



# BARCROFT APARTMENTS PHASE I REHABILITATION

**INCLUDING ALTERATIONS AND ADDITIONS** 

# **SECTION 3 BUILDINGS 22-26**

1130 S GEORGE MASON DR. ARLINGTON, VA 22204

HALRB SUBMISSION

MAY 10, 2023

#### OWNER/CLIENT

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#### **CIVIL ENGINEER**

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#### HISTORIC PRESERVATION

EHT TRACERIES, INC. 440 Massachusetts Avenue Washington, DC 20001

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BARCROFT PHASE I REHABILITATION SITE AERIAL





BARCROFT PHASE I REHABILITATION DEVELOPMENT HISTORY



BARCROFT PHASE I REHABILITATION DEVELOPMENT HISTORY

### **Barcroft Apartments Historic Background**

- Site includes 59 garden-style apartment buildings, 10 detached garages, 2 bus shelters, and a commercial building
- · Constructed during and after WWII to relieve housing shortages in the region
- Developer: Thomas N. DeLashmutt

### Phase 1:

- Constructed: 1941-1945
- Architect: William H. Harris
- Notable features include: brick exterior walls, slate roofs, ornamented entry surrounds







- Developed in two phases between 1941-1951
- Example of mid-twentieth-century garden apartment complex
  - Low-scale buildings arranged in a park-like setting
- · Designed in a simplified Colonial Revival Style

## Phase 2:

- · Constructed: 1947-1951
- Architect: Albert D. Lueders
- · Modified garden apartment style
  - Introduction of larger and longer buildings
  - Inclusion of large parking areas in front of and behind buildings
  - Reduction in landscaped courtyards
  - Passageways through large blocks, cupolas, asphalt roofs, simplified entry surrounds





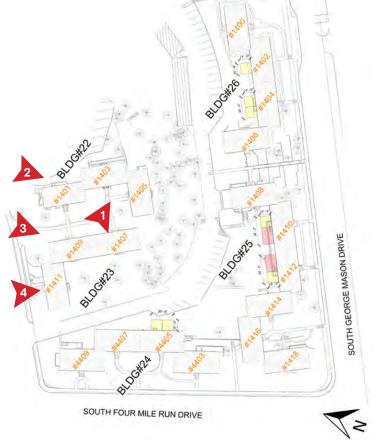










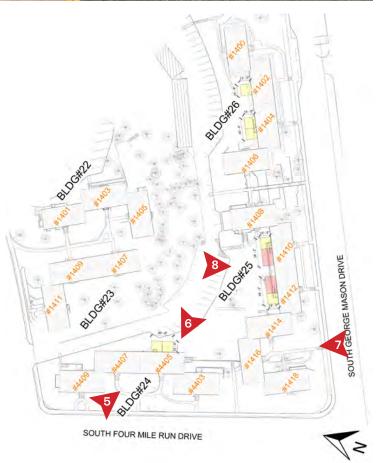










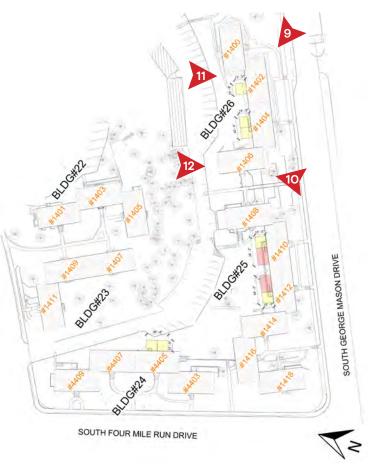












BARCROFT PHASE I REHABILITATION

### Section 3 (Buildings 22-29)

 Proposed project includes Buildings 22–26, located within Section 3 developed as part of Phase 1

· Constructed: 1943-1944

Architect: William H. Harris

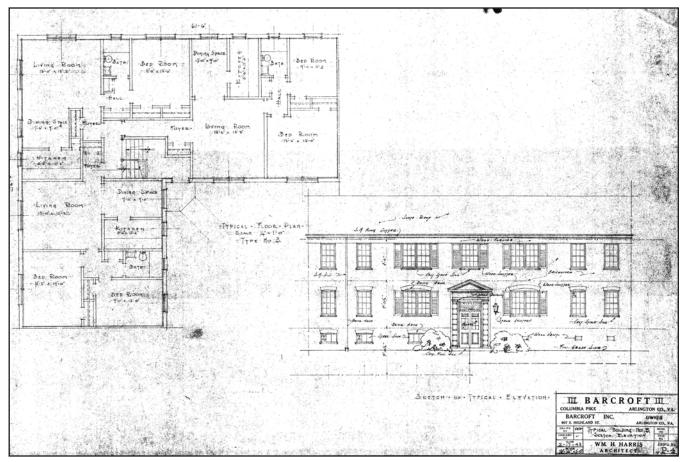
## **Character-Defining Features**

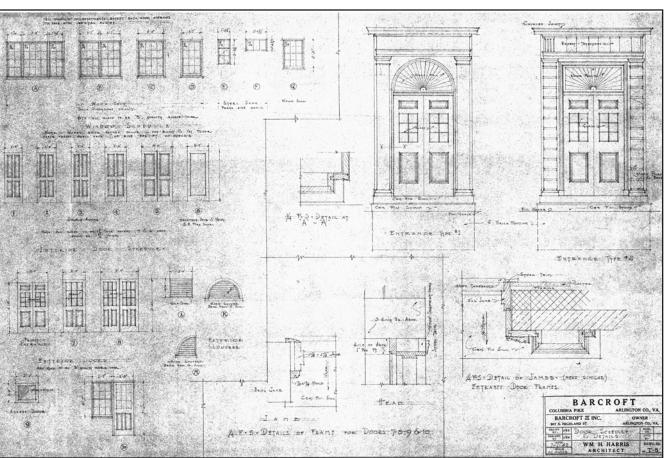
- · Garden-style layout
- Red common bond brick (some painted)
- Wood trim
- Brick blind openings
- Brick row lock arches, cast stone sills
- Wood cornices
- Side-gabled roofs
- Slate roofs

- Chimneys
- Double-leaf entrances
- Grouped and individual entrances
- Wood door surrounds
- Multi-light windows and shutters
- Detached garages on site

### **Past Alterations**

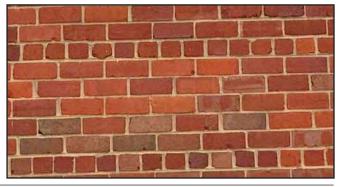
- Replacement of original multi-lite wood-sash doublehung and casement windows with vinyl (matching historic configuration)
- Addition of through-wall mechanical vents
- Replacement of shutters
- · Replacement of front doors
- Replacement of light fixtures











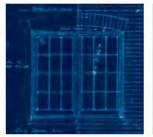
**BARCROFT PHASE I REHABILITATION** HISTORIC SURVEY REPORT DETAILS

# BARCROFT APARTMENTS

Arlington, VA

# **Architectural Survey Summary Report**











# Building 22 1401-1405 \$ Thomas St Section 3

Construction Date 1943-

Architect William H. Harris





Masonry American Bond; Row Lock Arches Over Windows

**Roof Form** Side G **Roof Materials** Slate Side Gable

**Roof Features** 

**Entrances** Double-leaf; Grouped Entrances Type E; Type F

Replacement; Tripartite Hung; Paired Hung; Single Casement; Awning Windows

Decorative Blind openings

**Features** 

**Site Features** Brick Retaining Walls; Chimney Additional Notes AC units through exterior walls

#### **Existing Photographs**













BARCROFT PHASE I REHABILITATION HISTORIC SURVEY REPORT DETAILS

Building 23 1407-1411 S Thomas St Section 3

Construction Date 1943-

**Architect** William H. Harris





Masonry American Bond; Row Lock Arches Over Windows

Side Gable Roof Form Roof Materials Slate

**Roof Features** 

**Entrances** Grouped Entrances; Double-leaf Type F; Type F

Windows Replacement; Tripartite Hung; Paired Hung; Awning

Decorative **Features** 

**Brick Retaining Walls** Site Features

Additional Notes AC units through exterior walls

#### **Existing Photographs**







Building 24 4403-4409 S Four Mile Run Dr

Section 3

Construction Date 1943-

Architect William H. Harris





Masonry American Bond; Row Lock Arches Over Windows

Side Gable **Roof Form** Roof Materials Slate

**Roof Features** 

**Entrances** Double-leaf; Grouped Entrances Type E; Type F

Windows Replacement; Single Casement; Paired Hung; Tripartite Hung; Awning

Vinyl Shutters Decorative **Features** 

**Brick Retaining Walls Site Features** 

Additional Notes AC units through exterior walls

#### **Existing Photographs**







**BARCROFT PHASE I REHABILITATION** HISTORIC SURVEY REPORT DETAILS

Building 25 1410-1418 South George **Mason Drive** Section 3

Construction Date 1943-1944 **Architect** William H. Harris





Masonry American Bond; Row Lock Arches Over Windows

Side Gable **Roof Form Roof Materials** Slate

**Roof Features** 

**Entrances** Grouped Entrances; Double-leaf; Screen/Storm Door **Door Surrounds** Type E; Type F

Windows Replacement; Paired Hung; Single Casement; Tripartite Hung; Awning

**Decorative Features** 

Brick Retaining Walls; Chimney Site Features Additional Notes AC units through exterior walls

#### **Existing Photographs**













Building 26 1400-1406 South George **Mason Drive** Section 3

Construction Date 1943-1944 Architect William H. Harris





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Masonry American Bond; Row Lock Arches Over Windows

Side Gable **Roof Form** Roof Materials Slate

**Roof Features** 

**Entrances** Grouped Entrances; Double-leaf Type E; Type F

Windows Replacement; Tripartite Hung; Paired Hung; Single Casement; Awning

Decorative Vinyl Shutters **Features** 

**Brick Retaining Walls Site Features** 

Additional Notes AC units through exterior walls

#### **Existing Photographs**







BARCROFT PHASE I REHABILITATION DESCRIPTION OF WORK

### Scope of Work

The proposed project involves the rehabilitation of five existing buildings (Buildings 22, 23, 24, 25, and 26) located within Barcroft Section 3. The buildings will be rehabilitated consistent with the Arlington County Conservation Area Standards, which are based upon the Secretary of the Interior's Standards for Rehabilitation. The project must also adhere to the Virginia Housing Minimum Design and Construction Requirements (MDCR).

The project scope of work includes:

- Repair of exterior masonry (including brick and cast stone); Repoint deteriorated mortar where necessary matching the existing size, shape, color, and texture
- · Removal of non-historic attachments and light fixtures
- Gently clean and wash all existing brick and concrete facades with low- to medium-pressure adhering to the Secretary of the Interior's Standards and "NPS Preservation Brief #1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings"
- Removal and replacement of steel-sash basement windows matching the original configuration. All new windows proposed to be vinyl to match existing adjacent windows\*
- Removal and replacement of existing mechanical systems
- · Removal of existing through-wall mechanical system openings and patch brick to match existing
- · Replacement of non-original light fixtures with new compatible fixtures
- Replacement of gutters and downspouts in-kind
- Repair of slate roofs
- Repair and paint existing metal railings
- Repair and paint existing non-original shutters
- Repair and paint corroded metal lintels
- Construction of small and subordinate rear additions on Buildings 24, 25, and 26 compatible with the historic buildings
- Addition of new paved courtyard adjacent to Building 22
- Addition of new entry canopy above entrances to meet Virginia Housing MCDRs\*
- Addition of vinyl or aluminum cladding on existing wood trim per Virginia Housing MDCRs\*
- Addition of new penetrations on rear elevations for bathroom exhaust, dryer, and HVAC vents\*
- \* Conservation Area standard modification necessary in order to meet MDCR requirements.







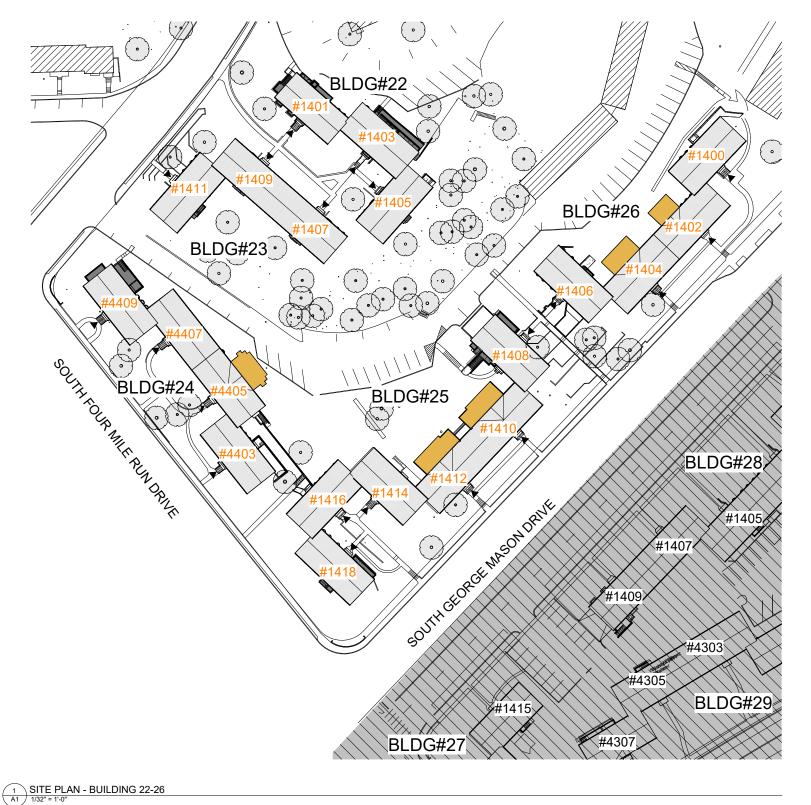








**BARCROFT PHASE I REHABILITATION** PROPOSED SITE PLAN AND UNIT MIX



E	EXISTING & PROPOSED UNIT MIX				
BUILDING	UNIT TYPE	EXISTING	PROPOSED		
	1BR	4	4		
	2BR	10	10		
22	3BR	_	_		
	4BR	_	_		
	TOTAL	14	14		
	1BR	_	_		
	2BR	15	15		
23	3BR	_	_		
	4BR	_	_		
	TOTAL	15	15		
	1BR	_	_		
	2BR	18	14		
24	3BR	_	4		
	4BR	_	_		
	TOTAL	18	18		
	1BR	_	_		
	2BR	28	20		
25	3BR	_	4		
	4BR	_	4		
	TOTAL	28	28		
	1BR	_	_		
	2BR	18	12		
26	3BR	_	6		
	4BR	_	_		
	TOTAL	18	18		
TOTAL (B	TOTAL (BLDGS 22-26) 93 93				

UNIT TYPE TOTALS (SUMMARY)		
	1BR	4
22-26	2BR	71
	3BR	14
	4BR	4
	TOTAL	93

PROPO	PROPOSED NEW UNIT SQUARE FOOTAGES			
BUILDING	UNIT TYPE	TYPICAL SQUARE FOOTAGE		
22	3BR	_		
22	4BR	_		
23	3BR	_		
23	4BR	-		
24	3BR	966 SF		
24	4BR	_		
25	3BR	978 SF		
25	4BR	1104 SF		
26	3BR	978 SF		
26	4BR	-		

E	XISTING & PROI	POSED UNIT M	1IX
BUILDING	UNIT TYPE	EXISTING	PROPOSED
	1BR	4	4
	2BR	10	10
22	3BR	_	_
	4BR	_	_
	TOTAL	14	14
	1BR	_	_
	2BR	15	15
23	3BR	_	_
	4BR	_	_
	TOTAL	15	15
	1BR	_	_
	2BR	18	14
24	3BR	_	4
	4BR	_	_
	TOTAL	18	18
	1BR	_	_
	2BR	28	20
25	3BR	_	4
	4BR	_	4
	TOTAL	28	28
	1BR	_	_
	2BR	18	12
26	3BR	_	6
	4BR	_	_

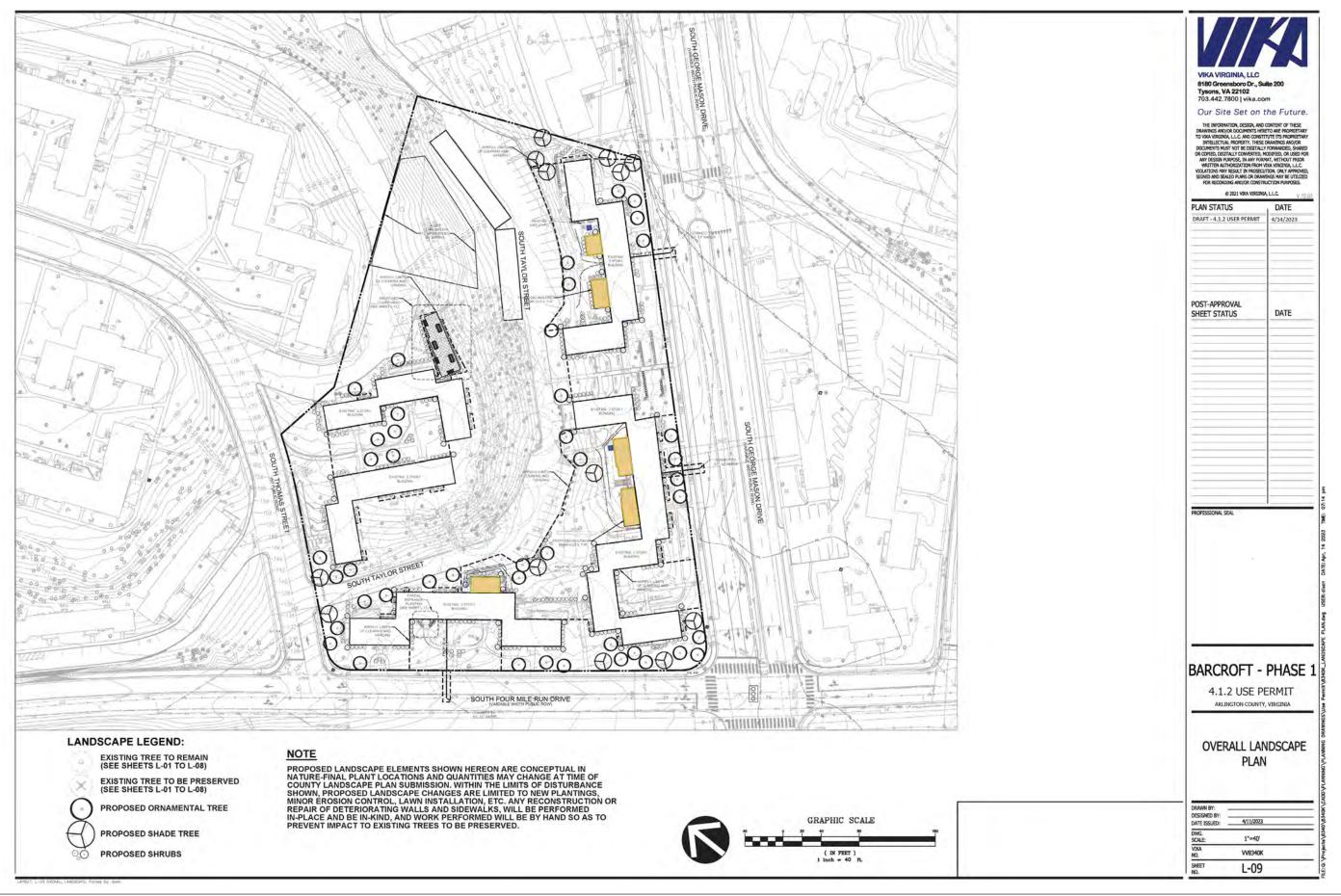
JAIR LYNCH REAL ESTATE PARTNERS VIKA VIRGINIA, LLC SILMAN & ASSOCIATES 1053 31ST STREET NW WASHINGTON, DC 20007 (202) 336 6230 SUMMIT ENGINEERS BARCORFT - PHASE 1 USE PERMIT ARLINGTON COUNTY, VIRGINIA SITE PLAN AND TABULATIONS DRAWING SET NOT FOR CONSTRUCTION

A1

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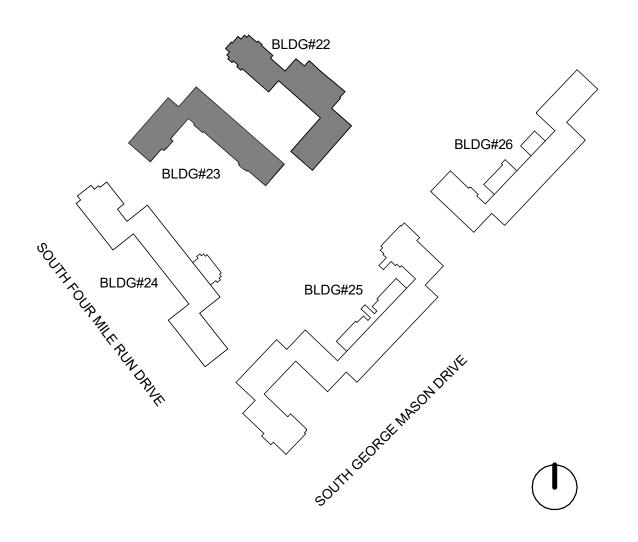
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BARCROFT PHASE I REHABILITATION PROPOSED LANDSCAPE PLAN



BARCROFT PHASE I REHABILITATION BUILDINGS 22 AND 23

# **BUILDINGS 22 - 23**



EXISTING & PROPOSED UNIT MIX				
BUILDING	UNIT TYPE	EXISTING	PROPOSED	
	1BR	4	4	
	2BR	10	10	
22	3BR	_	_	
	4BR	_	_	
	TOTAL	14	14	
	1BR	_	_	
	2BR	15	15	
23	3BR	_	_	
	4BR	_	_	
	TOTAL	15	15	





Building 22

Building 23

**BUILDING 22 - DEMOLITION ELEVATIONS BARCROFT PHASE I REHABILITATION** 







BLDG 22 - ELEVATION B - DEMO

#### **GENERAL DEMOLITION ELEVATION NOTES**

- REPOINT DETERORIATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;

- 1. REPOINT DETERORATED MORTAR TO MATCH DISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
  2. REMOVE DAMAGED WINDOW SHATTERS, TYP.
  3. REMOVE DAMAGED WINDOW SHATTERS, TYP.
  4. GENTLY CLEAN AND WASH ALL EXISTING SHOCK AND CONCRETE FACAGES WITH LOW-TO-MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PS)
  OR BELON) MOD PROGRESS AS NEEDED TO SLIGHTLY HOHER PRESSURE NOT TO EXCEED 300-400PSI. ALL EXTERIOR CLEANING TO BE UNDERTAKEN USING
  THE CENTLESS MEANS POSSIBLE TO ADHERE TO THE SECRETARY OF THE INTERDIR'S STANDARDS AND NPS PRESERVATION BRIEFS!. ASSESSING
  CLEANING AND WATER-REPELLANT TREATMENTS OF INSTORM ASOMRY BUILDINGS.
  5. ALL WINDOWS CLEET THAN 25 YEARS MUST SEE REMOVED;
  6. PREPARE EXSTING RAILING TO PE AIMTED;
  7. CLEAN AND WASH ALL EXISTING WINDOW WELLS, REFER TO NOTE #4;

#### **KEYED DEMOLITION ELEVATION NOTES**

- EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP;

  EXISTING WINDOWS TO REMAIN, TYP;

  ALL EXISTING BUILDING EXTERIOR ENVIRT DOORS TO REMAIN, REPAIR AS NECESSARY, TYP;

  BERMOVE EXISTING BUILDING EXTERIOR HAVE COUPLINENT, TYP.

  PREMOVE EXISTING BUILDING DOOF SLATE TLES AND ASSOCIATED UNDERLAYMENT AND FLASHING WHERE NECESSARY, TYP;

  BERMOVE EXISTING GUTTER AND DOWNSPOUT, TYP;

  EXISTING SETTERS OUT DOWNSPOUT, TYP;

  EXISTING SETTERS OUT DOWNSPOUT, TYP;

  EXISTING SETTERS OUT DETERMINE TO BE REMOVED, TYP;

  EXISTING SETTERS OF THE ON TO REMAIN, PREPARE FOR CONSTRUCTION OF CANOPY;

  EXISTING SENTANCE TRIM TO REMAIN, PREPARE FOR CONSTRUCTION OF CANOPY;

  EXISTING SHUTTERS TO REMAIN, PREPARE TO RECEIVE NEW PAINT;

  EXISTING SHUTTERS TO TREMAIN, REPAIR AS NECESSARY, PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING SHUTTERS TO TREMAIN, REPAIR AS NECESSARY, PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING FAILURE TO BE DEMOLISHED;

  BENDING SEXTING SHOUNDS.

- REMOVE EXISTING WINDOWS:

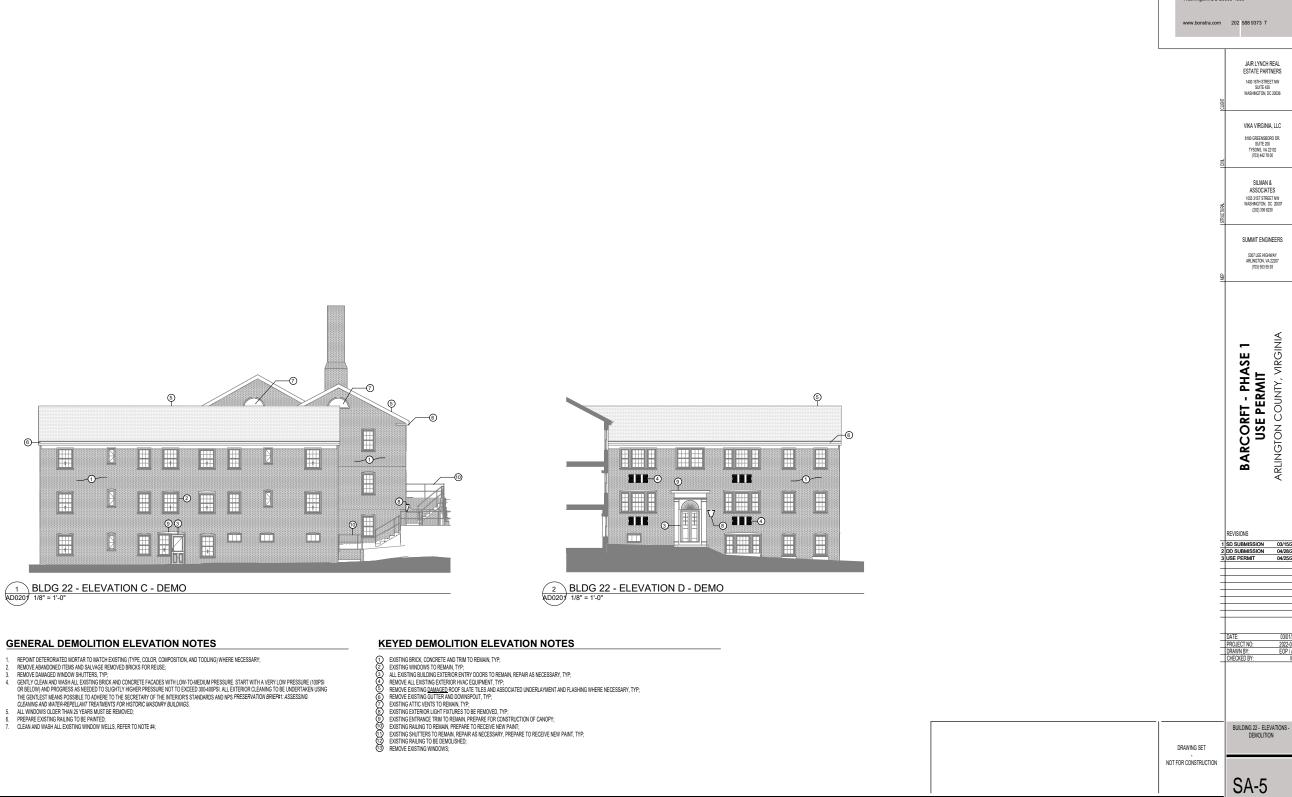
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BARCROFT PHASE I REHABILITATION BUILDING 22 - DEMOLITION ELEVATIONS

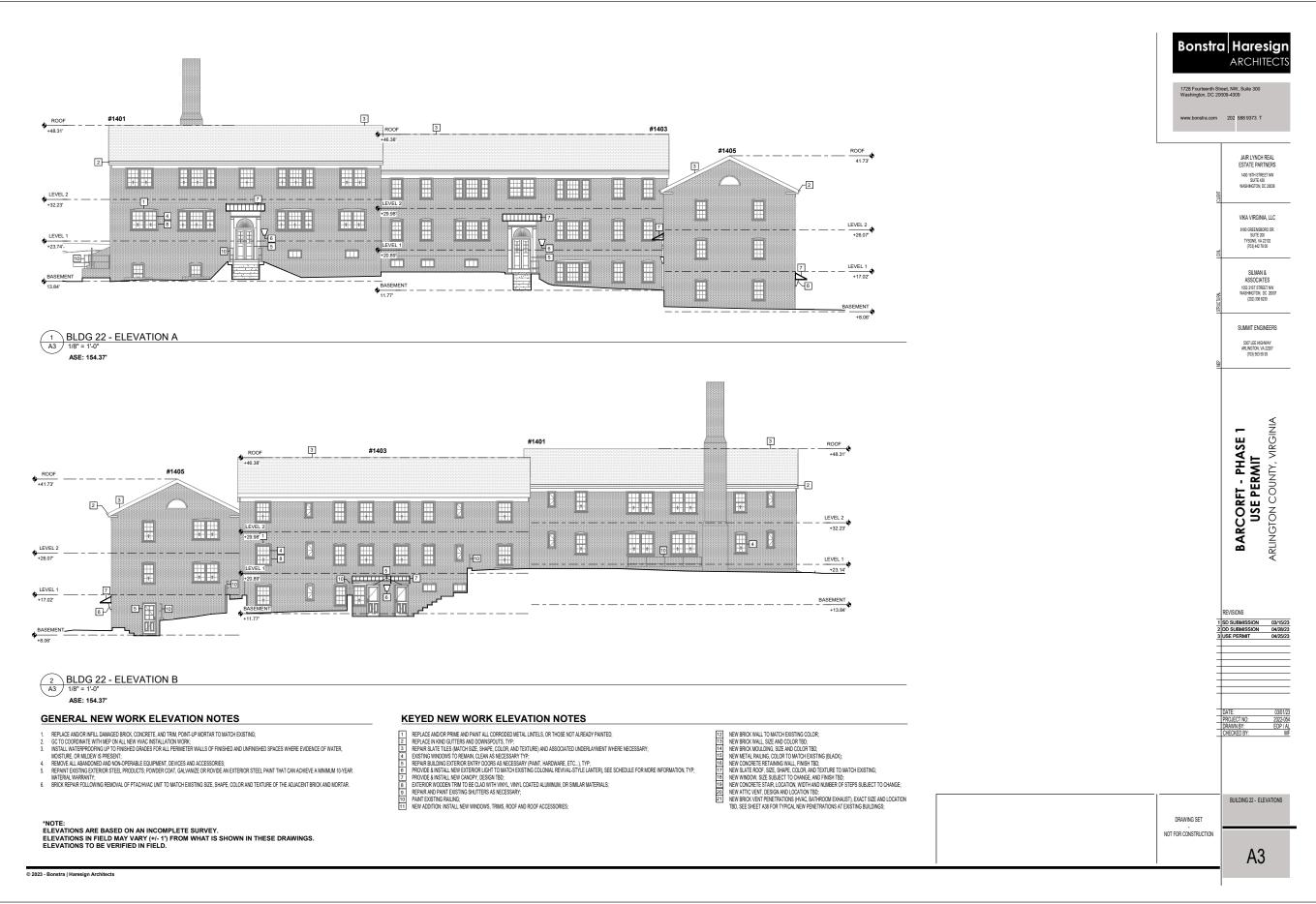


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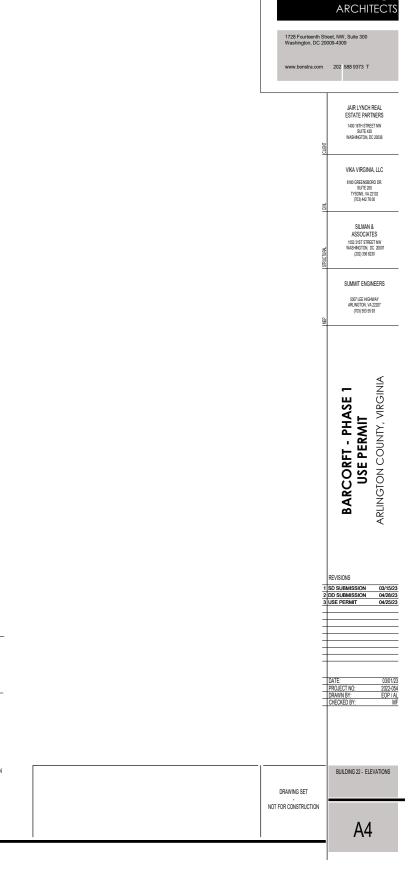
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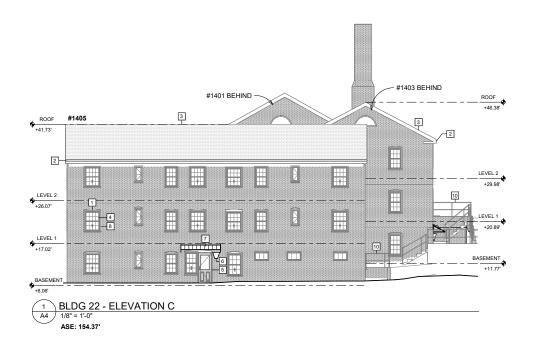
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**ARCHITECTS** 



**BARCROFT PHASE I REHABILITATION BUILDING 22 - PROPOSED ELEVATIONS** 







#### **GENERAL NEW WORK ELEVATION NOTES**

- REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM, POINT-UP MORTAR TO MATCH EXISTING;
   GCTO COORDINATE WITH MEP ON ALL NEW HYAC INSTALLATION WORK;
   INSTALL WATERPROPORING UP TO PRINSHED GRADES FOR ALL PERIWETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOSTINGE, OR MILDEN IS PRESENT;
   REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
   REPAINT EXISTING STRENDR STEEL PRODUCTS, POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
   BRICK REPAIR FOLLOWING REMOVAL OF PTACHYAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

\*NOTE: ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY. ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS. ELEVATIONS TO BE VERIFIED IN FIELD.

#### **KEYED NEW WORK ELEVATION NOTES**

- T REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;
- REPLACE AND OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;

  REPLACE NIN DIG LITERS AND DONISSOUTS, TYP.

  REPLACE NIN DIG LITERS AND THON SOUTS, TYP.

  REPLACE NIN DIG LITES AND THON SOUTS, TYP.

  REPLACE NIN DIG TO REMAIN, CLEAN AS NECESSARY TYP.

  REPLACE BUILDING EXTERDIRE ENTRY DOORS AS NECESSARY TYP.

  REPLACE AND THAT LINEY CANCEY. DESIGNED.

  EXTERDIRE VIOLED TO BE CLAD WITH HINTL, LIVEL COATED ALUMINUM, OR SMILLAR MATERIALS;

  REPLACE AND THE DISTING SHUTTERS AS NECESSARY;

  PAINT EXISTING FALLING:

  REPLACE AND THE SIXTHIN SHUTTERS AS NECESSARY;

  PAINT EXISTING FALLING:

ASE: 154.37'

- 11 NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;

12	NEW BRICK WALL TO MATCH EXISTING COLOR;
12 13 14 15 16 17	NEW BRICK WALL, SIZE AND COLOR TBD;
14	NEW BRICK MOULDING, SIZE AND COLOR TBD;
15	NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);
16	NEW CONCRETE RETAINING WALL, FINISH TBD;
17	NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;
18	NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;

INCH THROOT, NEX SUBJECT TO CHANGE, AND THROST BOY.

19 NEW CORCETE STAIL, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;

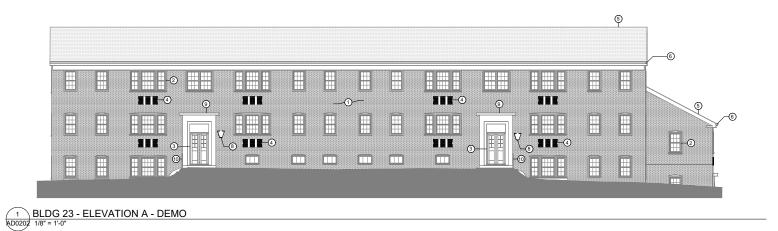
20 NEW ATTIC VENT, DESIGN AND LOCATION TBD;

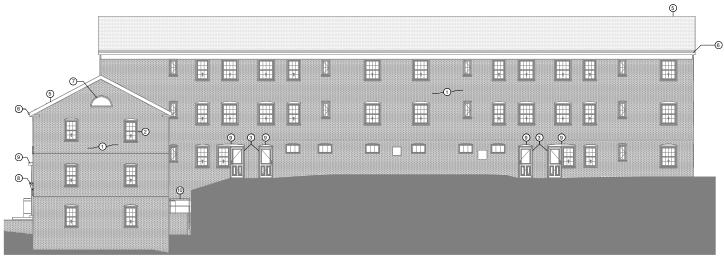
21 NEW BRICK VENT PENETRATIONS (HYAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;

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2 ADD202 1/8" = 1'-0"

#### **GENERAL DEMOLITION ELEVATION NOTES**

- REPOINT DETERORIATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;

- 1. REPOINT DETERORATED MORTAR TO MATCH DISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
  2. REMOVE DAMAGED WINDOW SHATTERS, TYP.
  3. REMOVE DAMAGED WINDOW SHATTERS, TYP.
  4. GENTLY CLEAN AND WASH ALL EXISTING SHOCK AND CONCRETE FACAGES WITH LOW-TO-MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PS)
  OR BELON) MOD PROGRESS AS NEEDED TO SLIGHTLY HOHER PRESSURE NOT TO EXCEED 300-400PSI. ALL EXTERIOR CLEANING TO BE UNDERTAKEN USING
  THE CENTLESS MEANS POSSIBLE TO ADHERE TO THE SECRETARY OF THE INTERDIR'S STANDARDS AND NPS PRESERVATION BRIEFS!. ASSESSING
  CLEANING AND WATER-REPELLANT TREATMENTS OF INSTORM ASOMRY BUILDINGS.
  5. ALL WINDOWS CLEET THAN 25 YEARS MUST SEE REMOVED;
  6. PREPARE EXSTING RAILING TO PE AIMTED;
  7. CLEAN AND WASH ALL EXISTING WINDOW WELLS, REFER TO NOTE #4;

#### **KEYED DEMOLITION ELEVATION NOTES**

- EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP;
   EXISTING WINDOWS TO REMAIN, TYP;
   ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REM.
   REMOVE ALL EXISTING EXTERIOR HVAC EQUIPMENT, TYP;
- EMISTING BRICK, CONCRETE AND TRAIL TO REMAIN, TYP;

  ALL EXISTING BRUILDING EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP;

  ALL EXISTING BRUILDING EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP;

  PERION'BE LEXISTING GENERAL OF COURTENANT, TYP;

  PERION'BE EXISTING GENERAL OF COURTENANT, TYP;

  EMISTING ATTIC VENTS TO REMAIN, TYP;

  EXISTING ATTIC VENTS TO REMAIN, TYP;

  EXISTING EXTERIOR LIGHT FIXTURES TO BE REMOVED, TYP;

  EXISTING FIXTURE TO REMAIN, PEPARE TO RECEIVE NEW PAINT;

  EXISTING REMAINS TO REMAIN, PREPARE TO RECEIVE NEW PAINT;

  EXISTING FIXTURES TO LEMAIN, PEPARE TO RECEIVE NEW PAINT;

  EXISTING FIXTURES TO REMAIN, PEPARE TO RECEIVE NEW PAINT;

  EXISTING FIXTURES TO REMAIN, PEPARE TO RECEIVE NEW PAINT;

  EXISTING FIXTURES TO REMAIN, PEPARE TO SHEECEN NEW PAINT;

  EXISTING FIXTURES TO REMAIN, PEPARE TO SHEECEN NEW PAINT;

  EXISTING FIXTURES TO REMAIN, PEPARE AS NECESSARY, PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING FIXTURES TO REMAIN, PEPARE AS NECESSARY, PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING FIXTURE ON WINDOWS;

- (3) REMOVE EXISTING WINDOWS:

ARCHITECTS	A
nt, NW, Suite 300 9-4309	1728 Fourteenth Street, NW Washington, DC 20009-4309
202 588 9373 T	www.bonstra.com 202 5
JAIR LYNCH REAL ESTATE PARTNERS 1400 16TH STREET NW SUIT 430 WASHINGTON, DC 20036	
VIKA VIRGINIA, LLC	I .
8180 GREENSBORD DR. SUITE 200 TYSONS, 144 22102 (703) 442 78 00	NA OW
SILMAN & ASSOCIATES 1053 31ST STREET NW WASHNOTON, DC 20007 (202) 336 6290	SIRUCTUPAL
SUMMIT ENGINEERS  5007 LEE HIGHWAY ARLINGTON, VA 22207	
(703) 553 55 93	day.
BARCORFT - PHASE 1 USE PERMIT ARLINGTON COUNTY, VIRGINIA	
EVISIONS D SUBMISSION 03/15/23 D SUBMISSION 04/28/23 SE PERMIT 04/25/23	1 SD SUB 2 DD SUB
ATE: 0301/23 ROJECT NO: 2022-054 RAWN BY: EOP / AL HECKED BY: MF	DRAWN
BUILDING 23 - ELEVATIONS - DEMOLITION	DRAWING SET OR CONSTRUCTION

**BARCROFT PHASE I REHABILITATION BUILDING 23 - DEMOLITION ELEVATIONS** 





# 9--®√,

#### **GENERAL DEMOLITION ELEVATION NOTES**

- REPOINT DETERORIATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;

- 1. REPOINT DETERIORISED MORTAR TO MATCH DISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
  2. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
  3. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
  4. GENTLY CLEAN AND WASH ALL EXISTING BRICK AND CONCRETE FAAGES WITH LOW-TO MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PS) OR BELOW) AND PROGRESS AS NEEDED TO SLIGHTLY HOWER PRESSURE NOT TO EXCEED 300-400PSI. ALL EXITENDOR CLEANING TO BE UNDERTRICKEN USING THE CENTLESS MEANS POSSIBLE TO ADMERT IT THE SECRET ANY OF THE INTERCRES STANDARDS AND NPS PRESERVATION BRIEFFIT ASSESSING CLEANING AND WATER-REPELLANT TREATMENTS OF INSTORIC MASONRY BUILDINGS.
  5. ALL WINDOWS CLEET THAN 25 YEARS MUST SEE REMOVED;
  6. PREPARE EXSTRING FAILING TO BE PAINTED;
  7. CLEAN AND WASH ALL EXISTING WINDOW WILLS, REFER TO NOTE #4;

#### **KEYED DEMOLITION ELEVATION NOTES**

- EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP;

  EXISTING WINDOWS TO REMAIN, TYP.

  ALL EXISTING SUILIDINE EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP;

  BERMOVE EXISTING BUILIDINE EXTERIOR PLANT TYP.

  BERMOVE EXISTING BUILIDINE DOORS HATE TLES AND ASSOCIATED UNDERLAYMENT AND FLASHING WHERE NECESSARY, TYP;

  BERMOVE EXISTING GUITTER AND DOWNSPOUT, TYP;

  BERSTING ATTIC VENTS TO REMAIN, TYPE BERMOVED, TYP;

  EXISTING EXTERIOR LIGHT FIXTURES TO BE REMOVED, TYP;

  EXISTING EXTERIOR LIGHT FIXTURES TO BE REMOVED, TYP;

  EXISTING REMAIN CET RIM TO REMAIN, PREPAIR TO RECOVER NEW PAINT;

  EXISTING SHITTERS TO REMAIN, FREPAIR TO RECOVER NEW PAINT;

  EXISTING SHITTERS TO TREMAIN, FREPAIR TO RECOVER NEW PAINT;

  EXISTING SHITTERS TO BERMAN, REPAIR AS NECESSARY, PREPAIRE TO RECEIVE NEW PAINT, TYP;

  EXISTING FAILURE TO BE DEMOLISHED;

  BERMOVE EXISTING MINIORAL REPAIR AS NECESSARY, PREPAIRE TO RECEIVE NEW PAINT, TYP;

  EXISTING FAILURE TO BE DEMOLISHED;

BLDG 23 - ELEVATION D - DEMO

- 11) EXISTING SHUTTERS TO REMAIN 12) EXISTING RAILING TO BE DEMOL 13) REMOVE EXISTING WINDOWS;

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	OM	VIKA VIRGINIA, LLC 8180 GREENSBORD DR. SUITE 200 TYSONS, VA 22102 (703) 442 78 60
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	e.	SUMMIT ENGINEERS  5307 LEE HIGHWAY ARLINGTON, VA 22207 (703) 533 55 93
	36	
		BARCORFT - PHASE 1 USE PERMIT ARLINGTON COUNTY, VIRGINIA
	1 2 3 	DD SUBMISSION 04/28/23
	- - - - - - -	DATE: 0301/25 PROJECT NO: 2022-054 PROJECT NO: 2022-054 CHECKED BY: MF
	DRAWING SET	BUILDING 23 - ELEVATIONS - DEMOLITION
NOT	FOR CONSTRUCTION	SA-8

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**ARCHITECTS** 

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**ARCHITECTS** 

JAIR LYNCH REAL ESTATE PARTNERS

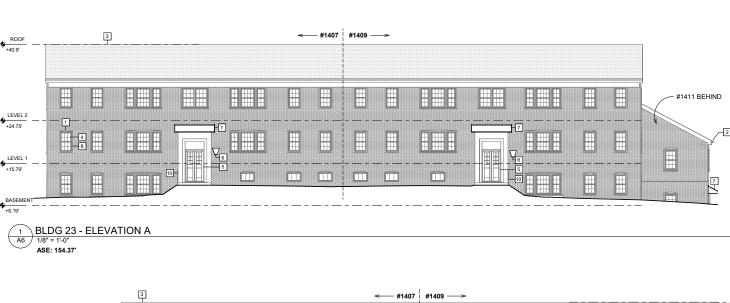
VIKA VIRGINIA. LLC

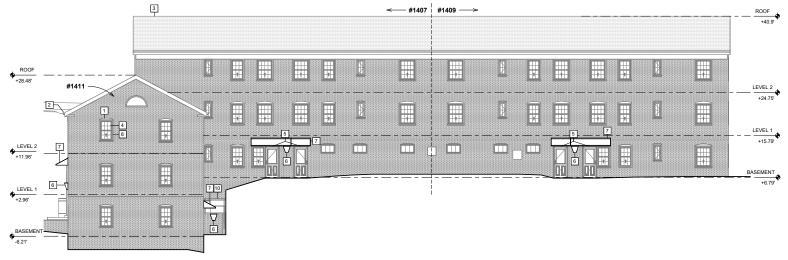
SII MAN &

SUMMIT ENGINEERS

BARCORFT - PHASE 1 USE PERMIT

ARLINGTON





BLDG 23 - ELEVATION B

#### **GENERAL NEW WORK ELEVATION NOTES**

- REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM, POINT-UP MORTAR TO MATCH EXISTING;

- REPARCE MILLORING UNITED AND LINEW HING NOTICE; AND MILL POINT OF MORTRY TO MILLOR EASTING;
   GCT TO CORROBINET WITH MEP ON ALL KIEW HING INSTALLATION WORK;
   INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOSTUNGE, OR MILLORING HIS MILLORING STEELS WHERE EVIDENCE OF WATER, MOSTUNGE, OR MILLORING HING HING HING.
   REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
   REPAINT EXISTING EXTERIOR STEEL PRODUCTS; PONDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
   BRICK REPAIR FOLLOWING REMOVAL OF PTACHHACUNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

\*NOTE: ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY. ELEVATIONS IN FIELD MAY VARY (+/- 1) FROM WHAT IS SHOWN IN THESE DRAWINGS. ELEVATIONS TO BE VERIFIED IN FIELD.

#### KEYED NEW WORK ELEVATION NOTES

- T REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;

- 1 REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINITELS, OR THOSE NOT ALREADY PAINTED;
  2 REPLACE IN KIND GUTTERS NO DOWNSPOURS, TYP:
  3 REPAIR SLATE TILES (MATCH SIZE, SHAPE, CLOUR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;
  4 EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY (PAINT, HARDWARE, ETC...), TYP,
  5 REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC...), TYP,
  6 PROVIDE & INSTALL NEW CAMPO, POSIGNI TO.
  7 PROVIDE & INSTALL NEW CAMPO, POSIGNI TO.
  8 EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;
  9 REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;
  10 PAINT EXISTING RAILING;
  11 NEW ADDITION: INSTALL NEW (WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;

- 12 NEW BRICK WALL TO MATCH EXISTING COLOR;
  13 NEW BRICK WALL, SIZE AND COLOR TRO-121 NEW BRICK WALL TO MATCH EUSTING COLOR
  132 NEW BRICK WALL SIZE AND COLOR TBD;
  144 NEW BRICK WALL SIZE AND COLOR TBD;
  154 NEW BRICK RAULING, COLOR TO MATCH EXISTING, (BLACK);
  165 NEW META RAULING, COLOR TO MATCH EXISTING, (BLACK);
  166 NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;
  167 NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;
  168 NEW WINDOW, SIZE SULBLECT TO CHANGE, AND TEXTURE TO MATCH EXISTING;
  169 NEW CONCRETE STATE, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE,
  160 NEW ATTLE VIATE, DESCAN DATO CARTION, TO STATE AND CARTION OF THE STATE AND LOCATION TBD.
  161 NEW BRICK VENT PERISTATIONS, GHAVE, GRATHROOM EXHAUST, EXACT SIZE AND LOCATION
  TBD. SIZE SELECTED AS CORPORATIONS OF THE ASSESSMENT AS TEXTURED LOCATION
  TBD. SIZE SELECTED AS CORPORATIONS OF THE ASSESSMENT AS TEXTURED LOCATION.
- TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;

BUILDING 23 - ELEVATIONS DRAWING SET NOT FOR CONSTRUCTION A6

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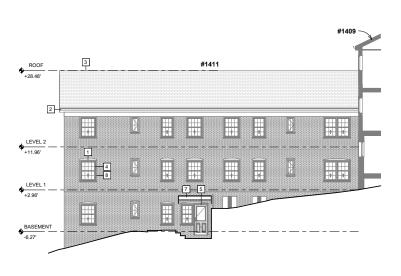
VIKA VIRGINIA. LLC

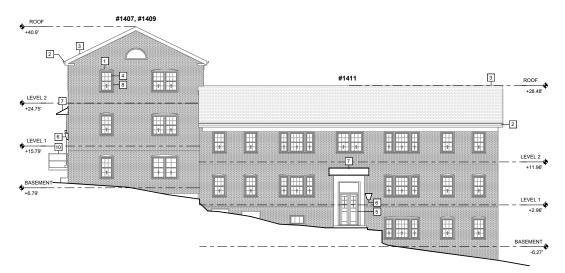
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SUMMIT ENGINEERS

BARCORFT - PHASE 1 USE PERMIT

ARLINGTON





1 BLDG 23 - ELEVATION C ASE: 154.37'

#### **GENERAL NEW WORK ELEVATION NOTES**

- REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM, POINT-UP MORTAR TO MATCH EXISTING;
- 1. REPLACE AND/OR IN ILL DAMAGED BRIDG, CONCRETE, AND TRINK POINT-UP MORTHAY TO MATCH EASTING;
  2. GCT TO CORPORINE WITH THE POINT ON ALL NEW HAVE DATALLATION WORKT.
  3. INSTALL WATERPROCOTING UP TO PRINSHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEN IS PRESENT;
  4. REMOVE ALL ARAMONORED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
  5. REPAINT ENSTRING EXTERIOR STEEL PRODUCTS; POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
  6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHHACUNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

\*NOTE: ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY. ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS. ELEVATIONS TO BE VERIFIED IN FIELD.

<b>KEYED NEW</b>	<b>WORK ELEVA</b>	TION NOTES

BLDG 23 - ELEVATION D

#### T REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;

- 1 REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINITELS, OR THOSE NOT ALREADY PAINTED;
  2 REPLACE IN KIND GUTTERS NO DOWNSPOURS, TYP:
  3 REPAIR SLATE TILES (MATCH SIZE, SHAPE, CLOUR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;
  4 EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY (PAINT, HARDWARE, ETC...), TYP,
  5 REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC...), TYP,
  6 PROVIDE & INSTALL NEW CAMPO, POSIGNI TO.
  7 PROVIDE & INSTALL NEW CAMPO, POSIGNI TO.
  8 EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;
  9 REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;
  10 PAINT EXISTING RAILING;
  11 NEW ADDITION: INSTALL NEW (WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;

ASE: 154.37'

12 NEW BRICK WALL TO MATCH EXISTING COLOR;
13 NEW BRICK WALL, SIZE AND COLOR TRO-12 NEW BRICK WALL TO MATCH EXISTING COLOR
13 NEW BRICK WALL SIZE AND COLOR TBD;
14 NEW BRICK WALL SIZE AND COLOR TBD;
15 NEW METAL RALING, COLOR TO MATCH EXISTING (BLACK);
16 NEW CONCRETE STEAMN WALL, FINSH TBD;
17 NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;
18 NEW WINDOW, SIZE SULBECT TO CHANGE, AND TEXTURE TO MATCH EXISTING;
19 NEW CONCRETE STATE, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE,
20 NEW ATTLE VIATE DESIGN AND LOCATION TBD;
21 NEW BRICK VENT EXISTING AND CARTING THE WASTE AND LOCATION
TBD SICE SELECT AS SECTOR TOWN AND HIM PROPRIET SIZE AND LOCATION
TBD SICE SELECT AS SECTOR TOWN AND HIM PROPRIET SIZE AND LOCATION
TBD SICE SELECT AS SECTOR TOWN AND HIM PROPRIET SIZE AND LOCATION
TBD SICE SELECT AS SECTOR TOWN AND HIM PROPRIET SIZE AS TO SECTOR TOWN.

TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;

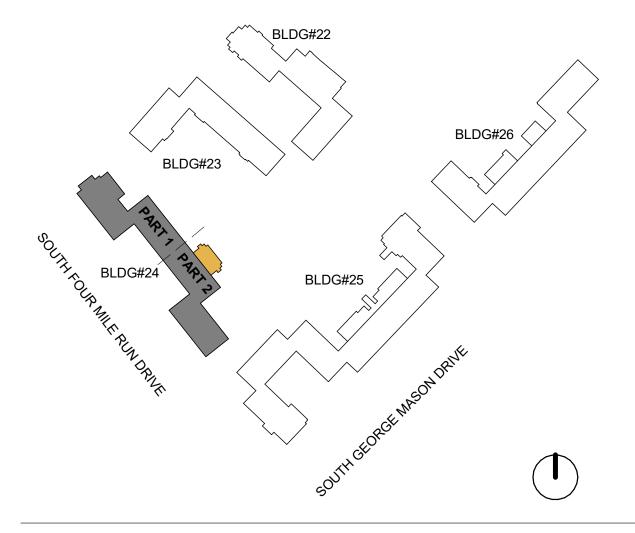
BUILDING 23 - ELEVATIONS DRAWING SET NOT FOR CONSTRUCTION

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BARCROFT PHASE I REHABILITATION BUILDING 24 25

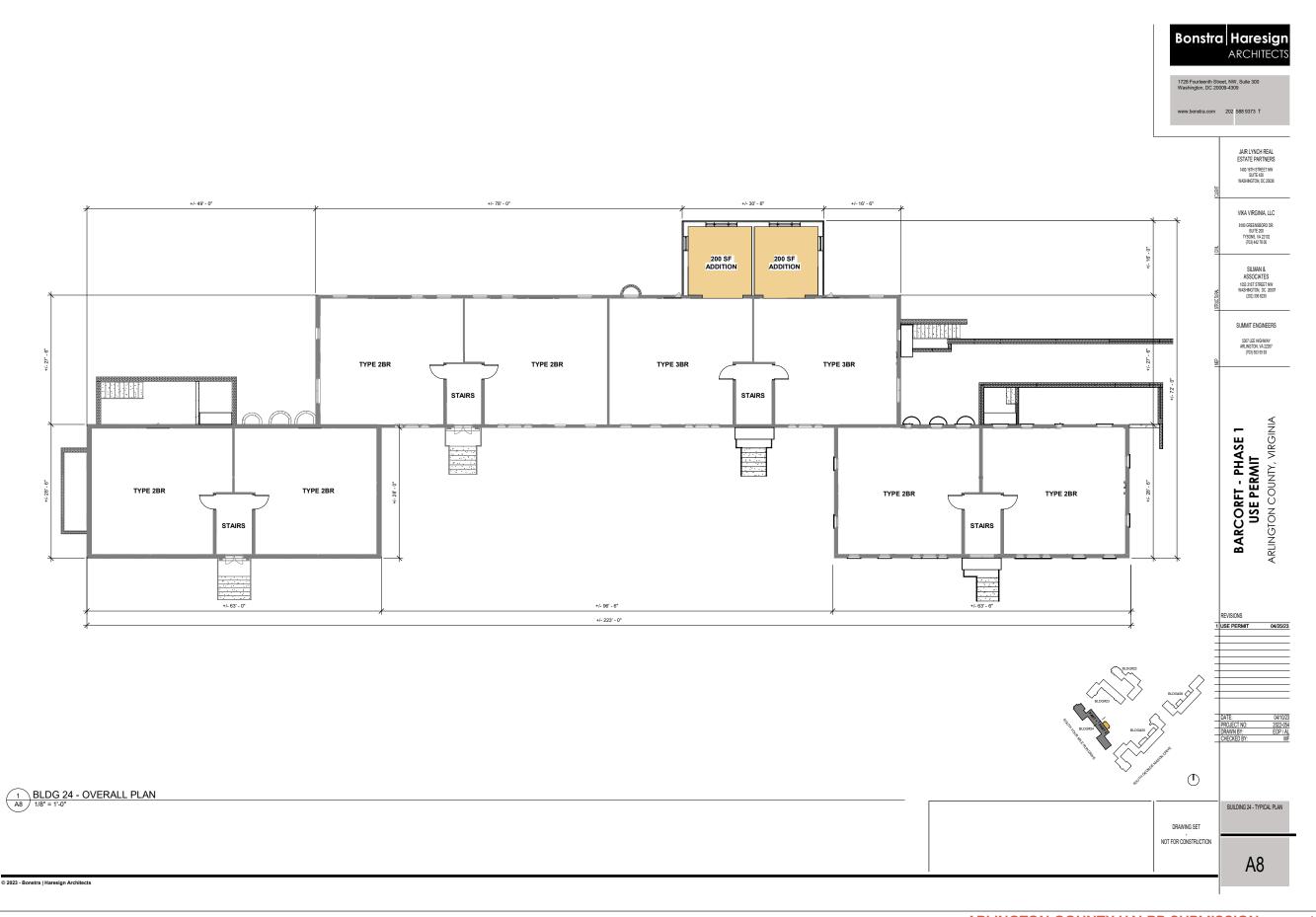
# **BUILDING 24**

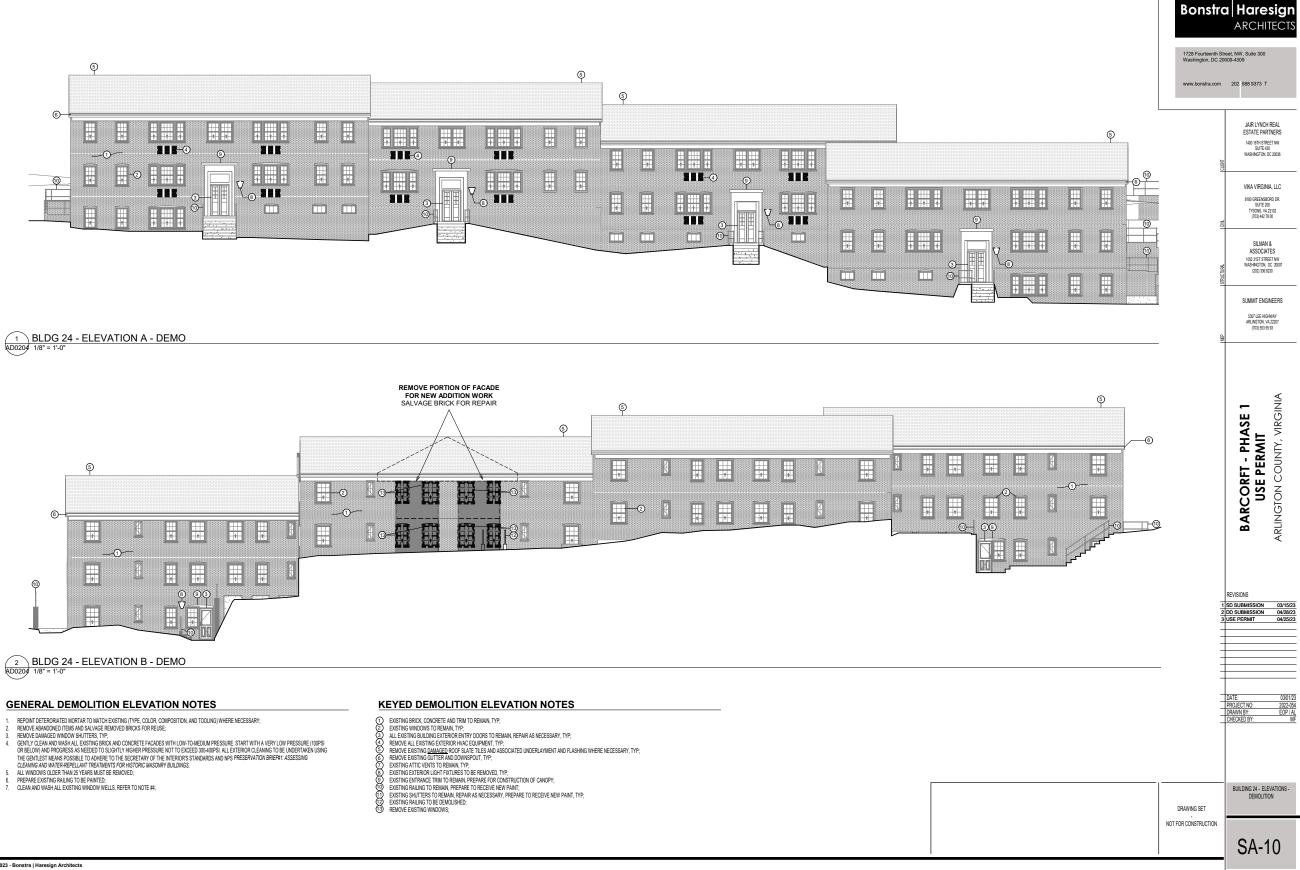
EXISTING & PROPOSED UNIT MIX						
BUILDING	UNIT TYPE	EXISTING	PROPOSED			
24	1BR	-	_			
	2BR	18	14			
	3BR	ı	4			
	4BR	ı	_			
	TOTAL	18	18			





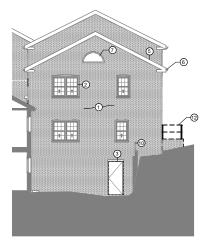




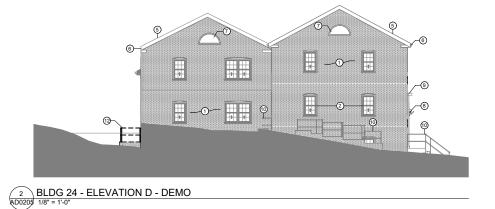


**BARCROFT PHASE I REHABILITATION BUILDING 24 - DEMOLITION ELEVATIONS** 









#### **GENERAL DEMOLITION ELEVATION NOTES**

- REPOINT DETERORIATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;

- 1. REPOINT DETERIORISED MORTAR TO MATCH DISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
  2. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
  3. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
  4. GENTLY CLEAN AND WASH ALL EXISTING BRICK AND CONCRETE FAAGES WITH LOW-TO MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PS) OR BELOW) AND PROGRESS AS NEEDED TO SLIGHTLY HOWER PRESSURE NOT TO EXCEED 300-400PSI. ALL EXITENDOR CLEANING TO BE UNDERTRICKEN USING THE CENTLESS MEANS POSSIBLE TO ADMERT IT THE SECRET ANY OF THE INTERCRES STANDARDS AND NPS PRESERVATION BRIEFFIT ASSESSING CLEANING AND WATER-REPELLANT TREATMENTS OF INSTORIC MASONRY BUILDINGS.
  5. ALL WINDOWS CLEET THAN 25 YEARS MUST SEE REMOVED;
  6. PREPARE EXSTRING FAILING TO BE PAINTED;
  7. CLEAN AND WASH ALL EXISTING WINDOW WILLS, REFER TO NOTE #4;

#### **KEYED DEMOLITION ELEVATION NOTES**

- EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP;

  EXISTING WINDOWS TO REMAIN, TYP.

  ALL EXISTING SUILIDINE EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP;

  BERMOVE EXISTING BUILIDINE EXTERIOR PLANT TYP.

  BERMOVE EXISTING BUILIDINE DOORS HATE TLES AND ASSOCIATED UNDERLAYMENT AND FLASHING WHERE NECESSARY, TYP;

  BERMOVE EXISTING GUITTER AND DOWNSPOUT, TYP;

  BERSTING ATTIC VENTS TO REMAIN, TYPE BERMOVED, TYP;

  EXISTING EXTERIOR LIGHT FIXTURES TO BE REMOVED, TYP;

  EXISTING EXTERIOR LIGHT FIXTURES TO BE REMOVED, TYP;

  EXISTING REMAIN CET RIM TO REMAIN, PREPAIR TO RECOVER NEW PAINT;

  EXISTING SHITTERS TO REMAIN, FREPAIR TO RECOVER NEW PAINT;

  EXISTING SHITTERS TO TREMAIN, FREPAIR TO RECOVER NEW PAINT;

  EXISTING SHITTERS TO BERMAN, REPAIR AS NECESSARY, PREPAIRE TO RECEIVE NEW PAINT, TYP;

  EXISTING FAILURE TO BE DEMOLISHED;

  BERMOVE EXISTING MINIORAL REPAIR AS NECESSARY, PREPAIRE TO RECEIVE NEW PAINT, TYP;

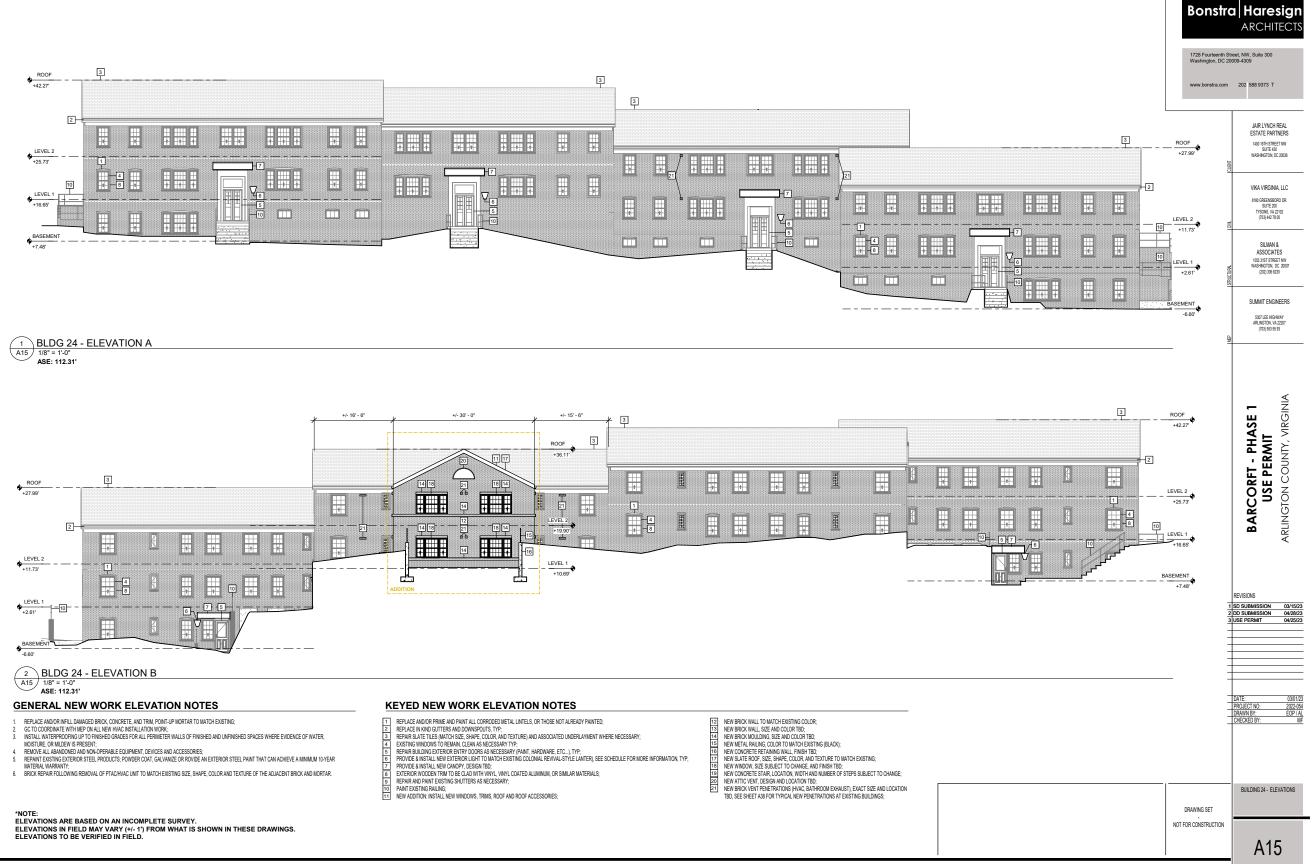
  EXISTING FAILURE TO BE DEMOLISHED;

- (12) EXISTING RAILING TO BE DEMOL (13) REMOVE EXISTING WINDOWS:

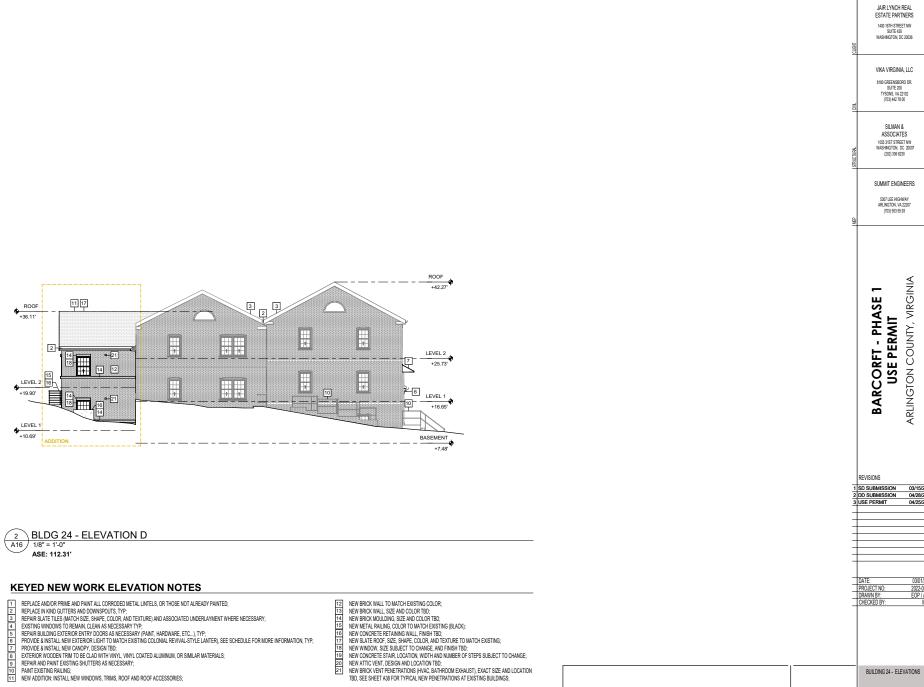
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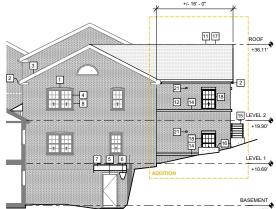
BARCROFT PHASE I REHABILITATION

BUILDING 24 - PROPOSED ELEVATIONS



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1 BLDG 24 - ELEVATION C

ASE: 112.31'

- **GENERAL NEW WORK ELEVATION NOTES** REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM, POINT-UP MORTAR TO MATCH EXISTING;
- 1. REPLACE AND/OR IN ILL DAMAGED BRIDG, CONCRETE, AND TRINK POINT-UP MORTHAY TO MATCH EASTING;
  2. GCT TO CORPORINE WITH THE POINT ON ALL NEW HAVE DATALLATION WORKT.
  3. INSTALL WATERPROCOTING UP TO PRINSHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEN IS PRESENT;
  4. REMOVE ALL ARAMONORED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
  5. REPAINT ENSTRING EXTERIOR STEEL PRODUCTS; POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
  6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHHACUNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

\*NOTE: ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY. ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS. ELEVATIONS TO BE VERIFIED IN FIELD. ASE: 112.31'

LEVEL 2 16-+19.90'

#### **KEYED NEW WORK ELEVATION NOTES**

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DRAWING SET

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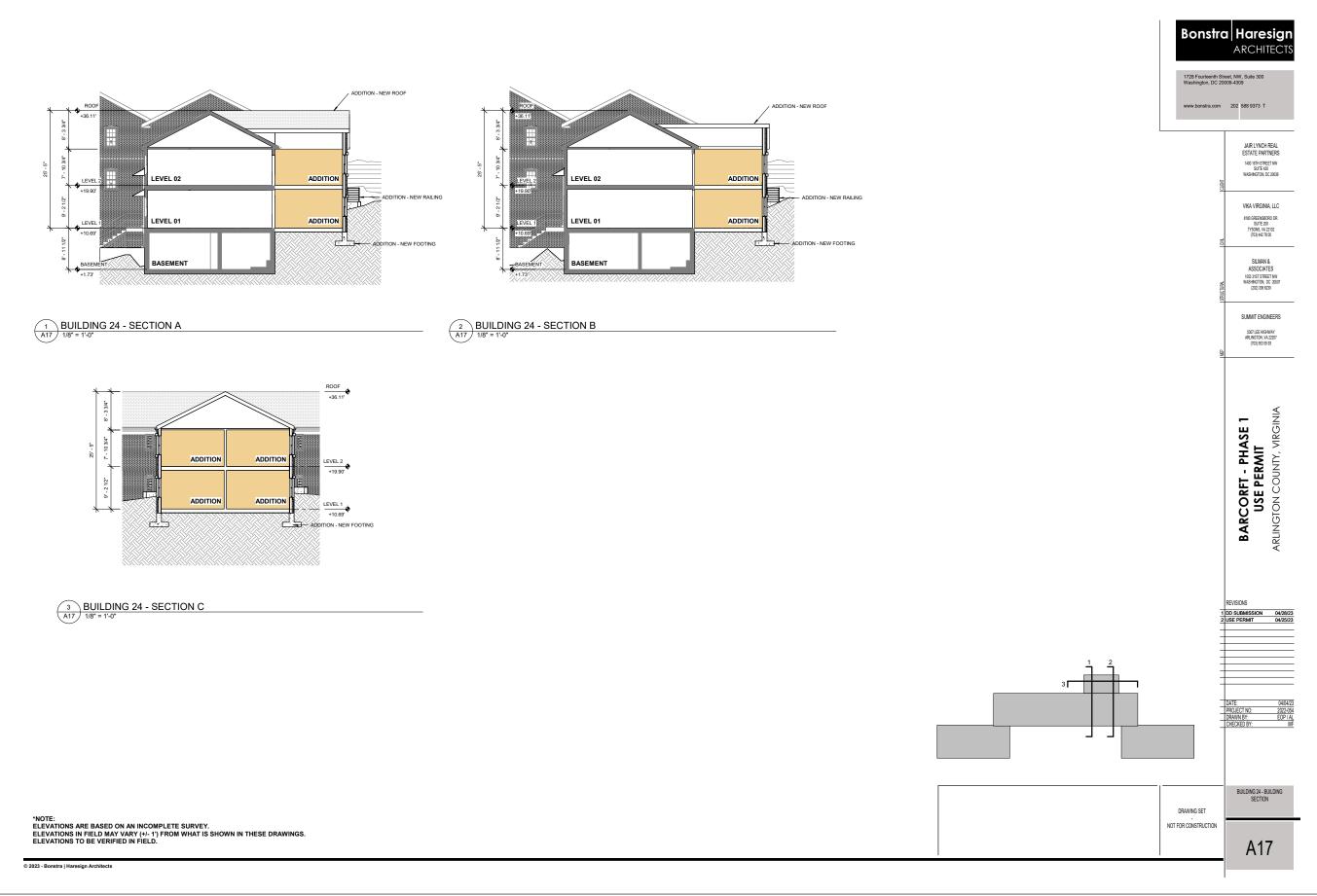
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**ARCHITECTS** 

BARCROFT PHASE I REHABILITATION

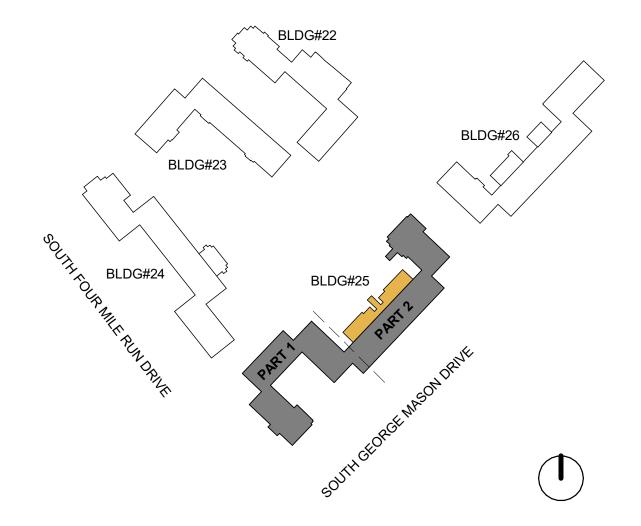
BUILDING 24 - BUILDING SECTION



BARCROFT PHASE I REHABILITATION BUILDING 25 32

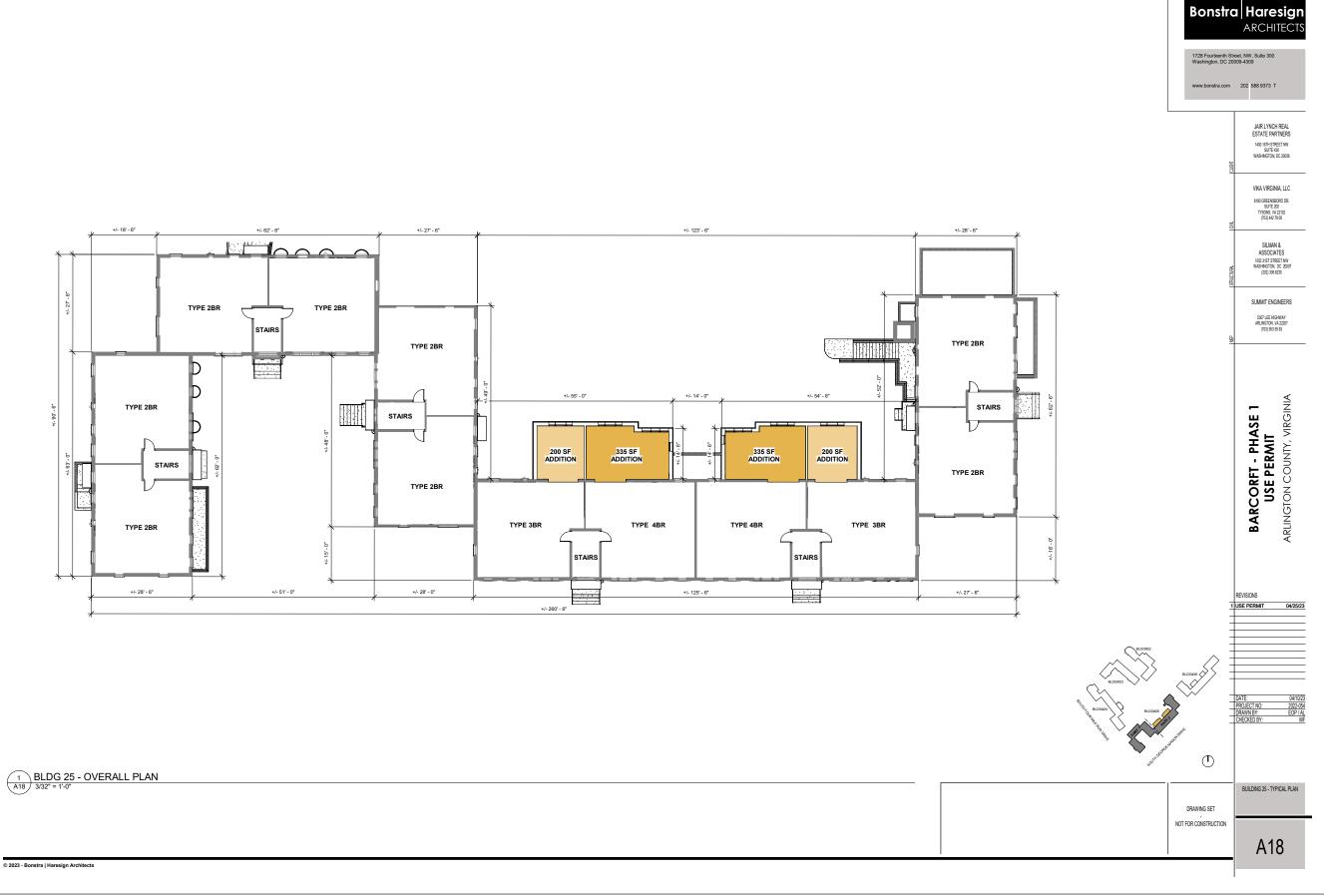
# **BUILDING 25**

EXISTING & PROPOSED UNIT MIX						
BUILDING	UNIT TYPE	EXISTING	PROPOSED			
25	1BR	-	-			
	2BR	28	20			
	3BR	ı	4			
	4BR	ı	4			
	TOTAL	28	28			

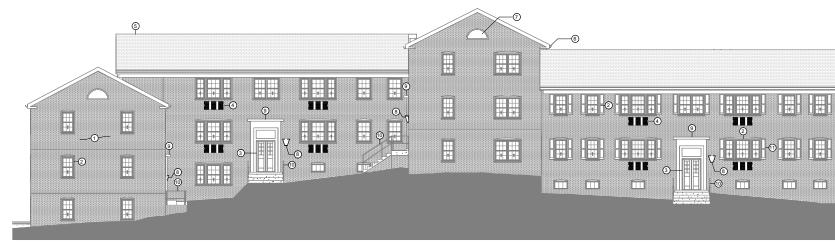








BARCROFT PHASE I REHABILITATION **BUILDING 25 - DEMOLITION ELEVATIONS** 







2 BLDG 25 - ELEVATION A - 2 - DEMO

#### **GENERAL DEMOLITION ELEVATION NOTES**

- REPOINT DETERORIATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;

- REPOINT DETERORATED MORTAR TO MATCH EXISTING (TYPE, OCLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
   REMOVE DAMAGED WINDOW SHATTERS, TVP.
   GENTLY CLEAN AND WASH ALL EXISTING BRICK AND CONCRETE FALCES WITH LOW-TO-MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PS) OR BELOW), AND PROGRESS AS NEEDED TO SLIGHTLY HIGHER PRESSURE NOT TO EXCEED 300-400PS; ALL EXTERIOR CLEANING TO BE UNDERTAKEN USING THE CHINITEST OF THE SECRETARY OF THE INTERIOR'S STANDARDS AND MPS PRESERVATION BRIEFFE!. ASSESSING CLEANING AND WINEFAREFLUATH TREATMENTS OF HISTORIC MASONRY BUILDINGS.
   ALL WINDOWS CLEET HAVE SY YEARS MUST BE REMOVED;
   PREPARE SENSITING FAILING TO PE PAINTED;
   CLEAN AND WASH ALL EXISTING WINDOW WELLS, REFER TO NOTE #4;

#### **KEYED DEMOLITION ELEVATION NOTES**

- EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP;
   EXISTING WINDOWS TO REMAIN, TYP;
   ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REM
- EXISTING BRICK, CONCRETE AND TRINI TO REMAIN, TYP;

  ALL EXISTING WINDON'S TO EMBAIN, TYP;

  ALL EXISTING WINDON'S TO EMBAIN, TYP;

  BELLOVE EXISTING SETTEROR FUNTY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP;

  REMOVE EXISTING CATTER AND COMPANT, TYP;

  REMOVE EXISTING CATTER AND DOWNSPOUT, TYP;

  EXISTING ATTUC VENTS TO REMAIN, FOR PARKEY, TYP;

  EXISTING ATTUC VENTS TO REMAIN, FOR PARKEY CONSTRUCTION OF CANCEY;

  EXISTING FAILUNG TERM TO REMAIN, PREPARE FOR CONSTRUCTION OF CANCEY;

  EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;

  EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;

  EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;

  EXISTING RAILING TO REMAIN, PREPARE TO RESSARY, PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING RAILING TO REMAINS, PREPARE TO RECEIVE NEW PAINT;

  EXISTING RAILING TO REMAINS, PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING RAILING TO RED REMAINS PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING RAILING TO RED REMAINS PREPARE TO RECEIVE NEW PAINT, TYP;

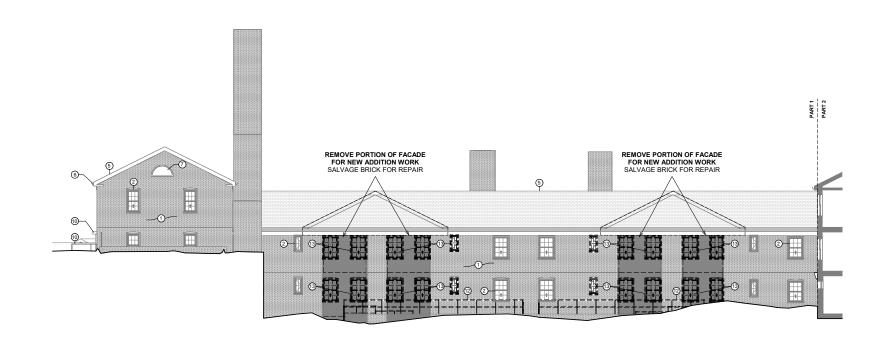
  EXISTING RAILING TO RED REMAINS PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING RAILING TO RED REMAINS PREPARE TO RECEIVE NEW PAINT, TYP;

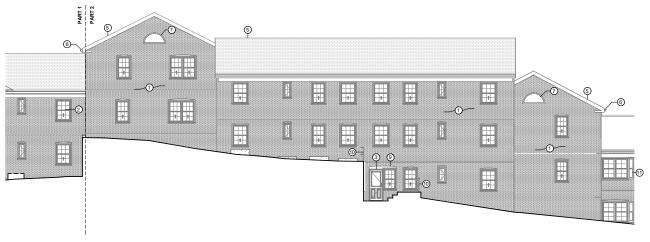
  EXISTING PAINT OF REMAINS PREPARE TO RECEIVE NEW PAINT, TYP;

- REMOVE EXISTING WINDOWS:

Bonstra Haresign **ARCHITECTS** ww.bonstra.com 202 588 9373 T JAIR LYNCH REAL ESTATE PARTNERS VIKA VIRGINIA. LLC SII MAN & 1053 31ST STREET NW WASHINGTON, DC 20007 (202) 336 6230 SUMMIT ENGINEERS BARCORFT - PHASE 1
USE PERMIT
ARLINGTON COUNTY, VIRGINIA BUILDING 25 - ELEVATIONS -DEMOLITION DRAWING SET NOT FOR CONSTRUCTION







2 BLDG 25 - ELEVATION B - 2 - DEMO

#### **GENERAL DEMOLITION ELEVATION NOTES**

- REPOINT DETERORIATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;

- REPOINT DETERORATED MORTAR TO MATCH EXISTING (TYPE, OCLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
   REMOVE DAMAGED WINDOW SHATTERS, TVP.
   GENTLY CLEAN AND WASH ALL EXISTING BRICK AND CONCRETE FALCES WITH LOW-TO-MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PS) OR BELOW), AND PROGRESS AS NEEDED TO SLIGHTLY HIGHER PRESSURE NOT TO EXCEED 300-400PS; ALL EXTERIOR CLEANING TO BE UNDERTAKEN USING THE CHINITEST OF THE SECRETARY OF THE INTERIOR'S STANDARDS AND MPS PRESERVATION BRIEFFE!. ASSESSING CLEANING AND WINEFAREFLUATH TREATMENTS OF HISTORIC MASONRY BUILDINGS.
   ALL WINDOWS CLEET HAVE SY YEARS MUST BE REMOVED;
   PREPARE SENSITING FAILING TO PE PAINTED;
   CLEAN AND WASH ALL EXISTING WINDOW WELLS, REFER TO NOTE #4;

#### **KEYED DEMOLITION ELEVATION NOTES**

- EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP;
   EXISTING WINDOWS TO REMAIN, TYP;
   ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REM
- EXISTING BRICK, CONCRETE AND TRINI TO REMAIN, TYP;

  ALL EXISTING WINDON'S TO EMBAIN, TYP;

  ALL EXISTING WINDON'S TO EMBAIN, TYP;

  BELLOVE EXISTING SETTEROR FUNTY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP;

  REMOVE EXISTING CATTER AND COMPANT, TYP;

  REMOVE EXISTING CATTER AND DOWNSPOUT, TYP;

  EXISTING ATTUC VENTS TO REMAIN, FOR PARKEY, TYP;

  EXISTING ATTUC VENTS TO REMAIN, FOR PARKEY CONSTRUCTION OF CANCEY;

  EXISTING FAILUNG TERM TO REMAIN, PREPARE FOR CONSTRUCTION OF CANCEY;

  EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;

  EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;

  EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;

  EXISTING RAILING TO REMAIN, PREPARE TO RESSARY, PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING RAILING TO REMAINS, PREPARE TO RECEIVE NEW PAINT;

  EXISTING RAILING TO REMAINS, PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING RAILING TO RED REMAINS PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING RAILING TO RED REMAINS PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING RAILING TO RED REMAINS PREPARE TO RECEIVE NEW PAINT, TYP;

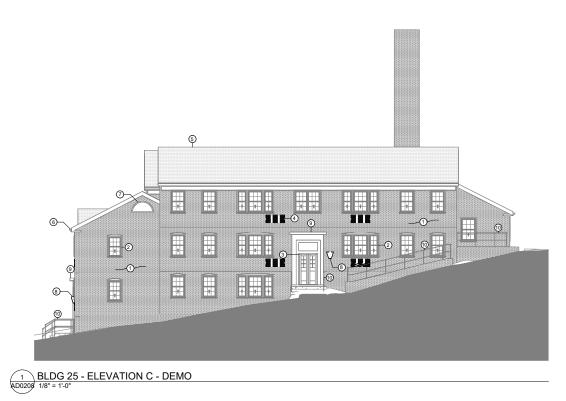
  EXISTING RAILING TO RED REMAINS PREPARE TO RECEIVE NEW PAINT, TYP;

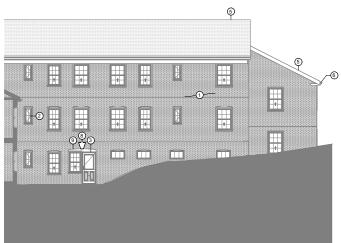
  EXISTING PAINT OF REMAINS PREPARE TO RECEIVE NEW PAINT, TYP;

- REMOVE EXISTING WINDOWS:

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**BARCROFT PHASE I REHABILITATION BUILDING 25 - DEMOLITION ELEVATIONS** 









#### **GENERAL DEMOLITION ELEVATION NOTES**

- REPOINT DETERORIATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;

- 1. REPOINT DETERIORISED MORTAR TO MATCH DISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
  2. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
  3. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
  4. GENTLY CLEAN AND WASH ALL EXISTING BRICK AND CONCRETE FAAGES WITH LOW-TO MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PS) OR BELOW) AND PROGRESS AS NEEDED TO SLIGHTLY HOWER PRESSURE NOT TO EXCEED 300-400PSI. ALL EXITENDOR CLEANING TO BE UNDERTRICKEN USING THE CENTLESS MEANS POSSIBLE TO ADMERT IT THE SECRET ANY OF THE INTERCRES STANDARDS AND NPS PRESERVATION BRIEFFIT ASSESSING CLEANING AND WATER-REPELLANT TREATMENTS OF INSTORIC MASONRY BUILDINGS.
  5. ALL WINDOWS CLEET THAN 25 YEARS MUST SEE REMOVED;
  6. PREPARE EXSTRING FAILING TO BE PAINTED;
  7. CLEAN AND WASH ALL EXISTING WINDOW WILLS, REFER TO NOTE #4;

#### KEYED DEMOLITION ELEVATION NOTES

- EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP;

  EXISTING WINDOWS TO REMAIN, TYP;

  ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TYP;

  BERMOVE EXISTING BUILDING EXTERIOR HAVE DEURIPMENT, TYP.

  REMOVE EXISTING BUILDING DOOR SLATE TLES AND ASSOCIATED UNDERLAYMENT AND FLASHING WHERE NECESSARY, TYP;

  BERSTING STEENING SUTTER AND DOWNSPOUT, TYP;

  EXISTING EXISTING SUTTER AND DOWNSPOUT, TYP;

  EXISTING EXISTING SUTTER AND DOWNSPOUT, TYP;

  EXISTING EXISTING SUTTER AND TO REMAIN, PREPARE TO RECONSTRUCTION OF CANOPY;

  EXISTING REMAIN TO REMAIN, PREPARE TO RECEIVE NEW PRINT;

  EXISTING SHITERS TO REMAIN, PREPARE TO RECEIVE NEW PRINT;

  EXISTING SHITERS TO TREMAIN, PREPARE TO RECEIVE NEW PRINT;

  EXISTING SHITERS TO TREMAIN, REPAIR AS NECESSARY, PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING FAILURE TO BE DEMOLISHED;

  BENDING SEXTING WINDOWS.

3 BLDG 25 - ELEVATION E - DEMO 1/8" = 1'-0"

- (3) REMOVE EXISTING WINDOWS:

ESTATE 100 ISTN SUSYWASHIOT  VIKA VIR 8180 ISES 150.00		
ESTATE 100 ISTN SUSYWASHIOT  VIKA VIR 816 DEE	PARTNERS H STREET NW ITE 430	
VIKA VIR asa opes SSS		
<u>8</u>	RGINIA, LLC ENSBORO DR. TITE 200 S, VA 22102 442 78 00	
ASSC 1633/313 WSHMG	MAN & DCIATES 1 STREET NW TON, DC 20007 336 6230	
5807 LE ARLINGT	ENGINEERS E HIGHWAY ON, VA 22207 553 55 93	
BARCORFT - PHASE 1	<b>USE FERMII</b> ARLINGTON COUNTY, VIRGINIA	
REVISIONS 1 SD SUBMISSIC 2 DD SUBMISSIC 3 USE PERMIT	ON 03/15/23 ON 04/25/23 04/25/23	
DATE: PROJECT NO. DRAWN BY. CHECKED BY.	0301/23 2022-054 EOP / AL MF	
	-15	





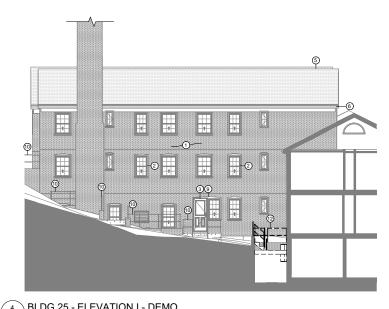




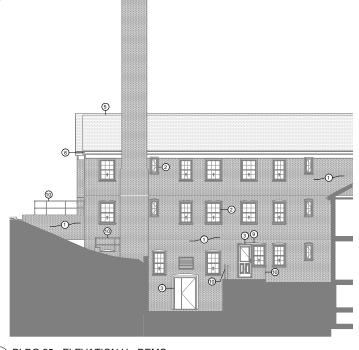
### **GENERAL DEMOLITION ELEVATION NOTES**

- REPOINT DETERORIATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;

- REPOINT DETERORATED MORTAR TO MATCH EXISTING (TYPE, OCLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
   REMOVE DAMAGED WINDOW SHATTERS, TVP.
   GENTLY CLEAN AND WASH ALL EXISTING BRICK AND CONCRETE FALCES WITH LOW-TO-MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PS) OR BELOW), AND PROGRESS AS NEEDED TO SLIGHTLY HIGHER PRESSURE NOT TO EXCEED 300-400PS; ALL EXTERIOR CLEANING TO BE UNDERTAKEN USING THE CHINITEST OF THE SECRETARY OF THE INTERIOR'S STANDARDS AND MPS PRESERVATION BRIEFFE!. ASSESSING CLEANING AND WINEFAREFLUATH TREATMENTS OF HISTORY MASONRY BUILDINGS.
   ALL WINDOWS CLEET HAN 25 YEARS MUST BE REMOVED;
   PREPARE SENSITIOR FAILING TO PE PAINTED;
   CLEAN AND WASH ALL EXISTING WINDOW WELLS, REFER TO NOTE #4;







3 BLDG 25 - ELEVATION H - DEMO

### **KEYED DEMOLITION ELEVATION NOTES**

EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP;
 EXISTING WINDOWS TO REMAIN, TYP;
 ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REM

EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TVP,

EXISTING WINDOWS TO REMAIN, TVP,

ALL EXISTING BRUINDING EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TVP;

REMOVE ALL EXISTING GUITER NASE COUMMENT, TVP,

REMOVE EXISTING GUITER AND DOWNSPOUT, TVP,

REMOVE EXISTING GUITER AND DOWNSPOUT, TVP,

EXISTING ATTICK PRIVET TO REMAIN, TYP,

EXISTING ATTICK PRIVET TO REMAIN, TYP,

EXISTING ATTICK PRIVET OR REMAIN TYP,

EXISTING RATICK OF THE TO REMAIN, PREPARE FOR CONSTRUCTION OF CANOPY;

EXISTING RATICK TO REMAIN, PREPARE TO RECEIVE NEW PAINT;

EXISTING SHETINGS TO REMAIN, SHEPARS, NECESSARY, PREPARE TO RECEIVE NEW PAINT, TVP;

EXISTING SHETINGS TO REMAIN, REPARS, NECESSARY, PREPARE TO RECEIVE NEW PAINT, TVP;

EXISTING SHETINGS TO REMAIN, REPARS, NECESSARY, PREPARE TO RECEIVE NEW PAINT, TVP;

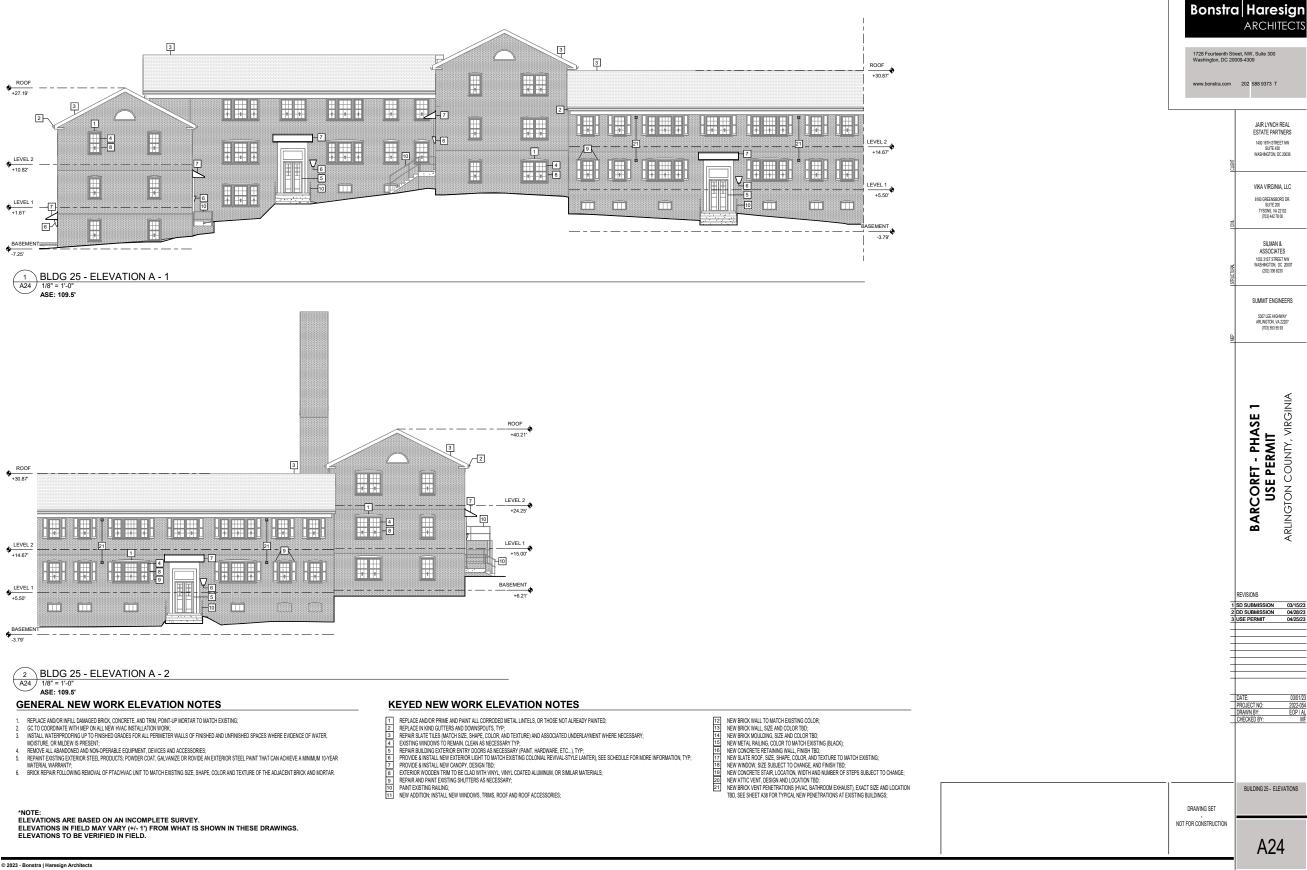
EXISTING SHETINGS TO REMAIN, REPARS, NECESSARY, PREPARE TO RECEIVE NEW PAINT, TVP;

EXISTING SHETINGS TO REMAIN, REPARS, NECESSARY, PREPARE TO RECEIVE NEW PAINT, TVP;

EXISTING SHETINGS WINDOWS.

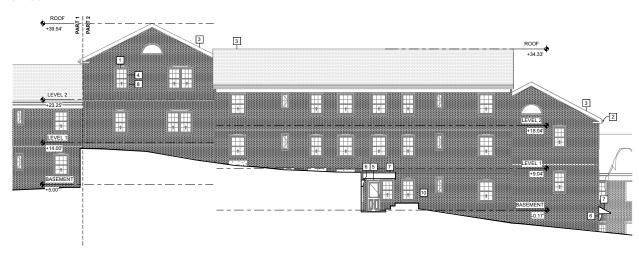
REMOVE EXISTING WINDOWS:







1 BLDG 25 - ELEVATION B - 1 1/8" = 1'-0" ASE: 109.5'



2 A25 BLDG 25 - ELEVATION B - 2

#### **GENERAL NEW WORK ELEVATION NOTES**

- REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM, POINT-UP MORTAR TO MATCH EXISTING;

- REPARCE MILLORING UNITED AND LINEW HING NOTICE; AND MILL POINT OF MORTRY TO MILLOR EASTING;
   GCT TO CORROBINET WITH MEP ON ALL KIEW HING INSTALLATION WORK;
   INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOSTUNGE, OR MILLORING HIS MILLORING SPEECH.

  REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
   REPAINT EXISTING EXTERIOR STEEL PRODUCTS; PONDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
   BRICK REPAIR FOLLOWING REMOVAL OF PTACHHAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

\*NOTE: ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY. ELEVATIONS IN FIELD MAY VARY (+/- 1) FROM WHAT IS SHOWN IN THESE DRAWINGS. ELEVATIONS TO BE VERIFIED IN FIELD.

#### **KEYED NEW WORK ELEVATION NOTES**

- T REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;
- 1 REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINITELS, OR THOSE NOT ALREADY PAINTED;
  2 REPLACE IN KIND GUTTERS NO DOWNSPOURS, TYP:
  3 REPAIR SLATE TILES (MATCH SIZE, SHAPE, CLOUR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;
  4 EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY (PAINT, HARDWARE, ETC...), TYP,
  5 REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC...), TYP,
  6 PROVIDE & INSTALL NEW CAMPO, POSIGNI TO.
  7 PROVIDE & INSTALL NEW CAMPO, POSIGNI TO.
  8 EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;
  9 REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;
  10 PAINT EXISTING RAILING;
  11 NEW ADDITION: INSTALL NEW (WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;

12 NEW BRICK WALL TO MATCH EXISTING COLOR;
13 NEW BRICK WALL, SIZE AND COLOR TRO-



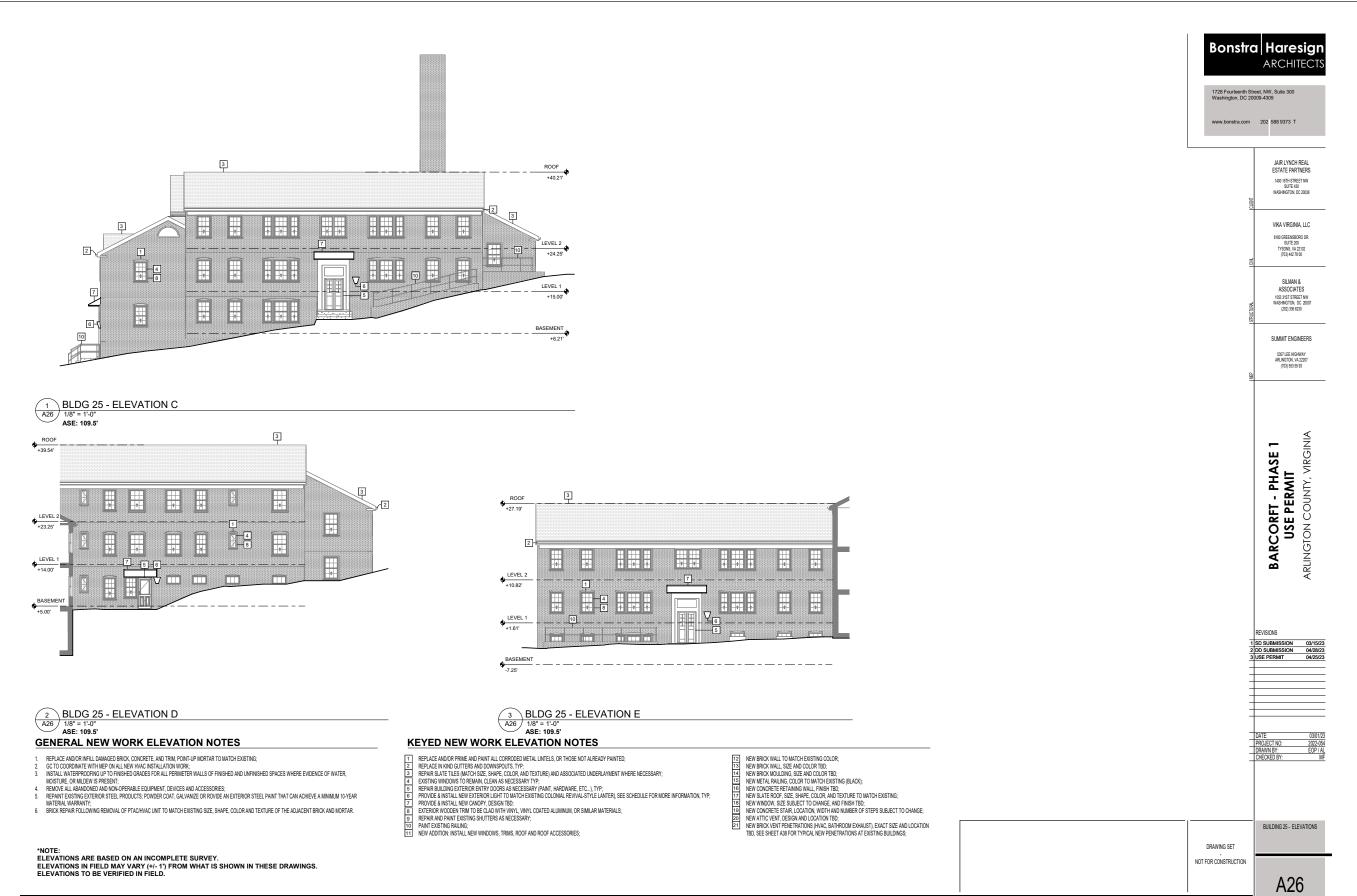
YPICAL BRICK VENT EXAMPLE

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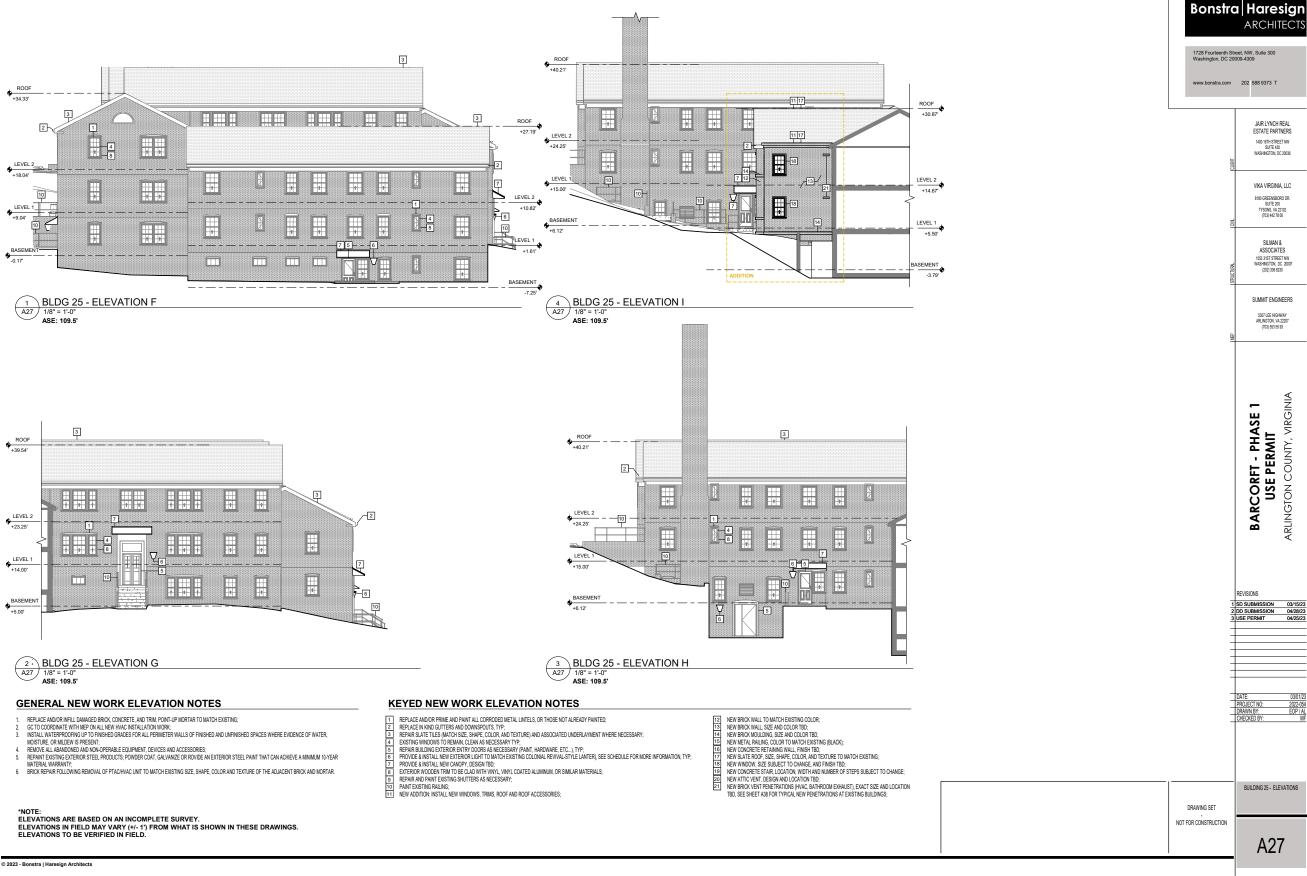
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BARCROFT PHASE I REHABILITATION

BUILDING 25 - PROPOSED ELEVATIONS

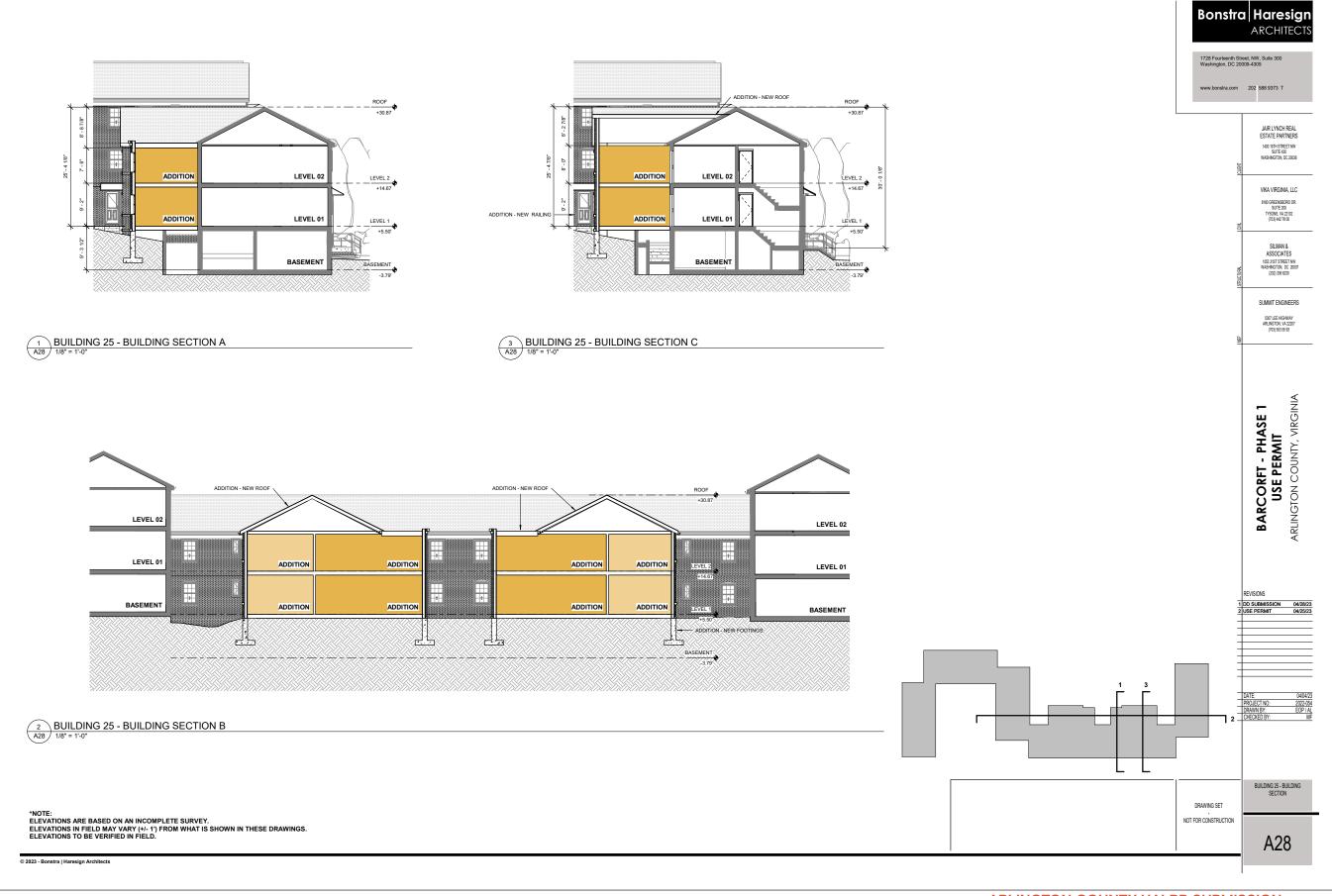


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BARCROFT PHASE I REHABILITATION

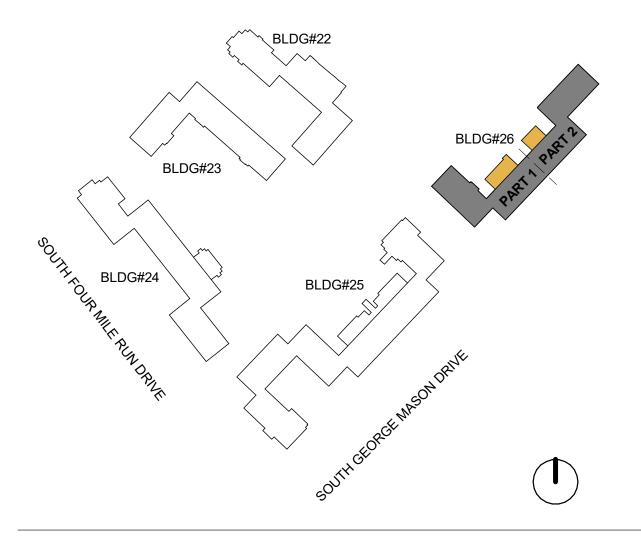
BUILDING 25 - BUILDING SECTION



BARCROFT PHASE I REHABILITATION BUILDING 26 43

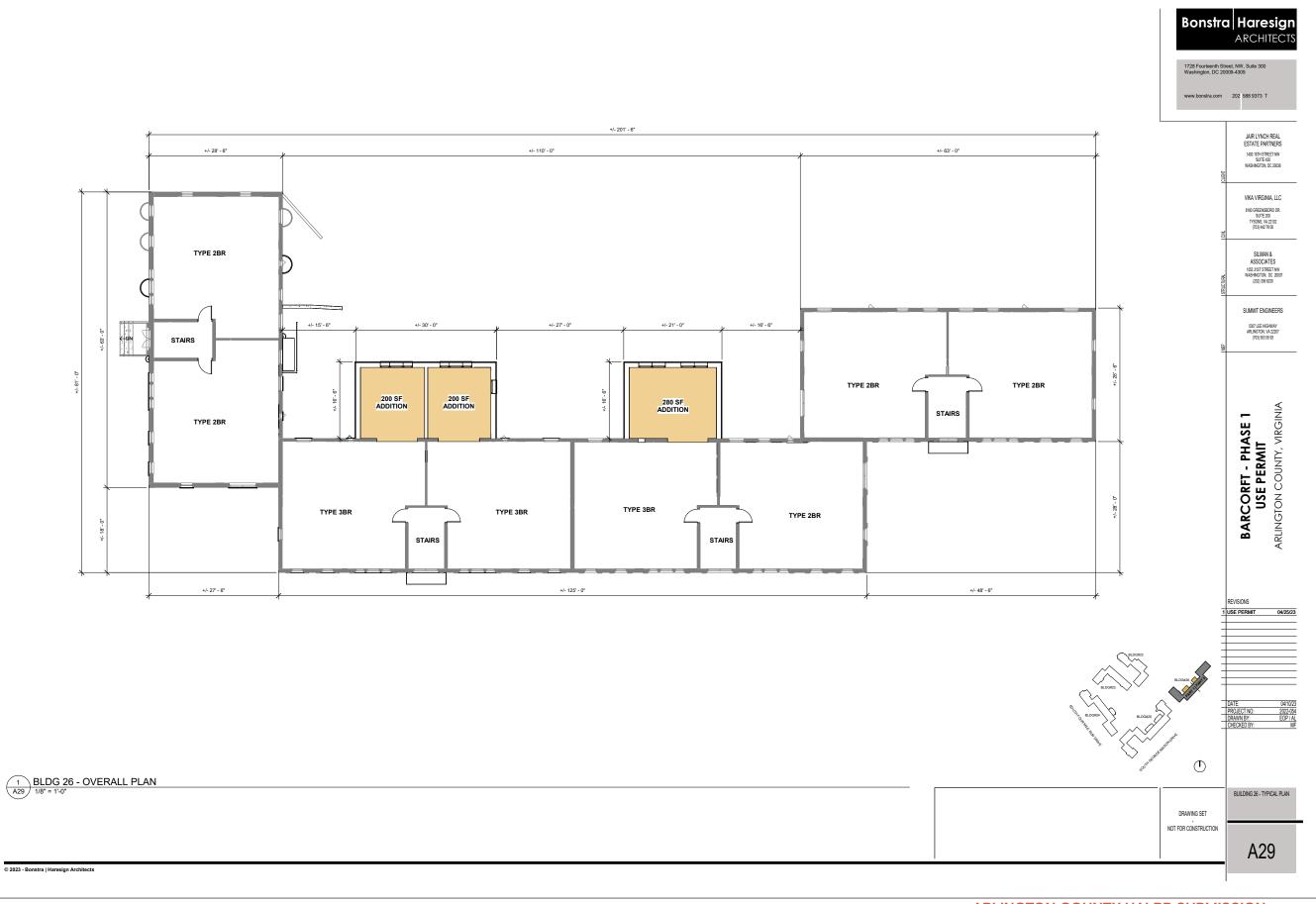
# **BUILDING 26**

EXISTING & PROPOSED UNIT MIX			
BUILDING	UNIT TYPE	EXISTING	PROPOSED
26	1BR	_	1
	2BR	18	12
	3BR	_	6
	4BR	-	_
	TOTAL	18	18









Bonstra Haresign

**ARCHITECTS** 

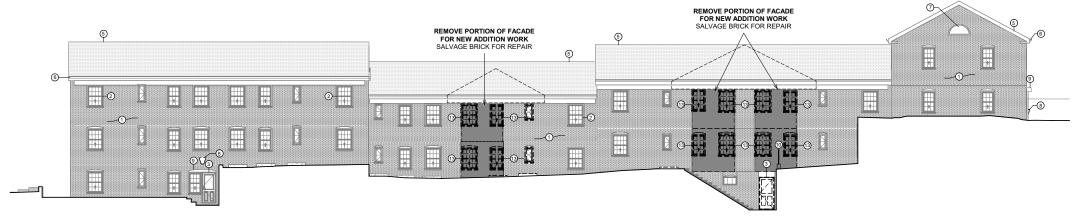
JAIR LYNCH REAL ESTATE PARTNERS

VIKA VIRGINIA. LLC

SII MAN & 1053 31ST STREET NW WASHINGTON, DC 20007 (202) 336 6230







## 2 BLDG 26 - ELEVATION B - DEMO 400210 1/8" = 1'-0"

#### **GENERAL DEMOLITION ELEVATION NOTES**

- REPOINT DETERORIATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;

- REPOINT DETERIORATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
   REMOWE DAMACED WINDOWS HAVE REMOVED BRICKS FOR RELISE;
   REMOWE DAMACED WINDOWS HALTERS, TYP.
   GENITY CLEAN AND WASH ALL ESSITING BRICK AND CONCRETE FAACES WITH LOW-TO-MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PS) OR BELOW) AND PROGRESS AS NEEDED TO SLIGHTLY HIGHER PRESSURE NOT TO EXCEED 300-400PSI. ALL EXTERIOR CLEANING TO BE UNDERTAKEN USING THE CENTLEST HEAD POSSIBLE TO ADHERE TO THE SECRETARY OF THE INTERCRES STANDARDS AND NPS PRESERVATION BRIEFFE. ASSESSING CLEANING AND WATER-REPELLANT TREATMENTS POR INSTORME AND AND ADMITTANCE PLAY STARD MATCH TO THE METAL AND ADMITTANCE AND ADMITTANCE PLAY STARD MATCH TO THE METAL PLAY STARD

#### **KEYED DEMOLITION ELEVATION NOTES**

- EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP;
   EXISTING WINDOWS TO REMAIN, TYP;
   ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REM

- EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TVP,

  EXISTING WINDOWS TO REMAIN, TVP,

  ALL EXISTING BRUINDING EXTERIOR ENTRY DOORS TO REMAIN, REPAIR AS NECESSARY, TVP;

  REMOVE ALL EXISTING GUITER NASE COUMMENT, TVP,

  REMOVE EXISTING GUITER AND DOWNSPOUT, TVP,

  REMOVE EXISTING GUITER AND DOWNSPOUT, TVP,

  EXISTING ATTICK PRIVET TO REMAIN, TYP,

  EXISTING ATTICK PRIVET TO REMAIN, TYP,

  EXISTING ATTICK PRIVET OR REMAIN TYP,

  EXISTING RATICK OF THE TO REMAIN, PREPARE FOR CONSTRUCTION OF CANOPY;

  EXISTING RATICK TO REMAIN, PREPARE TO RECEIVE NEW PAINT;

  EXISTING SHETINGS TO REMAIN, SHEPARS, NECESSARY, PREPARE TO RECEIVE NEW PAINT, TVP;

  EXISTING SHETINGS TO REMAIN, REPARS, NECESSARY, PREPARE TO RECEIVE NEW PAINT, TVP;

  EXISTING SHETINGS TO REMAIN, REPARS, NECESSARY, PREPARE TO RECEIVE NEW PAINT, TVP;

  EXISTING SHETINGS TO REMAIN, REPARS, NECESSARY, PREPARE TO RECEIVE NEW PAINT, TVP;

  EXISTING SHETINGS TO REMAIN, REPARS, NECESSARY, PREPARE TO RECEIVE NEW PAINT, TVP;

  EXISTING SHETINGS WINDOWS.

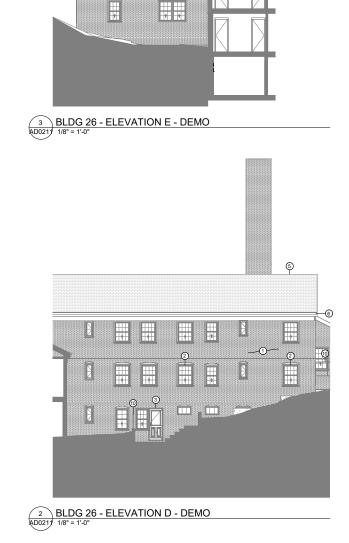
- REMOVE EXISTING WINDOWS:

SUMMIT ENGINEERS BARCORFT - PHASE 1 USE PERMIT ARLINGTON COUNTY, VIRGINIA ARLINGTON BUILDING 26 - ELEVATIONS -DRAWING SET NOT FOR CONSTRUCTION

**BARCROFT PHASE I REHABILITATION BUILDING 26 - DEMOLITION ELEVATIONS** 







### **GENERAL DEMOLITION ELEVATION NOTES**

- REPOINT DETERORIATED MORTAR TO MATCH EXISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;

- 1. REPOINT DETERIORISED MORTAR TO MATCH DISTING (TYPE, COLOR, COMPOSITION, AND TOOLING) WHERE NECESSARY;
  2. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
  3. REMOVE DAMAGED WINDOW SHUTTERS, TYP.
  4. GENTLY CLEAN AND WASH ALL EXISTING BRICK AND CONCRETE FAAGES WITH LOW-TO MEDIUM PRESSURE. START WITH A VERY LOW PRESSURE (100PS) OR BELOW) AND PROGRESS AS NEEDED TO SLIGHTLY HOWER PRESSURE NOT TO EXCEED 300-400PSI. ALL EXITENDOR CLEANING TO BE UNDERTRICKEN USING THE CENTLESS MEANS POSSIBLE TO ADMERT IT THE SECRET ANY OF THE INTERCRES STANDARDS AND NPS PRESERVATION BRIEFFIT ASSESSING CLEANING AND WATER-REPELLANT TREATMENTS OF INSTORIC MASONRY BUILDINGS.
  5. ALL WINDOWS CLEET THAN 25 YEARS MUST BE REMOVED;
  6. PREPARE EXSTRING PALLING TO BE PAINTED;
  7. CLEAN AND WASH ALL EXISTING WINDOW WILLS, REFER TO NOTE #4;

#### **KEYED DEMOLITION ELEVATION NOTES**

- EXISTING BRICK, CONCRETE AND TRIM TO REMAIN, TYP;
   EXISTING WINDOWS TO REMAIN, TYP;
   ALL EXISTING BUILDING EXTERIOR ENTRY DOORS TO REM.
   REMOVE ALL EXISTING EXTERIOR HVAC FOUIPMENT TYP.
- EXISTING BRICK, CONCRETE AND TRINI TO REMAIN, TYP;

  ALL EXISTING WINDON'S TO EMBAIN, TYP;

  ALL EXISTING WINDON'S TO EMBAIN, TYP;

  BELLOVE, STRING EXTERIOR HAVE COURTIENT, TYP;

  BERLOVE, ELISTING EXTERIOR HAVE COURTIENT, TYP;

  BELLOVE EXISTING EXISTING STRING HAVE COURTIENT, TYP;

  BELLOVE EXISTING GATHER AND DOWNSPOUT, TYP;

  EXISTING ATTIC VERYS TO REMAIN, THE PROPER FOR CONSTRUCTION OF CANCEY;

  EXISTING ATTIC VERYS TO REMAIN, THE PRAFE FOR CONSTRUCTION OF CANCEY;

  EXISTING BRILLING TO REMAIN, PREPARE TO RECOVER NEW PAINT;

  EXISTING BRILLING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;

  EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;

  EXISTING RAILING TO REMAIN, PREPARE TO RECEIVE NEW PAINT;

  EXISTING FAILTING TO REMAIN, PREPARE TO RESSARY, PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING FAILTING TO REMAIN STREAM SA CESSARY, PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING FAILTING TO REMAIN STREAM SA CESSARY, PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING FAILTING TO REMAIN STREAM SA CESSARY, PREPARE TO RECEIVE NEW PAINT, TYP;

  EXISTING FAILTING TO REMAIN STREAM SA CESSARY, PREPARE TO RECEIVE NEW PAINT, TYP;

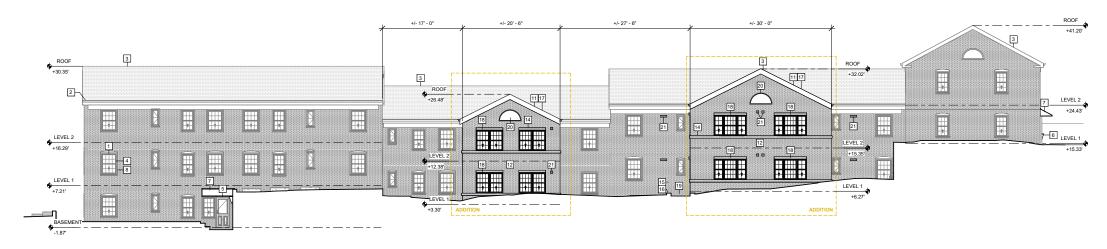
  EXISTING FAILTING TO REMAIN STREAM.

- (3) REMOVE EXISTING WINDOWS:

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1 BLDG 26 - ELEVATION A ASE: 109.5



2 BLDG 26 - ELEVATION B ASE: 109.5'

#### **GENERAL NEW WORK ELEVATION NOTES**

- REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM, POINT-UP MORTAR TO MATCH EXISTING;

- REPARCE MILLORING UNITED AND LINEW HING NOTICE; AND MILL POINT OF MORTRY TO MILLOR EASTING;
   GCT TO CORROBINET WITH MEP ON ALL KIEW HING INSTALLATION WORK;
   INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOSTUNGE, OR MILLORING HIS MILLORING SPEECH.

  REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
   REPAINT EXISTING EXTERIOR STEEL PRODUCTS; PONDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
   BRICK REPAIR FOLLOWING REMOVAL OF PTACHHAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

\*NOTE: ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY. ELEVATIONS IN FIELD MAY VARY (+)- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS. ELEVATIONS TO BE VERIFIED IN FIELD.

### **KEYED NEW WORK ELEVATION NOTES**

- T REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;

- REPLACE AND OUT PRIME AND PAINT ALL CORRODED METAL LIMTELS, OR THOSE NOT ALREADY PAINTED;

  REPLACE M KIND GUTTERS AND DOWNSOUTS, TYP;

  REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;

  EIXTRING WINDOWN TO REMAIN, CLEAN AS NECESSARY TYPAINT, HARDWARE, ETC...), TYP;

  PROVIDE A INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTER), SEE SCHEDULE FOR MORE INFORMATION, TYP;

  PROVIDE A INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTER), SEE SCHEDULE FOR MORE INFORMATION, TYP;

  PROVIDE A INSTALL NEW CANDRY, DESIGN TED;

  EXTERIOR YIGODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALLIMINUM, OR SIMILAR MATERIALS,

  REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;

- PAINT EXISTING RAILING; NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;

- 12 NEW BRICK WALL TO MATCH EXISTING COLOR;
  13 NEW BRICK WALL, SIZE AND COLOR TRO-121 NEW BRICK WALL TO MATCH EUSTING COLOR
  132 NEW BRICK WALL SIZE AND COLOR TBD;
  144 NEW BRICK WALL SIZE AND COLOR TBD;
  154 NEW BRICK RAULING, COLOR TO MATCH EXISTING, (BLACK);
  165 NEW META RAULING, COLOR TO MATCH EXISTING, (BLACK);
  166 NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;
  167 NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;
  168 NEW WINDOW, SIZE SULBLECT TO CHANGE, AND TEXTURE TO MATCH EXISTING;
  169 NEW CONCRETE STATE, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE,
  160 NEW ATTLE VIATE, DESCAN DATO CARTION, TO STATE AND CARTION OF THE STATE AND LOCATION TBD.
  161 NEW BRICK VENT PERISTATIONS, GHAVE, GRATHROOM EXHAUST, EXACT SIZE AND LOCATION
  TBD. SIZE SELECTED AS CORPORATIONS OF THE ASSESSMENT AS TEXTURED LOCATION
  TROS SES SELECTED AS CORPORATIONS OF THE ASSESSMENT AS TEXTURED LOCATION.

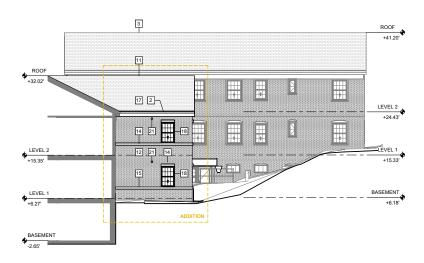
- TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;

JAIR LYNCH REAL ESTATE PARTNERS VIKA VIRGINIA. LLC 8180 GREENSBORD DR. SUITE 200 TYSONS, VA 22102 (703) 442 78 00 SII MAN & 1053 31ST STREET NW WASHINGTON, DC 2000 (202) 336 6230 SUMMIT ENGINEERS BARCORFT - PHASE 1 USE PERMIT ARLINGTON COUNTY, VIRGINIA ARLINGTON BUILDING 26 - ELEVATIONS DRAWING SET NOT FOR CONSTRUCTION A35

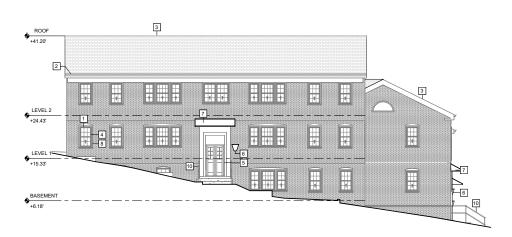
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3 BLDG 26 - ELEVATION E ASE: 109.5'



1 BLDG 26 - ELEVATION C ASE: 109.5'

### **GENERAL NEW WORK ELEVATION NOTES**

- REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM, POINT-UP MORTAR TO MATCH EXISTING;

- REPARCE MILLORING UNITED AND LINEW HING NOTICE; AND MILL POINT OF MORTRY TO MILLOR EASTING;
   GCT TO CORROBINET WITH MEP ON ALL KIEW HING INSTALLATION WORK;
   INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOSTUNGE, OR MILLORING HIS MILLORING SPEECH.

  REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
   REPAINT EXISTING EXTERIOR STEEL PRODUCTS; PONDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
   BRICK REPAIR FOLLOWING REMOVAL OF PTACHHAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

\*NOTE: ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY. ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS. ELEVATIONS TO BE VERIFIED IN FIELD.

#### **KEYED NEW WORK ELEVATION NOTES**

- T REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;

- REPLACE ANDOR PRIME AND PAINT ALL CORRODED METAL LIMITELS, OR THOSE NOT ALREADY PAINTED;

  REPLACE IN KIND GUTTERS AND DOINSPOUTS, TYP;

  REPAIRS LAITE TILES MARTOR IS ZE, SHAPE, COLOR, AND TEXTURE, AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;

  EXISTING WINDOWS TO RELIANG, LEAN OR IS DESSARY TYP.

  REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC...), TYP;

  PROVIDE A INSTALL NEW EXTERIOR LIGHT TO MAITOR EXISTING COLONIAL REVIVAL STYLE LANTER), SEE SCHEDULE FOR MORE INFORMATION, TYP;

  PROVIDE A INSTALL NEW CANOPY, DESGIST BD;

  EXTERIOR WOODEN TRIAL TO BE CLAD WITH WINKL, WINY COATED ALUMINUM, OR SIMILAR MATERIALS;

  REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;

  PAINT EXISTING RAILING;

  PAINT EXISTING RAILING:

- 11 NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;

ALL ELEMENTS RELATED TO NEW BASEMENT ACCESS (CONCRETE WALLS, RAILINGS, STAIRS, ETC) WILL BE DELETED FROM THE PROJECT. PLANS, ELEVATIONS AND SECTIONS WILL BE UPDATED FOR THE FINAL SUBMISSION.

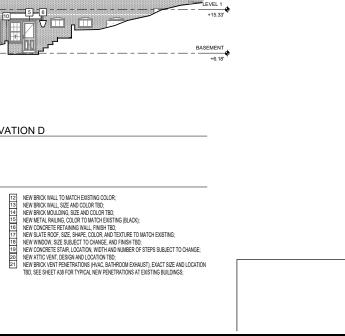
4 BLDG 26 - ELEVATION F ASE: 109.5 3 +41.2 \_2

17 2

+16.29'

\$\\\
\begin{pmatrix} \text{LEVEL 1} \\ \psi \\ \text{7.21'} \end{pmatrix}

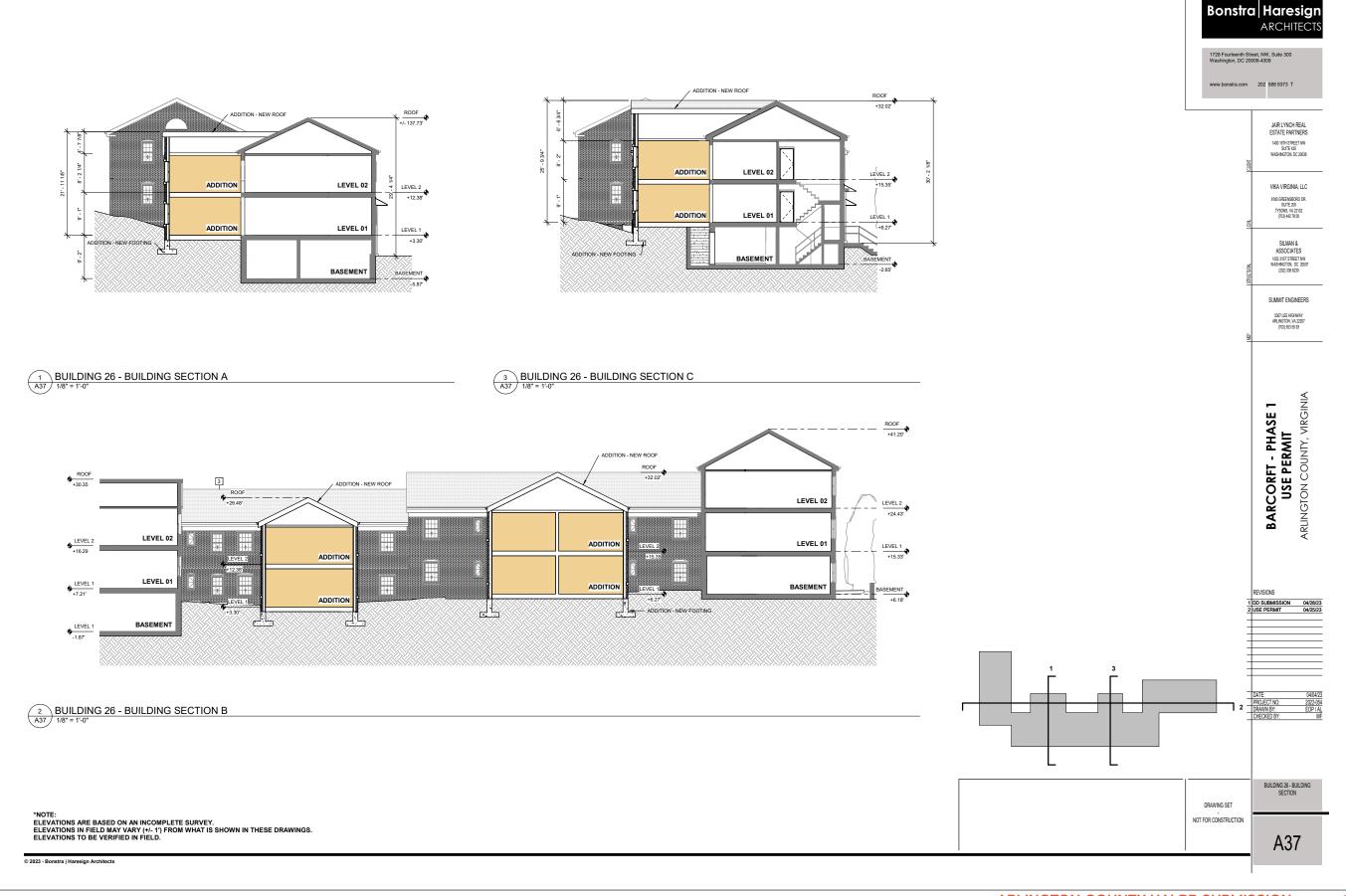
BLDG 26 - ELEVATION D 1/8" = 1'-0" ASE: 109.5'



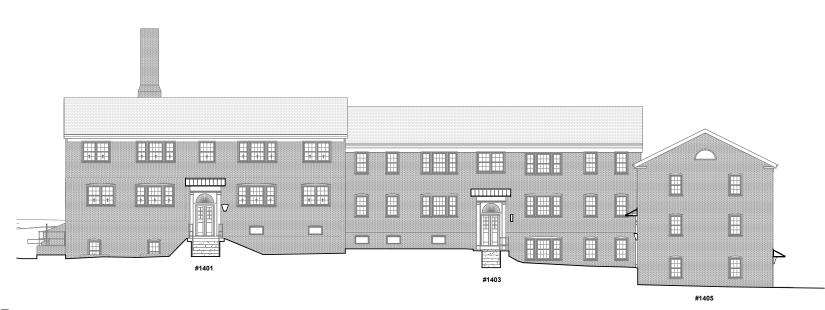
Bonstra Haresign ARCHITECTS w.bonstra.com 202 588 9373 T JAIR LYNCH REAL ESTATE PARTNERS VIKA VIRGINIA. LLC SII MAN & SUMMIT ENGINEERS BARCORFT - PHASE 1 USE PERMIT ARLINGTON BUILDING 26 - ELEVATIONS DRAWING SET NOT FOR CONSTRUCTION A36

BARCROFT PHASE I REHABILITATION

BUILDING 26 - BUILDING SECTION

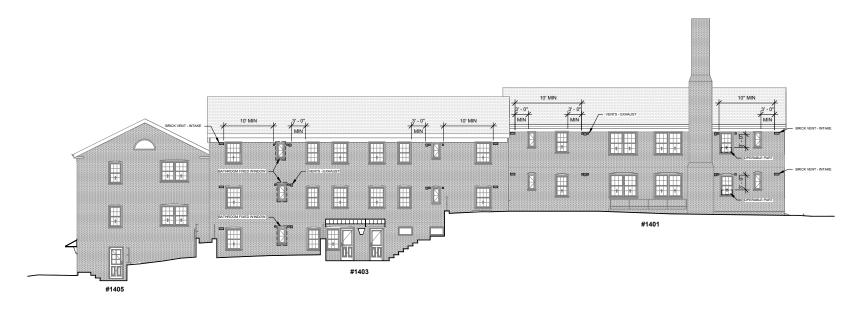


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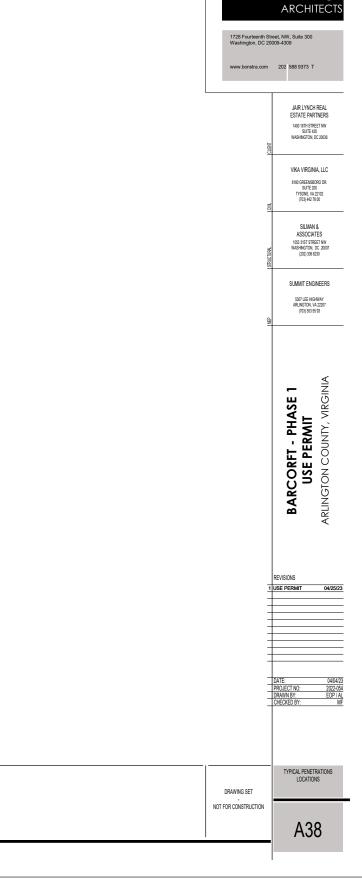
TYPICAL PENETRATIONS - FRONT FACADE

\*ALL PENETRATIONS AT ADDRESSES #1401, #1403, #1405, #1405, #1409, #1411, #4409, #4407, #4405, #4403, #1418, #1416, #1414, #1406, AND #1400 TO BE LOCATED SOLELY ON BACK FACADE.



TYPICAL PENETRATIONS - BACK FACADE

\*ALL PENETRATIONS AT ADDRESSES #1401, #1403, #1405, #1407, #1409, #1411, #4409, #4407, #4405, #4403, #1418, #1416, #1414, #1408, #1406, AND #1400 TO BE LOCATED ON BACK FACADE.
\*SIZES AND LOCATIONS SHOWN FOR REFERENCE ONLY.
\*ACTUAL SIZES AND LOCATIONS TO BE CONFIRMED AT A LATER TIME.
\*IMPACT ON WINDOW OPERABLE PARTS TO BE CONFIRMED DEPENDING ON FINAL LOCATION AND SIZING.



## **DESIGN CHANGES AND OPTIONS SUMMARY**

/ MISCELLANEOUS

/ MATERIALS

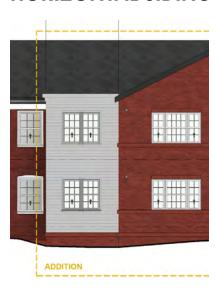
**2 BRICK COLOR** 



**1BRICK COLOR** 



**HORIZONTAL SIDING** 



**VERTICAL SIDING** 



## **MODIFICATIONS**

- ATTIC VENTS HAVE BEEN REDUCED IN SIZE
- BRICK LINTELS AND BELTS TO MATCH TYPICAL BRICK COLOR

/ WINDOW PATTERNS

**OPTION 1** 



**OPTION 2** 



**OPTION 3** 



**Jair Lynch** 

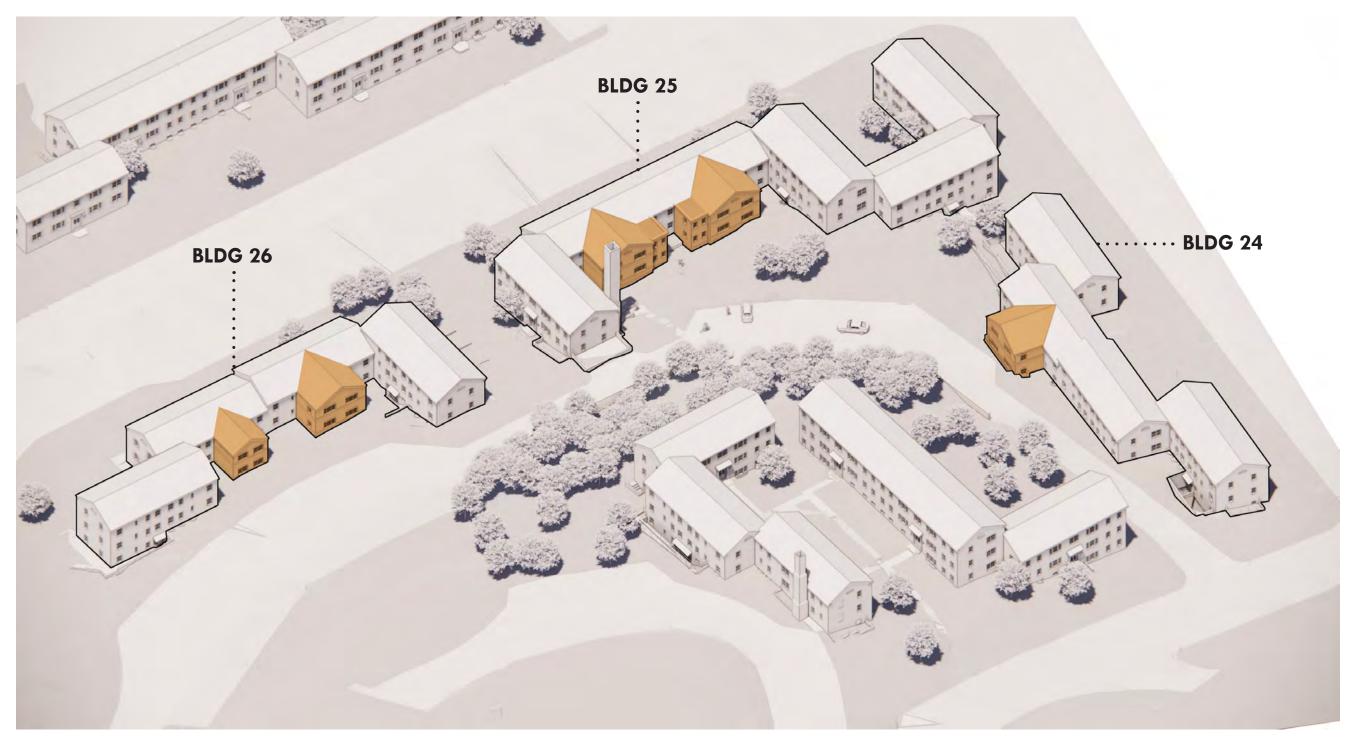
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**BARCROFT APARTMENTS - SECTION 3 - PHASE 1** 

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BARCROFT PHASE I REHABILITATION ADDITIONS STUDY

## **ADDITIONS STUDY**



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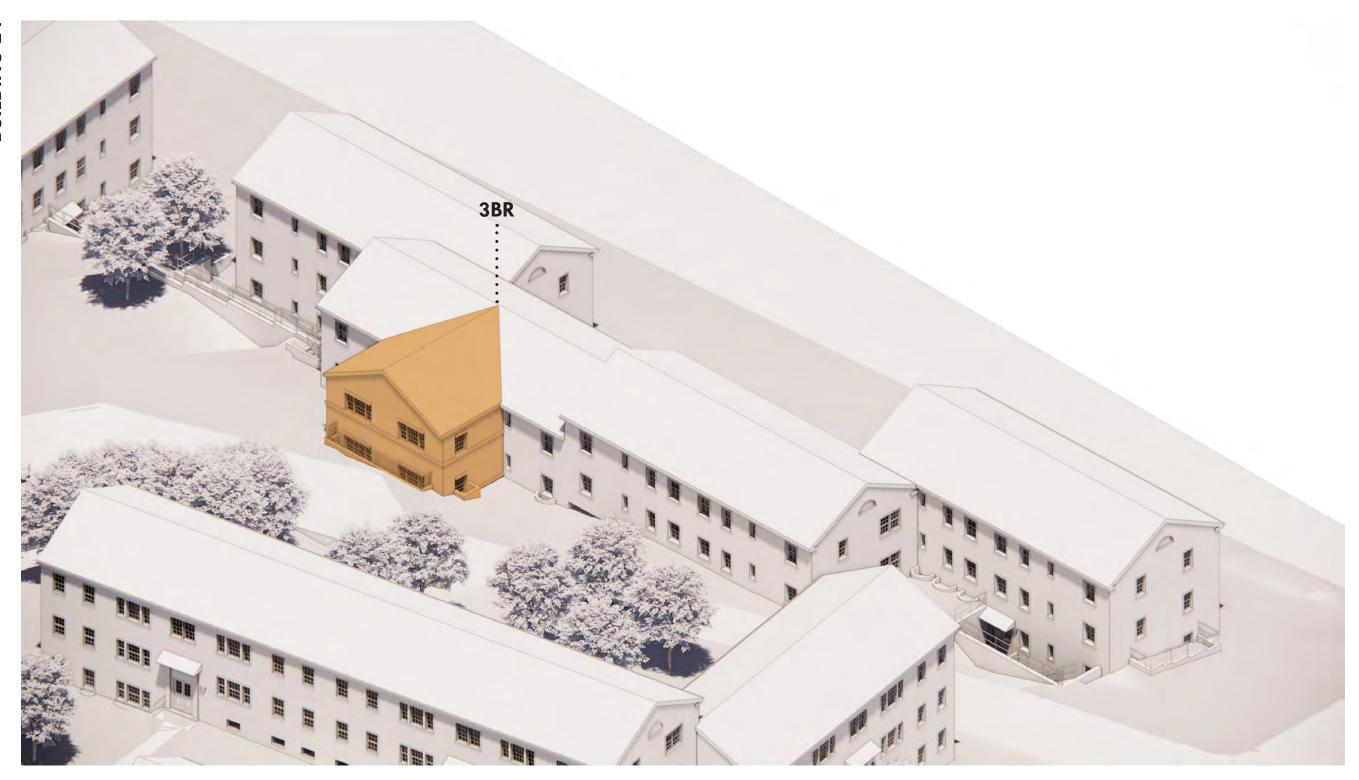
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BARCROFT PHASE I REHABILITATION ADDITIONS STUDY - BUILDING 24

**BUILDING 24** 



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MAY 10, 2023

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**ADDITIONS STUDY - BUILDING 24** BARCROFT PHASE I REHABILITATION



### **GENERAL NEW WORK ELEVATION NOTES**

- REPLACE ANDIOR INFILL DAMAGED BRICK, CONCRETE, AND TRIM, POINT-UP MORTAR TO MATCH EXISTING;
- GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK; INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER,
- MOISTURE, OR MILDEW IS PRESENT:
- REPAINT EXISTING EXTERIOR STEEL PRODUCTS; POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR
- 6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

### **KEYED NEW WORK ELEVATION NOTES**

- REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;
- REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP; REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;
- EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP:
- REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC...), TYP;
  PROVIDE & INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTER), SEE SCHEDULE FOR MORE INFORMATION, TYP;
- EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;
- REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY; PAINT EXISTING RAILING:
- NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;

- 12 NEW BRICK WALL TO MATCH EXISTING COLOR;
- NEW BRICK WALL, SIZE AND COLOR TBD; NEW BRICK MOULDING, SIZE AND COLOR TBD;
- NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);
- NEW CONCRETE RETAINING WALL, FINISH TBD;
- NEW CONCRETE RETAINING WALL, FINISH TBU;

  NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;

  NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;
- NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE: NEW ATTIC VENT, DESIGN AND LOCATION TBD;
- 21 NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION
- TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;

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BARCROFT PHASE I REHABILITATION ADDITIONS STUDY - BUILDING 25



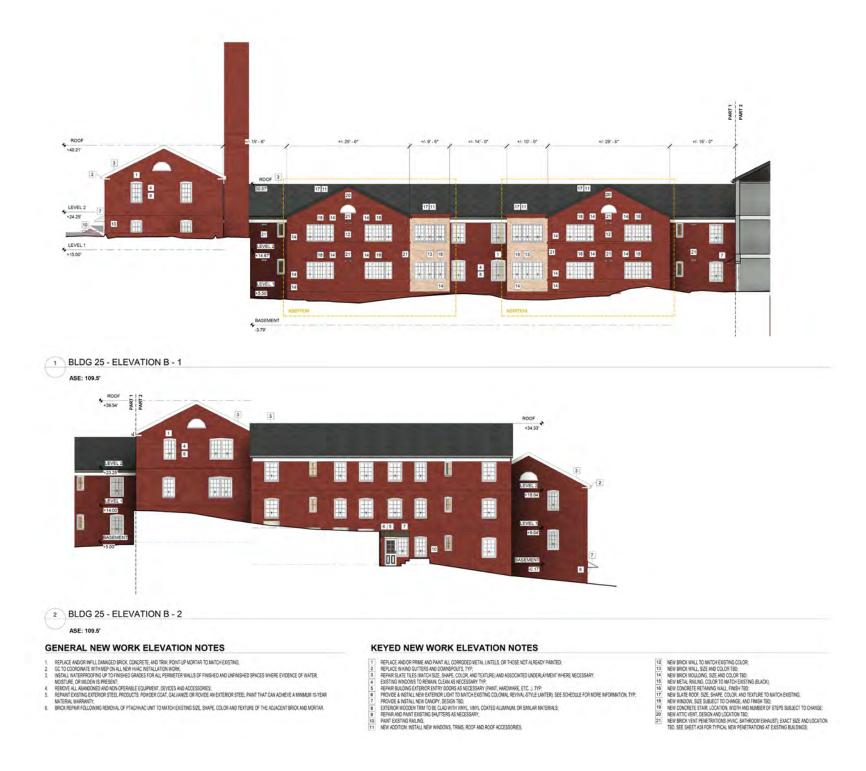
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BARCROFT PHASE I REHABILITATION ADDITIONS STUDY - BUILDING 25



### Jair Lynch

### **BARCROFT APARTMENTS - SECTION 3 - PHASE 1**

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OPTION 1 - 2 BRICK COLORS

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**OPTION 2 - 1 BRICK COLOR** 



**OPTION 3 - HORIZONTAL WOOD SIDING** 



**OPTION 4 - VERTICAL WOOD SIDING** 



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**BARCROFT APARTMENTS - SECTION 3 - PHASE 1** 

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**OPTION 3 - 2 PUNCHED WINDOWS** 







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BARCROFT PHASE I REHABILITATION ADDITIONS STUDY - BUILDING 26

**BUILDING 26** 



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**BARCROFT PHASE I REHABILITATION ADDITIONS STUDY - BUILDING 26** 



BLDG 26 - ELEVATION B ASE: 109.5'

### **GENERAL NEW WORK ELEVATION NOTES**

- REPLACE ANDIOR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
- GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK; INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT:

- REPAINT EXISTING EXTERIOR STEEL PRODUCTS; POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR
- 6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

### **KEYED NEW WORK ELEVATION NOTES**

- REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;
- REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP; REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;
- EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP:
- REPAIR BUILDING EXTERIOR ENTRY DOORS AS INCCESSARY (PAINT, HARDWARE, ETC...), TYP, PROVIDE & INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL STYLE LANTER), SEE SCHEDULE FOR MORE INFORMATION, TYP, PROVIDE & INSTALL NEW CANOPY, DESIGN TED;
- EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;
- REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;
- PAINT EXISTING RAILING: NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;

- 12 NEW BRICK WALL TO MATCH EXISTING COLOR;
- NEW BRICK WALL, SIZE AND COLOR TED; NEW BRICK MOULDING, SIZE AND COLOR TED;
- NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK); NEW CONCRETE RETAINING WALL, FINISH TBD;
- NEW CONCRETE RETAINING WALL, FINISH TBU;

  NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;

  NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;
- NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE:
- NEW ATTIC VENT, DESIGN AND LOCATION TBD;
- 21 NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;

**Jair Lynch** 

**BARCROFT APARTMENTS - SECTION 3 - PHASE 1** 

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