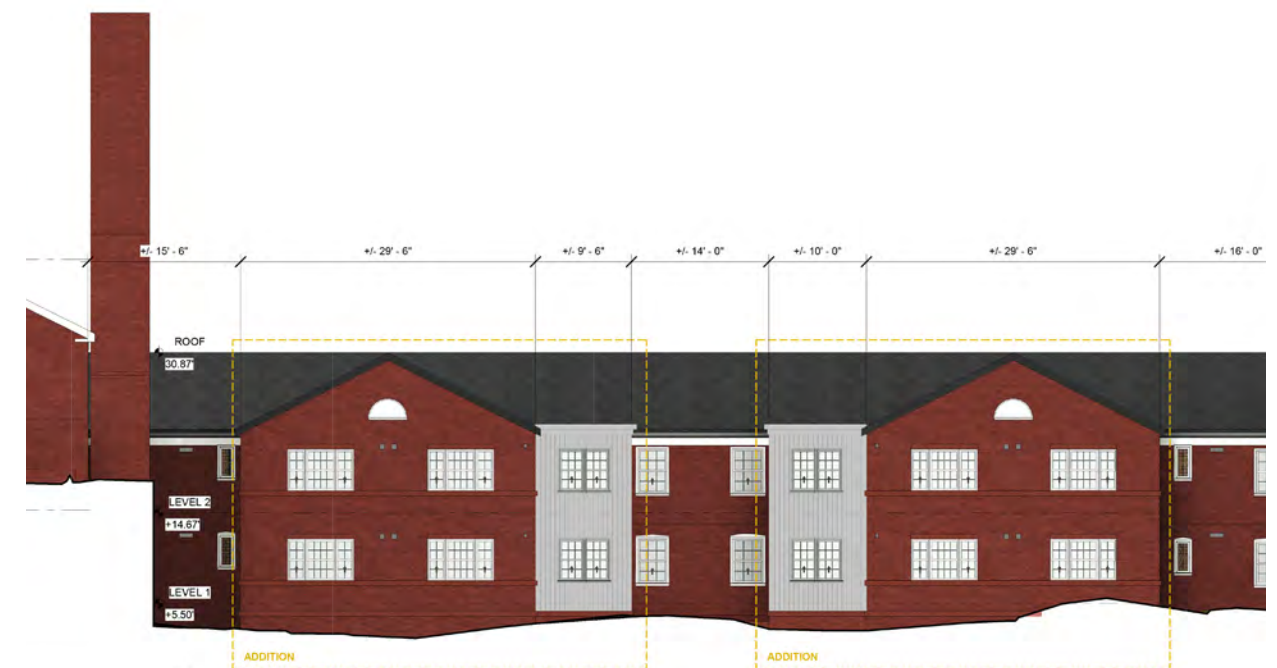
OPTION 2 - 1 BRICK COLOR



OPTION 3 - HORIZONTAL WOOD SIDING



OPTION 4 - VERTICAL WOOD SIDING



Jair Lynch

MAY 10, 2023

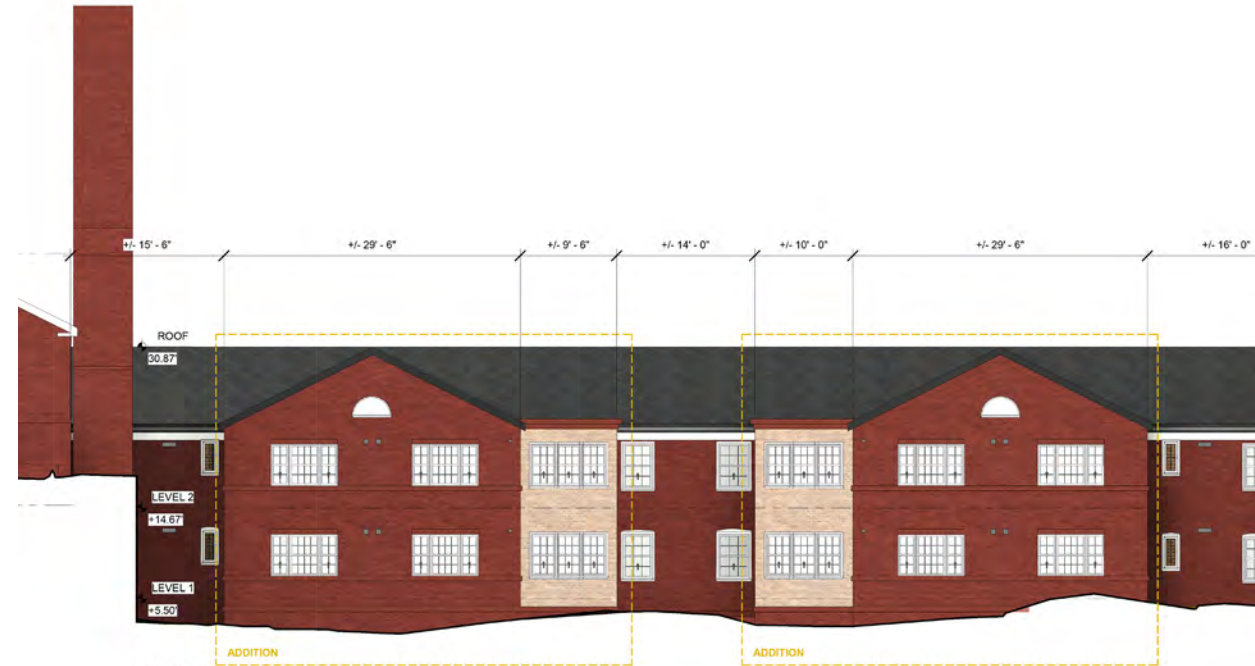
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BARCROFT APARTMENTS - SECTION 3 - PHASE 1

Bonstra Haresign ARCHITECTS

WINDOW STUDY

OPTION 1 - 3 GANG WINDOWS



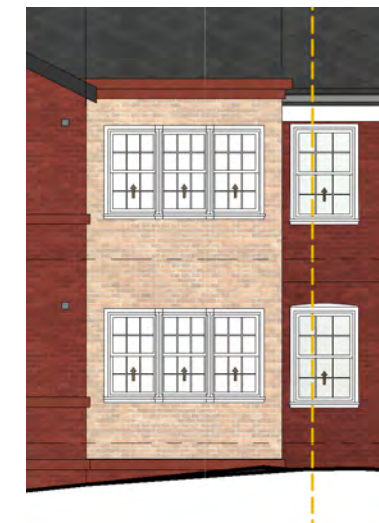
OPTION 2 - CENTERED WINDOWS



OPTION 3 - 2 PUNCHED WINDOWS



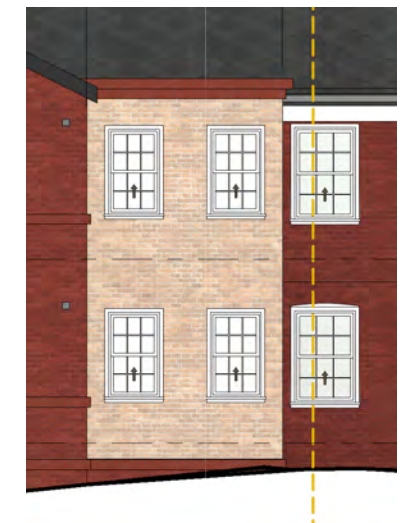
OPTION 1



OPTION 2



OPTION 3



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BARCROFT APARTMENTS - SECTION 3 - PHASE 1

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BUILDING 26



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BARCROFT APARTMENTS - SECTION 3 - PHASE 1

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1 BLDG 26 - ELEVATION B

ASE: 109.5'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
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**KEYED NEW WORK ELEVATION NOTES**

- |   |   |
|---|---|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN. CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC. ) TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTER. SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD;</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;</li> <li>10. PAINT EXISTING RAILING;</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES.</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;</li> </ol> |
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**Jair Lynch**

MAY 10, 2023

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**BARCROFT APARTMENTS - SECTION 3 - PHASE 1**

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