

Historical Affairs and Landmark Review Board

Arlington County, Virginia



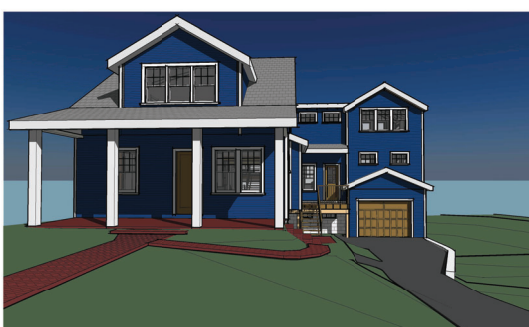
HALRB Meeting September 18, 2024, CoA 24-09A

2725 23rd Rd. N.: Request to amend CoA 24-09 to remove four windows; replace windows on the original house; change rear deck materials; and change window sizing on the addition.

8/22/2024 10:12:23 AM

COE RESIDENCE ADDITION

2725 23RD RD N
ARLINGTON, VA 22201



GENERAL

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGN-BUILDER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES.

CODES AND STANDARDS

THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATIONS REFERENCED WITHIN SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT. USE THE LATEST EDITIONS UNLESS NOTED OTHERWISE.

MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ANSI/ASCE 7), AMERICAN SOCIETY OF CIVIL ENGINEERS.

BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318), AMERICAN CONCRETE INSTITUTE.

CODE REQUIREMENTS FOR RESIDENTIAL CONCRETE (ACI 332), AMERICAN CONCRETE INSTITUTE.

ACI MANUAL OF CONCRETE PRACTICE - PARTS 1 THROUGH 5.

MANUAL OF STANDARD PRACTICE, CONCRETE REINFORCING STEEL INSTITUTE.

MANUAL OF STEEL CONSTRUCTION - ALLOWABLE STRESS DESIGN - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (INCLUDING SPECIFICATIONS FOR STRUCTURAL JOISTS USING ATSM A325 OR A490 BOLTS AND AISC CODE OF STANDARD PRACTICE WITH EXCEPTION, IF ANY, AS INDICATED IN THE SPECIFICATIONS).

MANUAL OF STEEL CONSTRUCTION, VOLUME II - CONNECTIONS - AMERICAN INSTITUTE OF STEEL CONSTRUCTION.

DETAILING FOR STEEL CONSTRUCTION, AMERICAN INSTITUTE OF STEEL CONSTRUCTION.

STRUCTURAL WELDING CODE (ANSI/AWS 1.1-92), AMERICAN WELDING SOCIETY.

DESIGN MANUAL FOR FLOOR DECKS AND ROOF DECKS, STEEL DECK INSTITUTE.

SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS, AMERICAN IRON AND STEEL INSTITUTE.

BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/TMS 402) AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530/ ASCE 7/TMS 602).

NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS)

MISCELLANEOUS NOTES

EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 IN. AND A SILL LESS THAN 44" ABOVE FIN. FLR.

ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING.

SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEPHOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

PROVIDE COMBUSTION AIR VENTS (W/SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

PROVIDE CRAWLSPACE VENTING TO MEET THE REQUIREMENTS OF THE 2006 EDITION OF THE I.R.C.

DRAWING SCHEDULE

NUMBER	SHEET NAME
A001	COVER PAGE
A002	GENERAL NOTES
A003	AREA PLANS
A004	SURVEY PLAT
A005	EXISTING STUDY
A006	EXISTING SITE PHOTOS
A007	PERSPECTIVES
A008	PROPOSED PERSPECTIVES
A101	DEMOLITION PLAN GARAGE BASEMENT LEVEL
A102	DEMOLITION PLAN BASEMENT LEVEL
A103	DEMOLITION PLAN FIRST LEVEL
A104	DEMOLITION PLAN SECOND LEVEL
A105	DEMOLITION ROOF PLAN
A111	PROPOSED GARAGE BASEMENT PLAN
A112	PROPOSED BASEMENT PLAN
A113	PROPOSED FIRST LEVEL PLAN
A114	PROPOSED SECOND LEVEL PLAN
A115	PROPOSED ROOF PLAN
A201	FRONT ELEVATION
A202	RIGHT ELEVATION
A203	BACK ELEVATION
A204	LEFT ELEVATION
A301	SECTION 01
A401	WINDOW DOOR SCHEDULES
A402	MATERIAL TAKEOFFS
A403	MATERIAL TAKEOFFS
A501	TYPICAL DETAILS
A601	DEN - INTERIOR ENLARGED PLANS
A602	DEN - INTERIOR ELEVATIONS
A603	BASEMENT BATH 1 - ENLARGED PLANS
A611	KITCHEN PLANS AND PERSPECTIVES
A612	KITCHEN ELEVATIONS
A613	GREAT ROOM PLANS
A614	GREAT ROOM ELEVATIONS
A615	POWDER ROOM PLANS AND ELEVATIONS
A616	PANTRY PLANS AND ELEVATIONS
A617	MUDROOM PLANS AND ELEVATIONS
A618	PLAYROOM PLANS
A619	PLAYROOM ELEVATIONS
A620	OFFICE PLANS AND ELEVATIONS
A621	PRIMARY BEDROOM ENLARGED PLAN
A622	PRIMARY BEDROOM ELEVATIONS
A623	PRIMARY CLOSET PLANS AND ELEVATIONS
A624	PRIMARY BATHROOM PLANS AND ELEVATIONS
A625	LAUNDRY PLANS AND ELEVATIONS
A626	BATH 3 PLANS AND ELEVATIONS
A627	BATH 4 PLANS AND ELEVATIONS
A628	BEDROOM 2 PLANS AND ELEVATIONS
A629	BEDROOM 3 PLANS AND ELEVATIONS
A630	BEDROOM 4 PLANS
A631	BEDROOM 4 ELEVATIONS
A801	WINDBRACING DIAGRAMS
A802	WINDBRACING DETAILS
A803	WINDBRACING DETAILS
A902	PROPOSED INTERIOR PERSPECTIVES
S001	FOUNDATION PLAN
S102	BASEMENT LEVEL WALL FRAMING
S103	FIRST LEVEL FLOOR FRAMING PLAN
S104	FIRST LEVEL WALL FRAMING
S105	SECOND LEVEL FLOOR FRAMING PLAN
S106	SECOND LEVEL WALL FRAMING PLAN
S107	SECOND LEVEL ROOF FRAMING PLAN
S301	SECTIONS
S501	STRUCTURAL ISOMETRIC

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PROJECT INFORMATION

ZONING DISTRICT: R-6
LOT NUMBER: 213
LOT SQUARE FOOTAGE: 28651 SF
BUILDING SQUARE FOOTAGE: 2073 SF

Appendix F: Map of Maywood



MAYWOOD HOMEOWNER'S HANDBOOK; DESIGN GUIDELINES

CODE

PROJECT SHALL CONFORM TO THE 2018 VIRGINIA UNIFORM STATEWIDE BUILDING CODE AND 2018 VIRGINIA INTERNATIONAL RESIDENTIAL CODE.

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CODE (IRC)

PROJECT
**COE
RESIDENCE**
2725 23RD RD N
ARLINGTON, VA 22201

REVISIONS		
NO.	DESCRIPTION	DATE
1	REVISION 01	2024.07.15
2	REVISION 02	2024.08.14

SHEET TITLE

**COVER
PAGE**

SCALE 1" = 1'-0"

DATE 2024.08.22

SHEET NO.

A001

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SITE WORK
BUILDER TO LOCATE ALL SURFACE AND SUBSURFACE UTILITIES IN THE AREA OF THE CONSTRUCTION PRIOR TO COMMENCING WORK.

THE BUILDER SHALL STORE MATERIALS IN A SAFE AREA ON SITE WITH PROTECTION FROM WEATHER. DO NOT STACK BUILDING MATERIALS IN A MANNER THAT COULD CREATE CONCENTRATED LOADS ON NEW OR EXISTING WORK.

BUILDER SHALL RETAIN A GEOTECHNICAL ENGINEER TO TEST SOIL BEARING CAPACITY IF FIELD INSPECTION INDICATES A NEED.

PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.

MATERIAL
W AND WT SHAPES: ASTM A 992, FT = 50 KSI
M, MT, S, ST, HP, C, MC AND L SHAPES: ASTM A 36, FT = 36 KSI
STEEL PIPE: ASTM A 53, GRADE B, FT = 35 KSI

STEEL HSS SECTIONS (ROUND, SQUARE, RECTANGULAR): COLD ROLLED, ASTM A 500, GRADE B, FT = 46 KSI
HOT ROLLED, ASTM A 501
STEEL PLATES: ASTM A 36, FT = 36 KSI
HEADED STUDS: ASTM A 108, GRADES 1010 THROUGH 1016 INCLUSIVE.

WELDING: CONFORM WITH AWS WABO SPECIFICATIONS.
WELDERS TO BE QUALIFIED UNDER AWS WABO SPECIFICATIONS.

DESIGN LOADS
GROUND SNOW LOAD = 25 psf
WIND SPEED = 115 MPH
SEISMIC DESIGN CATEGORY = B

TERMITE INFESTATION PROBABILITY = MODERATE TO HEAVY
DECAY PROBABILITY = SLIGHT TO MODERATE
WINTER DESIGN TEMPERATURE = 17° F

MEAN ANNUAL TEMPERATURE = 55° F
FLOOR LIVE LOADS (PER VRC2015 - TABLE R301.5)
LIVING AREAS = 40 psf
SLEEPING AREAS = 30 psf

EXTERIOR BALCONIES & DECKS
HABITABLE ATTICS & ATTICS SERVED W/ FIXED STAIRS = 30 psf
UNCHARITABLE ATTICS W/ STORAGE = 10 psf
FLOOR DEAD LOAD = 10 psf U.N.O.

ROOF LIVE LOAD = 30 psf
ROOF DEAD LOAD = 20 psf
SOIL BEARING CAPACITY = 1,500 psf V.I.F.
WATER TABLE = 2'-0" MIN. BELOW BOTTOM OF ALL CONCRETE FOOTINGS & SLABS

BACKFILL = 30 psf U.N.O.

NAILING NOTES PER IRC TABLE R602.3

JOIST TO SILL OR GIRDER BRIDGING TO JOIST
SOLE PLATE TO JOIST OR BLK'G STUD TO SOLE PLATE

CEILING JOISTS TO PLATE CONTINUOUS HEADER, TWO PIECES
BUILT-UP HEADER, TWO PIECES
W/ 1/2" SPACER

CEILING JOISTS, LAPS OVER PARTITIONS
CEILING JOISTS TO PARALLEL RAFTERS
RAFTER TO PLATE
1" BRACE TO EACH STUD AND PLATE

2x MULTIPLE JOISTS - STAGGER @ 15" OC
W/2 @ EA. END OR SPLICE
(3) OR MORE
16d NAILS
1/2" DIA M.B. W/ STANDARD NUT AND WASHERS

A. ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTH AS SHOWN.

F. FOR REGIONS HAVING BASIC WIND SPEED OF 110 MPH OR GREATER, 8D DEFORMED (2 1/2" x 0.120) NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MINIMUM 48-INCH DISTANCE FROM GABLE END WALLS.

H. GYPSUM SHEATHING SHALL CONFORM TO ASTM C 1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C 208.

J. WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, PROVIDE TWO TOE NAILS ON ONE SIDE OF THE RAFTER AND TWO NAILS ON THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE.

STAIRWAY AND RAILING
STAIRWAY SHALL NOT BE LESS THAN 36" IN WIDTH.
STAIRWAY RISER SHALL NOT BE GREATER THAN 6 1/4".

POST / BALUSTERS OPENING NOT GREATER THAN 4".
STAIRWAY HEADROOM HEIGHT SHALL NOT BE LESS THAN 6'-8".
STAIRWAY HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" AND NO MORE THAN 38".

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.
3/4" MIN. HEIGHT GUARDRAIL SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, 15) STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.

MECHANICAL REQUIREMENTS
WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH IRC SECTION M1507.3.

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WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH IRC SECTION M1507.3.

ELECTRICAL
ELECTRICAL, DATA, & AUDIO NOTES: HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. ORG.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR.

AUDIO: LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER JACKS TO AUDIO HOME PANEL SPECIFIED BY FLOOR.

PLUMBING
HVAC SHALL HAVE THREE ZONES, ONE FOR EACH FLOOR.
THE FURNACE AND WATER HEATER ON FLOOR 1 SHALL SERVE FLOORS 1 & 2.

VENTILATION
ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX AND TANKLESS WATER HEATER SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

INSULATION REQUIREMENTS
REFER TO TABLE N1102.1.2 (R402.1.2)
CLIMATE ZONE: 4
FENESTRATION U-FACTOR: 0.32

MECHANICAL REQUIREMENTS
WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH IRC SECTION M1507.3.

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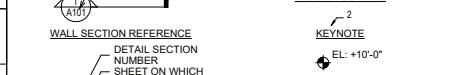
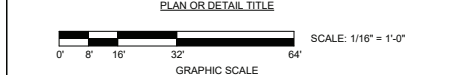
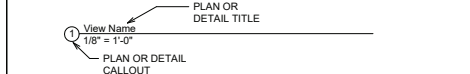
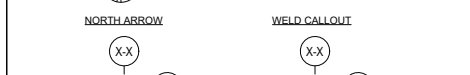
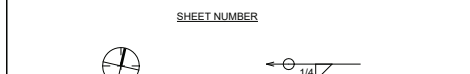
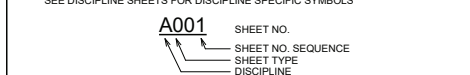
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GRAPHIC SYMBOLS
SEE DISCIPLINE SHEETS FOR DISCIPLINE SPECIFIC SYMBOLS



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CODE
2018 VIRGINIA RESIDENTIAL CODE (IRC)

PROJECT
COE RESIDENCE

2725 23RD RD N
ARLINGTON, VA 22201

Table with columns: NO., DESCRIPTION, DATE. Contains multiple empty rows for revisions.

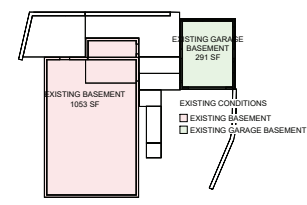
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GENERAL NOTES

SCALE As indicated
DATE 2024.06.22
SHEET NO.

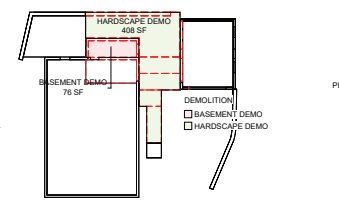
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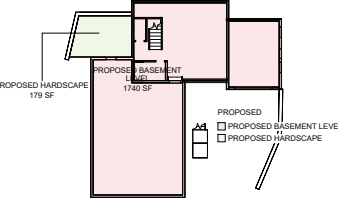
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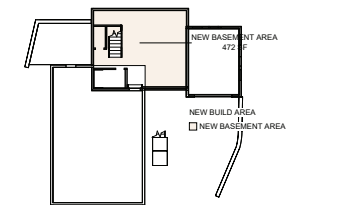
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1/16" = 1'-0"



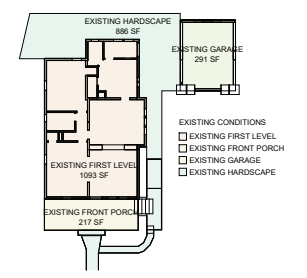
4 BASEMENT LEVEL AREA DEMOLITION
1/16" = 1'-0"



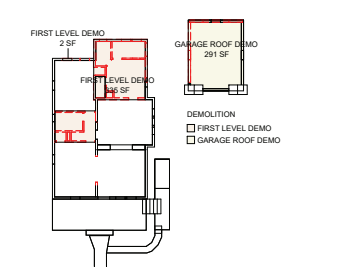
3 BASEMENT LEVEL PROPOSED
1/16" = 1'-0"



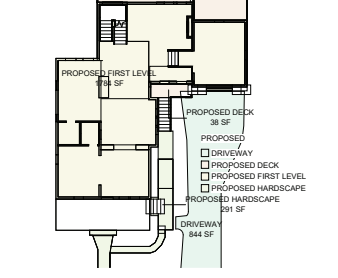
11 BASEMENT LEVEL NEW BUILD
1/16" = 1'-0"



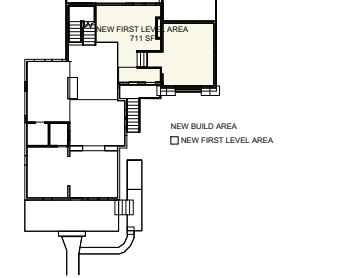
2 FIRST LEVEL EXISTING AREA
1/16" = 1'-0"



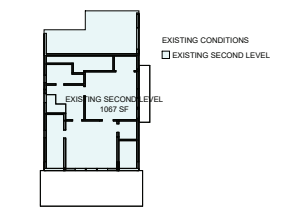
5 FIRST LEVEL DEMOLITION AREA
1/16" = 1'-0"



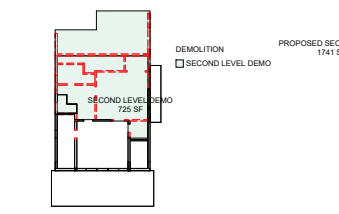
9 FIRST LEVEL PROPOSED
1/16" = 1'-0"



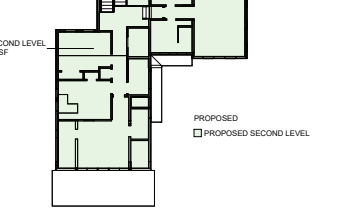
12 FIRST LEVEL NEW BUILD
1/16" = 1'-0"



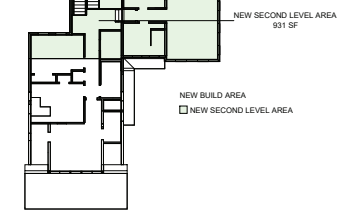
3 SECOND LEVEL EXISTING AREA
1/16" = 1'-0"



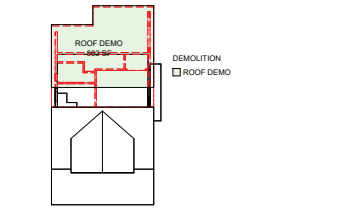
6 SECOND LEVEL DEMOLITION AREA
1/16" = 1'-0"



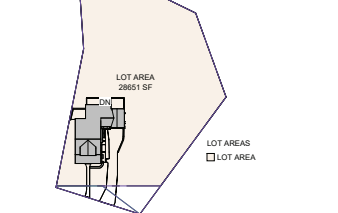
10 SECOND LEVEL PROPOSED
1/16" = 1'-0"



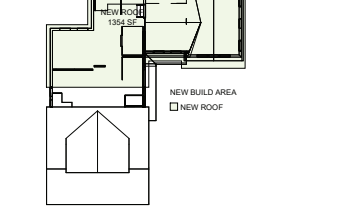
13 SECOND LEVEL NEW BUILD
1/16" = 1'-0"



7 ROOF PLAN DEMOLITION AREA
1/16" = 1'-0"



15 LOT AREA
1/64" = 1'-0"



14 NEW ROOF RIDGE NEW BUILD
1/16" = 1'-0"

EXISTING CONDITION AREA		
NAME	AREA	LEVEL
EXISTING BASEMENT	1053 SF	BASEMENT LEVEL
EXISTING GARAGE BASEMENT	291 SF	BASEMENT LEVEL
EXISTING GARAGE	291 SF	FIRST LEVEL
EXISTING FIRST LEVEL	1093 SF	FIRST LEVEL
EXISTING HARDSCAPE	886 SF	FIRST LEVEL
EXISTING FRONT PORCH	217 SF	FIRST LEVEL
EXISTING SECOND LEVEL	1067 SF	SECOND LEVEL
TOTAL	4898 SF	

DEMOLITION AREA		
NAME	AREA	LEVEL
HARDSCAPE DEMO	408 SF	BASEMENT LEVEL
BASEMENT DEMO	76 SF	BASEMENT LEVEL
FIRST LEVEL DEMO	335 SF	FIRST LEVEL
GARAGE ROOF DEMO	291 SF	FIRST LEVEL
FIRST LEVEL DEMO	2 SF	FIRST LEVEL
SECOND LEVEL DEMO	725 SF	SECOND LEVEL
ROOF DEMO	563 SF	NEW ROOF RIDGE
TOTAL	2398 SF	

NEW BUILD AREA		
TITLE	AREA	LEVEL
NEW BASEMENT AREA	472 SF	BASEMENT LEVEL
NEW FIRST LEVEL AREA	711 SF	FIRST LEVEL
NEW SECOND LEVEL AREA	931 SF	SECOND LEVEL
NEW ROOF	1354 SF	NEW ROOF RIDGE
TOTAL	3468 SF	

PROPOSED AREA PLAN		
NAME	AREA	LEVEL
PROPOSED BASEMENT LEVEL	1740 SF	BASEMENT LEVEL
PROPOSED FIRST LEVEL	1784 SF	FIRST LEVEL
PROPOSED DECK	402 SF	FIRST LEVEL
PROPOSED DRIVEWAY	844 SF	FIRST LEVEL
PROPOSED HARDSCAPE	291 SF	FIRST LEVEL
PROPOSED HARDSCAPE	179 SF	BASEMENT LEVEL
PROPOSED SECOND LEVEL	1741 SF	SECOND LEVEL
DRIVEWAY	844 SF	FIRST LEVEL
TOTAL	7018 SF	

LOT AREA		
NAME	AREA	LEVEL
LOT AREA	28651 SF	



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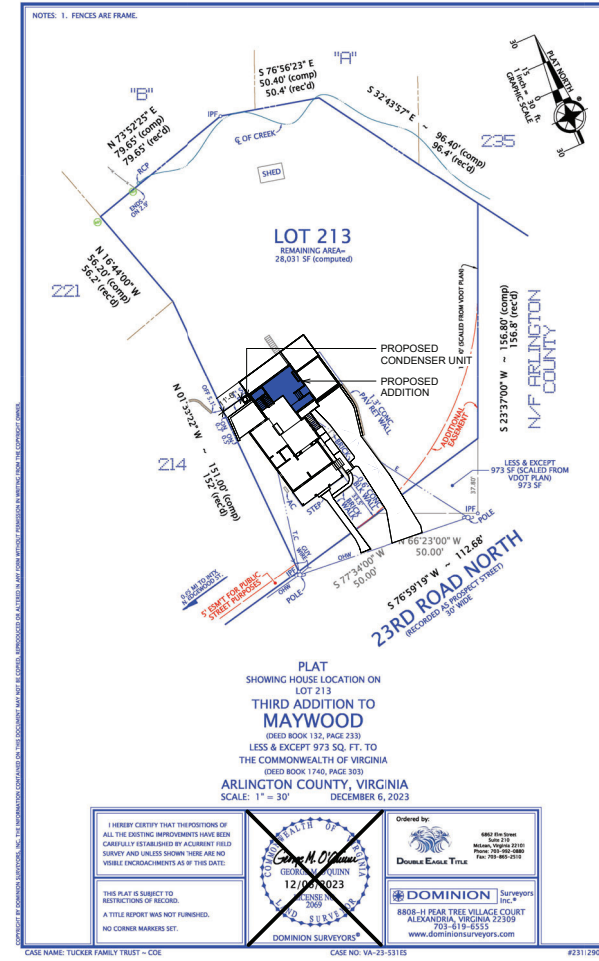
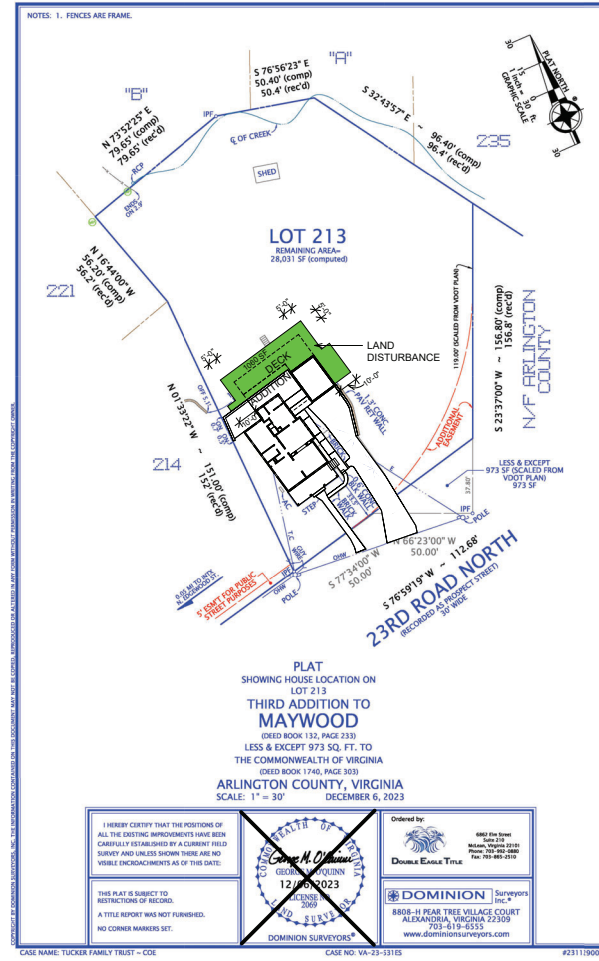
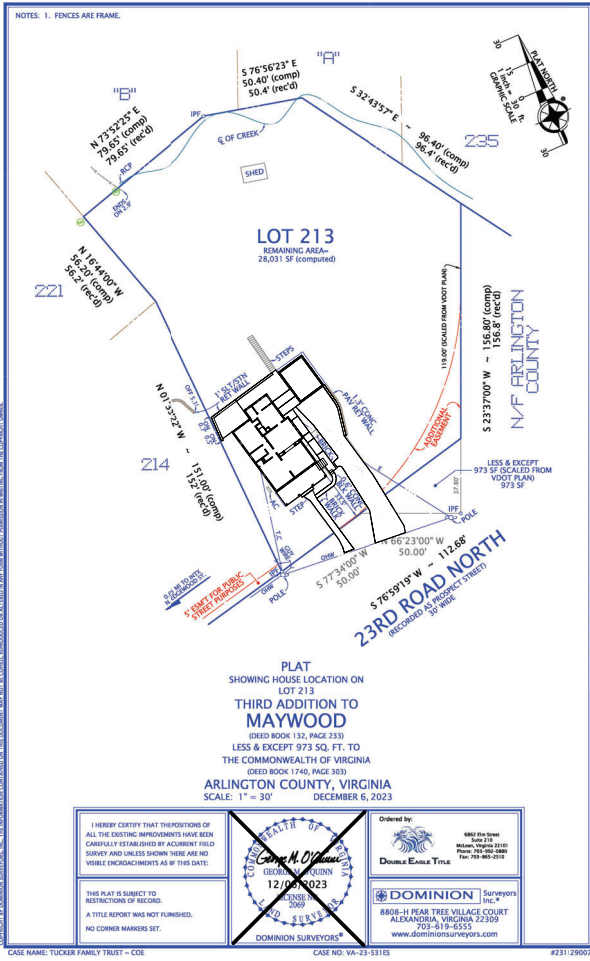
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REVISIONS		
NO.	DESCRIPTION	DATE

SHEET TITLE
AREA PLANS

SCALE As indicated
DATE 2024.08.19
SHEET NO.

A003



1 EXISTING CONDITION PLAT
1" = 30'-0"

2 LAND DISTURBANCE
1" = 30'-0"

3 PROPOSED PLAT
1" = 30'-0"



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1	REVISION 01	06/04/2023

SHEET TITLE
SURVEY
PLAT

SCALE 1" = 30'-0"
DATE 2024.08.19
SHEET NO.

A004

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© Shared_drive\MC3_Arch_Moedl\23045 - 2725 23rd Rd N\23045 - 2725 23rd Rd N - 20_01_03 PROPOSED.rvt



MATCH EXISTING EXTERIOR SIDING PROPORTIONS ON PROPOSED EXTENSION. PROPOSED NAVY BLUE COLOR ON ALL SIDING.

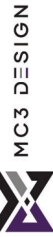
ANY NEW ROOF OVERHANGS SHOULD DISPLAY FAUX RAFTERS AS DOES EXISTING HOUSE.

FOUNDATION WALLS ON EXTENSION TO MATCH EXISTING

WINDOWS ON PROPOSED EXTENSION SHOULD MATCH EXISTING WINDOW LITE PROPORTION AND STYLE

MATCH CORNER AND WINDOW TRIM ON PROPOSED EXTENSION

ANY NEW HARDSCAPE TO MATCH EXISTING BRICK PAVER



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SHEET TITLE
**EXISTING
STUDY**

SCALE
DATE 2024.03.20
SHEET NO.

A005

2024-08-19 6:08:46 PM
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BRICK PAVER TO BE REPAIRED AS NEEDED IN AREAS WHERE DESIGNATED TO REMAIN



PROPOSED ROOF OVERHANGS MATCH EXPOSED RAFTER STYLE

EXISTING WOOD SIDING TO BE PAINTED NAVY BLUE

PROPOSED TO MATCH EXISTING CORNER TRIM PROPORTIONS, PAINT WHITE



PROPOSED FRONT FOUNDATION WALLS TO MATCH EXISTING TEXTURED CMU, PAINTED WHITE



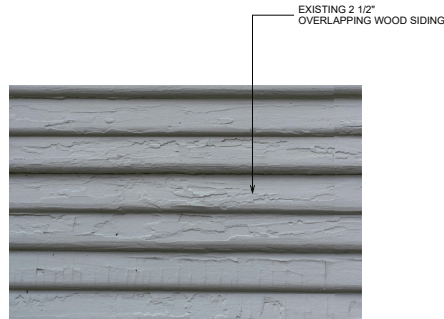
PORTION OF GABLE ROOF TO REMAIN

EXTERIOR WALL TO REMAIN

REPLACE EXISTING GARAGE DOOR WITH FAUX DOUBLE DOOR STYLE WOOD GARAGE DOOR TO BE INSTALLED



PROPOSED BATHROOM WINDOWS TO MATCH PROPORTION AND STYLE OF THESE EXISTING WINDOWS



EXISTING 2 1/2" OVERLAPPING WOOD SIDING

EXISTING FRONT PORCH WINDOWS. PROPOSED TO MATCH:



PROPOSED WINDOWS TO MATCH EXISTING MUNTIN PROFILE AND BE INTEGRAL TO GLASS PANES

TRIM AROUND PROPOSED WINDOWS TO MATCH EXISTING PROFILE



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NO.	DESCRIPTION	DATE

SHEET TITLE
**EXISTING
SITE
PHOTOS**

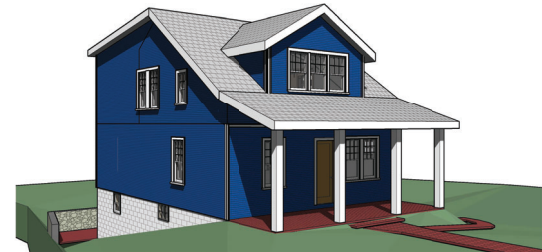
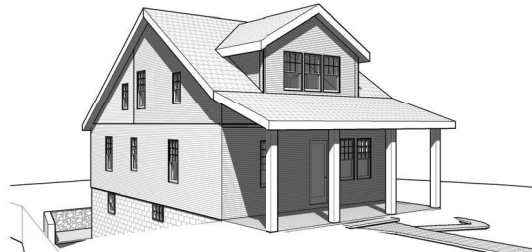
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DATE 2024.08.19
SHEET NO.

A006

PHOTO:

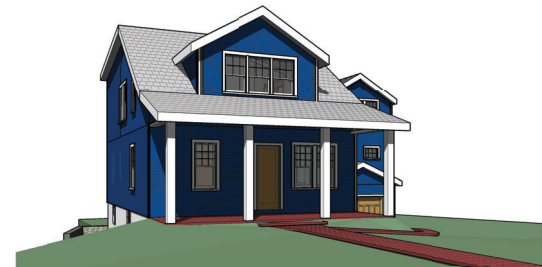
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PROPOSED:



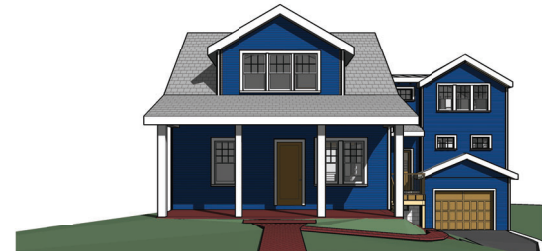
⑦ EXISTING - EXTERIOR VIEW 01

① PROPOSED - EXTERIOR VIEW 01



② EXISTING - EXTERIOR VIEW 03

③ PROPOSED - EXTERIOR VIEW 03



⑤ EXISTING - EXTERIOR VIEW 04

④ PROPOSED - EXTERIOR VIEW 04



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SHEET TITLE
PERSPECTIVES

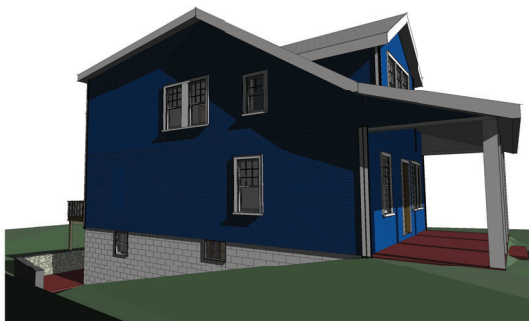
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DATE 2024.08.19
SHEET NO.

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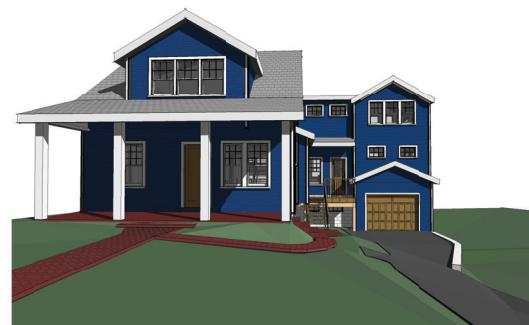
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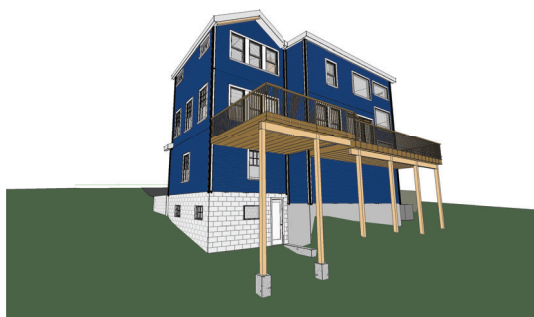
1 EXTERIOR - FRONT PERSPECTIVE VIEW 01



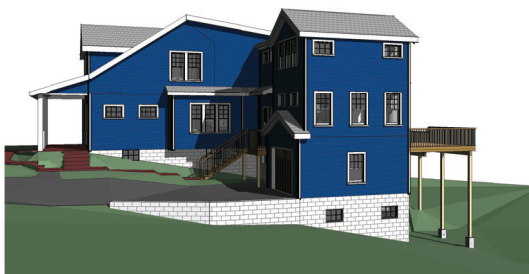
2 EXTERIOR - LEFT PERSPECTIVE 01



6 EXTERIOR - FRONT PERSPECTIVE 02



3 EXTERIOR - BACK PERSPECTIVE 01



4 EXTERIOR - RIGHT PERSPECTIVE 01



5 EXTERIOR - BACK PERSPECTIVE 02

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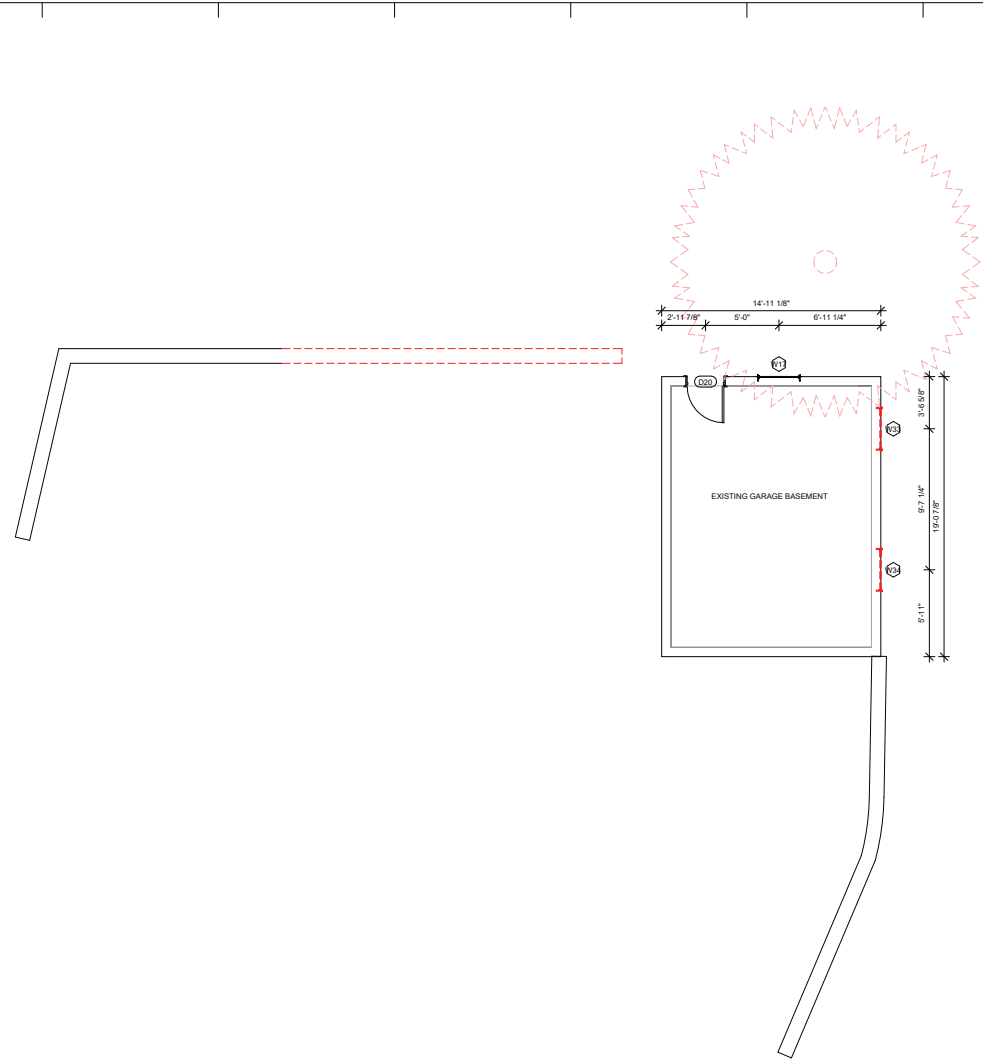
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**PROPOSED
PERSPECTIVES**

SCALE
DATE 2024.09.09
SHEET NO.

A008

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A101 - EXISTING GARAGE BASEMENT DOOR SCHEDULE							
DOOR NUMBER	HEADER HEIGHT	WIDTH	EXISTING OR NEW		DEMO		
D20	84	30	EXISTING		None		
A101 - EXISTING GARAGE BASEMENT WINDOW SCHEDULE							
QTY	LABEL	WIDTH	HEIGHT	SILL HEIGHT	HEADER HEIGHT	CREATED	DEMO
1	W33	35"	24"	49"	73"	EXISTING	NEW CONSTRUCTION
1	W34	35"	24"	49"	73"	EXISTING	NEW CONSTRUCTION
1	W17	35"	24"	49"	73"	EXISTING	None
TOTAL: 3							
A101 - GARAGE BASEMENT WALL DEMOLITION TAKEOFF							
MATERIAL NAME		AREA	LINEAR FOOTAGE				
EXISTING RETAINING WALL		219 SF	23,208 LF				

1-00 - GARAGE BASEMENT LEVEL DEMOLITION PLAN
1/4" = 1'-0"



MC3 DESIGN



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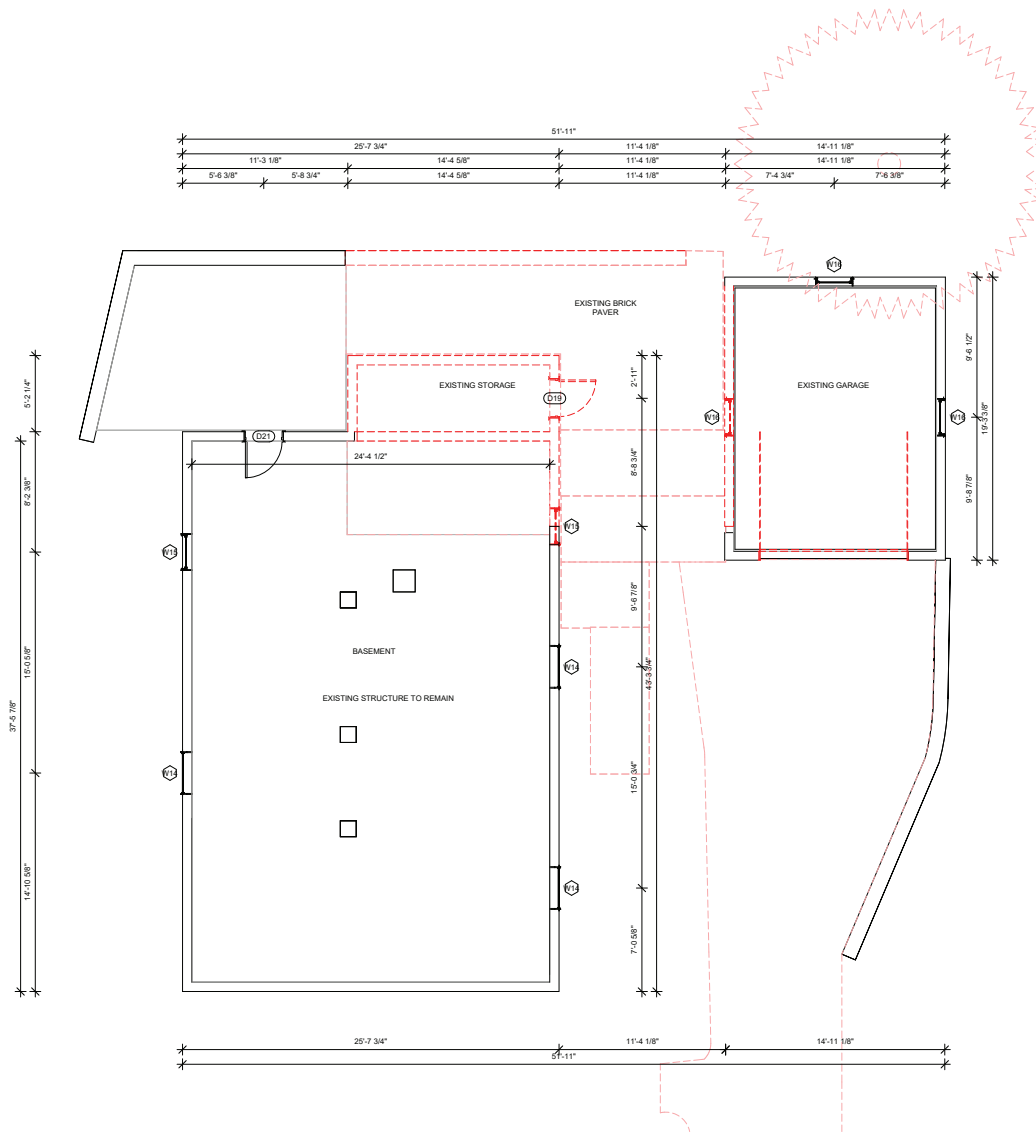
NO.	DESCRIPTION	DATE

SHEET TITLE
**DEMOLITION
 PLAN
 GARAGE
 BASEMENT
 LEVEL**

SCALE 1/4" = 1'-0"
 DATE 2024.08.22
 SHEET NO.

A101

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1 01 - BASEMENT LEVEL DEMOLITION PLAN
1/4" = 1'-0"

A102 - EXISTING BASEMENT DOOR SCHEDULE					
DOOR NUMBER	HEADER HEIGHT	WIDTH	EXISTING OR NEW	DEMO	
D19	84	30	EXISTING	NEW CONSTRUCTION	
D21	84	30	EXISTING	None	

A102 - EXISTING GARAGE DOOR SCHEDULE					
DOOR NUMBER	HEADER HEIGHT	WIDTH	EXISTING OR NEW	DEMO	
D45	84	120	EXISTING	NEW CONSTRUCTION	

A102 - EXISTING BASEMENT WINDOW SCHEDULE							
QTY	LABEL	WIDTH	HEIGHT	SILL HEIGHT	HEADER HEIGHT	CREATED	DEMO
1	W15	30"	35"	61"	96"	EXISTING	NEW CONSTRUCTION
3	W14	35"	24"	72"	96"	EXISTING	None
1	W15	30"	35"	60"	95"	EXISTING	None
TOTAL: 5							

A102 - EXISTING GARAGE WINDOW SCHEDULE							
QTY	LABEL	WIDTH	HEIGHT	SILL HEIGHT	HEADER HEIGHT	CREATED	DEMO
1	W16	31"	54"	24"	78"	EXISTING	NEW CONSTRUCTION
2	W16	31"	54"	24"	78"	EXISTING	None
TOTAL: 3							

A102 - BASEMENT FLOORING DEMOLITION TAKEOFF			
MATERIAL NAME	AREA	COMMENTS	
BRICK PAVER HERRINGBONE	316 SF		
CONCRETE	148 SF		

A102 - BASEMENT WALL DEMOLITION TAKEOFF			
MATERIAL NAME	AREA	LINEAR FOOTAGE	
TEXTURED 8" CMU	329 SF	44,658 LF	

A102 - BASEMENT CEILING DEMOLITION TAKEOFF			
MATERIAL NAME	AREA	COMMENT	
GYPSUM WALL BOARD 1/2"	209 SF	ALL EXISTING WINDOWS TO REMAIN TO BE REPLACED WITH MARVIN ULTIMATE WOOD SERIES WINDOWS TO MATCH EXISTING DIMENSIONS AND STYLE	



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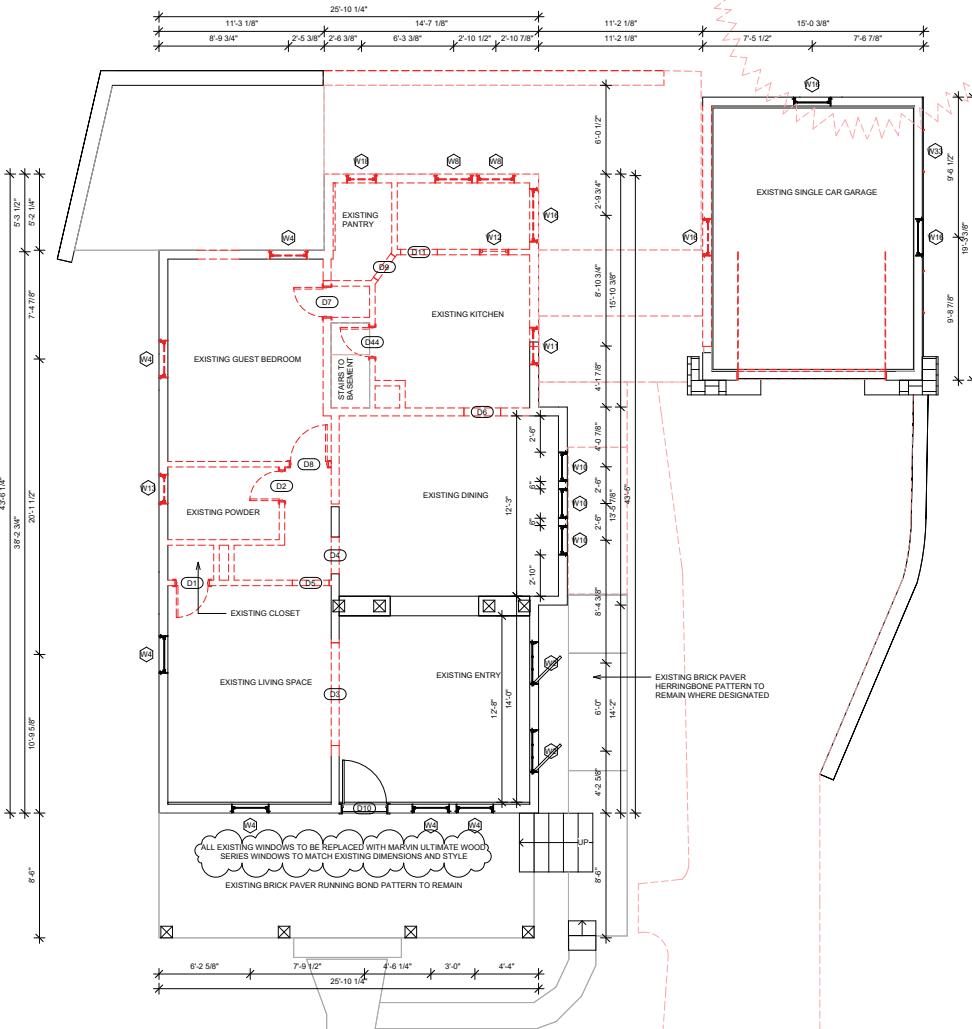
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**DEMOLITION
PLAN
BASEMENT
LEVEL**

SCALE 1/4" = 1'-0"
DATE 2024.08.22
SHEET NO.

A102

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02 - FIRST LEVEL DEMOLITION PLAN
1/4" = 1'-0"

A103 - EXISTING FIRST LEVEL DOOR SCHEDULE

DOOR NUMBER	HEADER HEIGHT	WIDTH	EXISTING OR NEW	DEMO
D1	80	26	EXISTING	NEW CONSTRUCTION
D3	0	84	EXISTING	NEW CONSTRUCTION
D2	77	24	EXISTING	NEW CONSTRUCTION
D4	0	0	EXISTING	NEW CONSTRUCTION
D5	0	0	EXISTING	NEW CONSTRUCTION
D6	0	0	EXISTING	NEW CONSTRUCTION
D7	77	24	EXISTING	NEW CONSTRUCTION
D8	80	30	EXISTING	NEW CONSTRUCTION
D9	0	0	EXISTING	NEW CONSTRUCTION
D11	0	0	EXISTING	NEW CONSTRUCTION
D44	77	24	EXISTING	NEW CONSTRUCTION
D10	90	36	EXISTING	None

A103 - EXISTING FIRST LEVEL WINDOW SCHEDULE

QTY	LABEL	WIDTH	HEIGHT	SILL HEIGHT	HEADER HEIGHT	CREATED	DEMO
2	W4	31"	62"	30"	92"	EXISTING	NEW CONSTRUCTION
1	W8	31"	45"	28"	73"	EXISTING	NEW CONSTRUCTION
1	W11	31"	48"	45"	93"	EXISTING	NEW CONSTRUCTION
1	W12	24"	24"	36"	60"	EXISTING	NEW CONSTRUCTION
1	W13	24"	54"	38"	92"	EXISTING	NEW CONSTRUCTION
1	W16	44"	45"	28"	73"	EXISTING	NEW CONSTRUCTION
1	W18	24"	45"	24"	69"	EXISTING	NEW CONSTRUCTION
2	W2	35"	24"	63"	87"	EXISTING	None
4	W4	31"	62"	<varies>	<varies>	EXISTING	None
3	W10	24"	62"	30"	92"	EXISTING	None

TOTAL: 18

A103 - FIRST LEVEL FLOORING DEMOLITION TAKEOFF

MATERIAL NAME	AREA	COMMENTS
BRICK PAVER HERRINGBONE	87 SF	

A103 - FIRST LEVEL WALL DEMOLITION TAKEOFF

MATERIAL NAME	AREA	LINEAR FOOTAGE
1/2" WALL SHEATHING PLYWOOD	199 SF	30,738 LF
2X4 DIMENSIONAL LUMBER	500 SF	78,404 LF
2X6 DIMENSIONAL LUMBER	402 SF	61,823 LF
AIR FILTRATION BARRIER	202 SF	30,738 LF
EXTERIOR SIDING	199 SF	30,738 LF
GYP SUM WALL BOARD 1/2"	1599 SF	140,227 LF
VAPOR RETARDER	202 SF	30,738 LF

A103 - FIRST LEVEL CEILING DEMOLITION TAKEOFF

MATERIAL NAME	AREA	COMMENT
GYP SUM WALL BOARD 1/2"	739 SF	



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2	REVISION 02	2024.08.14

SHEET TITLE
**DEMOLITION
PLAN FIRST
LEVEL**

SCALE 1/4" = 1'-0"

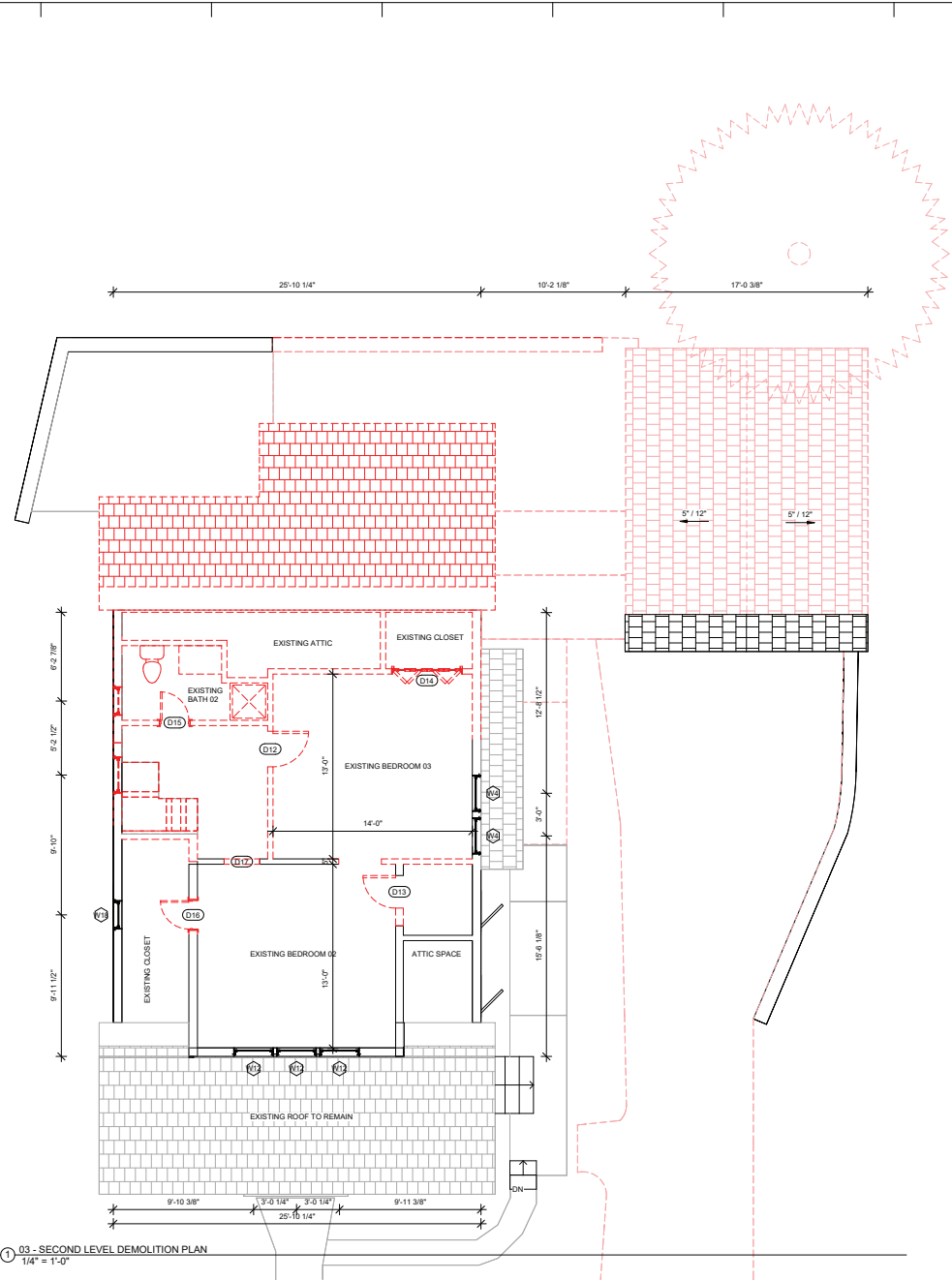
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03 - SECOND LEVEL DEMOLITION PLAN
1/4" = 1'-0"

A104 - EXISTING SECOND LEVEL DOOR SCHEDULE

DOOR NUMBER	HEADER HEIGHT	WIDTH	EXISTING OR NEW	DEMO
D12	80	30	EXISTING	NEW CONSTRUCTION
D13	80	28	EXISTING	NEW CONSTRUCTION
D14	84	60	EXISTING	NEW CONSTRUCTION
D15	77	24	EXISTING	NEW CONSTRUCTION
D16	77	24	EXISTING	NEW CONSTRUCTION
D17	0	0	EXISTING	NEW CONSTRUCTION
D25	80	36	EXISTING	NEW CONSTRUCTION

A104 - EXISTING SECOND LEVEL WINDOW SCHEDULE

QTY	LABEL	WIDTH	HEIGHT	SILL HEIGHT	HEADER HEIGHT	CREATED	DEMO
1	W14	31"	62"	24"	86"	EXISTING	NEW CONSTRUCTION
1	W18	24"	45"	24"	69"	EXISTING	NEW CONSTRUCTION
2	W4	31"	62"	34"	95"	EXISTING	None
3	W12	34"	54"	47"	101"	EXISTING	None
1	W18	24"	45"	29"	74"	EXISTING	None

TOTAL: 8

A104 - SECOND LEVEL FLOORING DEMOLITION TAKEOFF

MATERIAL NAME	AREA	COMMENTS
A104 - SECOND LEVEL WALL DEMOLITION TAKEOFF		
MATERIAL NAME	AREA	LINEAR FOOTAGE

1/2" WALL SHEATHING PLYWOOD	159 SF	27,219 LF
2X4 DIMENSIONAL LUMBER	532 SF	72,119 LF
2X6 DIMENSIONAL LUMBER	259 SF	52,469 LF
AIR FILTRATION BARRIER	159 SF	27,219 LF
EXTERIOR SIDING	159 SF	27,219 LF
GYPSUM WALL BOARD 1/2"	1409 SF	124,587 LF
VAPOR RETARDER	159 SF	27,219 LF

A104 - SECOND LEVEL CEILING DEMOLITION TAKEOFF

MATERIAL NAME	AREA	COMMENTS
---------------	------	----------

ALL EXISTING WINDOWS TO BE REPLACED WITH MARVIN ULTIMATE WOOD SERIES WINDOWS TO MATCH EXISTING DIMENSIONS AND STYLE



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NO.	DESCRIPTION	DATE
2	REVISION 02	2024.08.14

SHEET TITLE
**DEMOLITION
PLAN
SECOND
LEVEL**

SCALE 1/4" = 1'-0"
DATE 2024.08.22
SHEET NO.

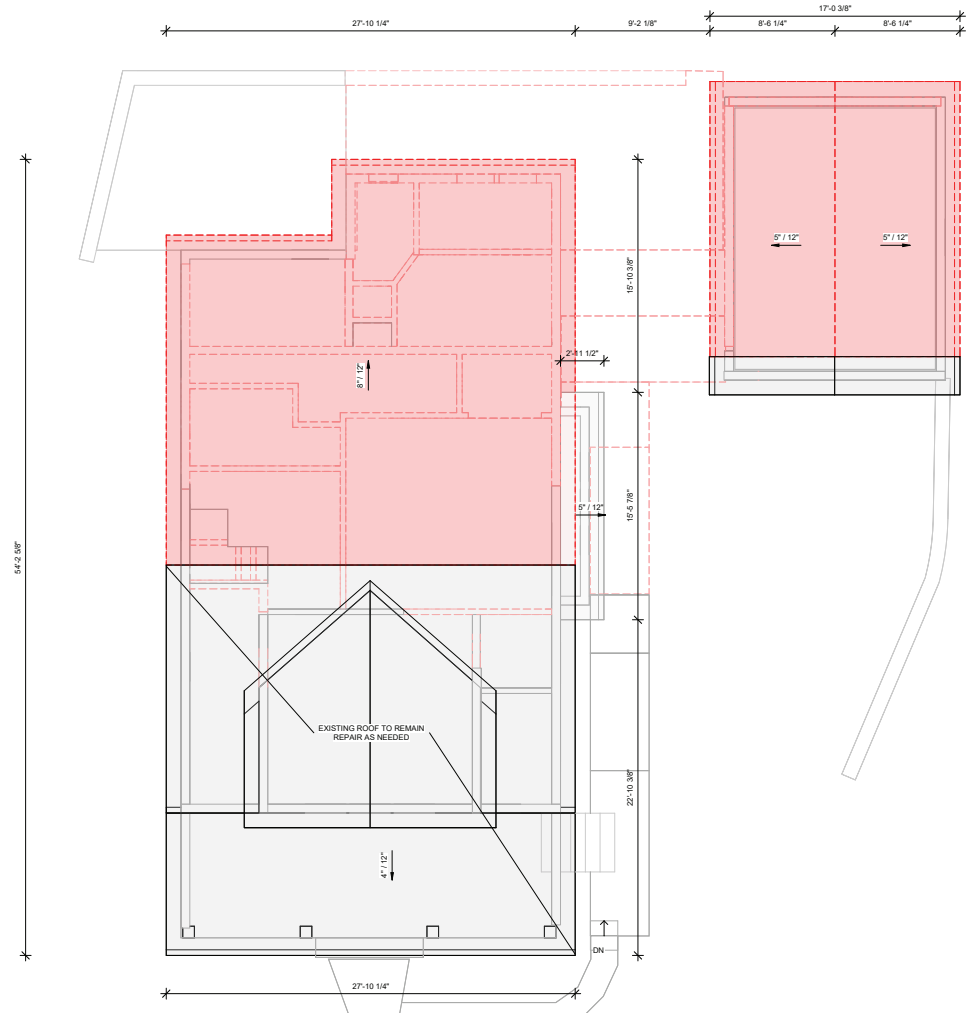
A104



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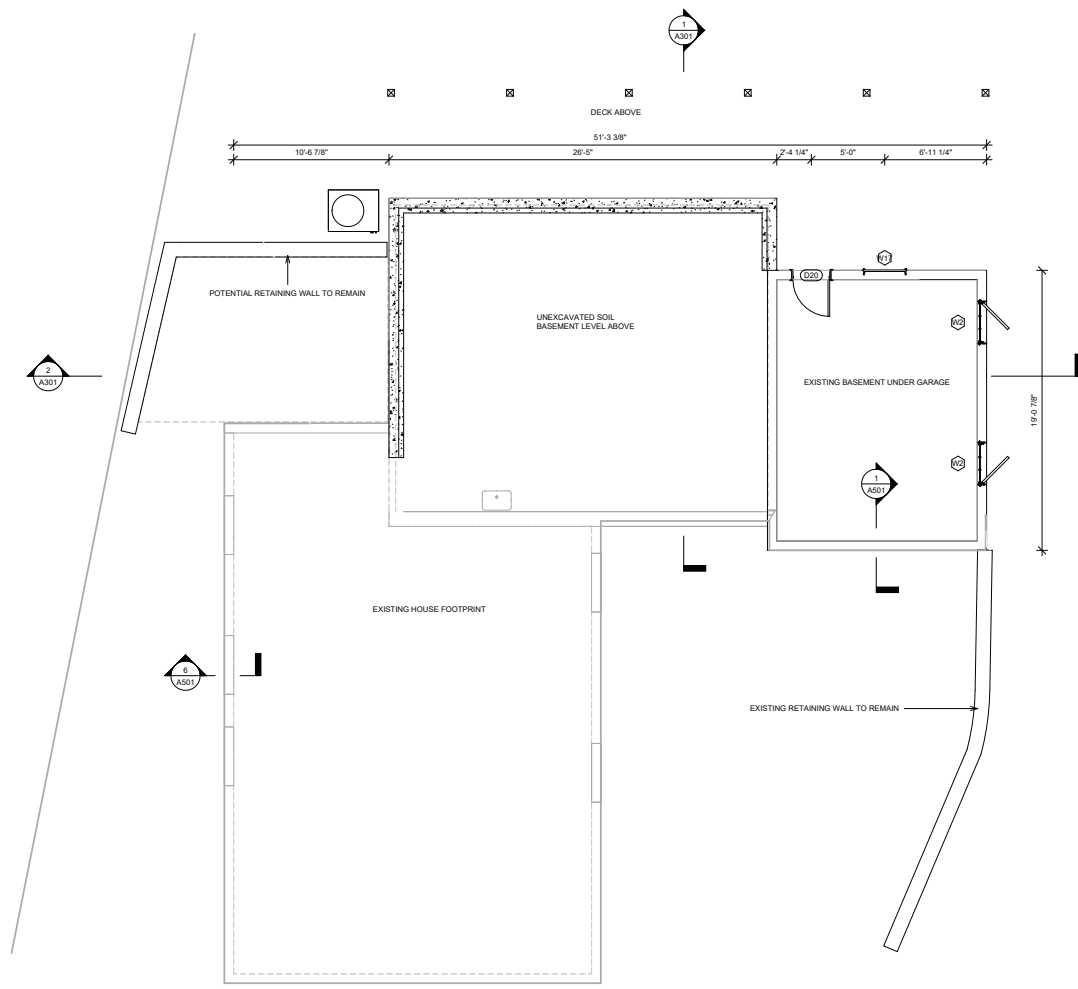
A105 - ROOF DEMOLITION TAKEOFF		
MATERIAL NAME	AREA	COMMENTS
1/2" ROOF SHEATHING PLYWOOD	1200 SF	
2X10 DIMENSIONAL LUMBER	1199 SF	
ASPHALT SHINGLES	1201 SF	
GYPSUM WALL BOARD 1/2"	1174 SF	



04 - ROOF DEMOLITION PLAN
1/4" = 1'-0"



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1 00 - PROPOSED GARAGE BASEMENT LEVEL
1/4" = 1'-0"



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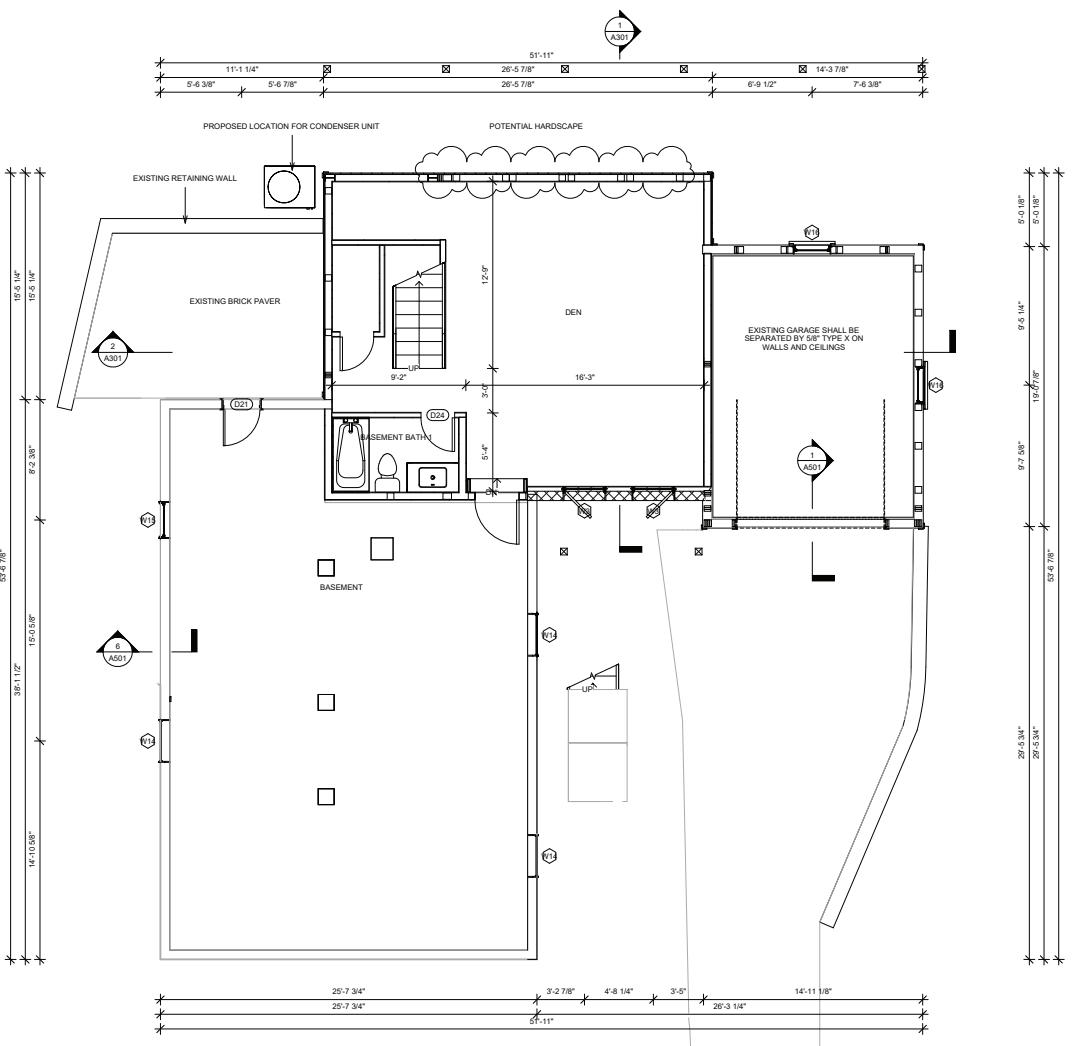
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SHEET TITLE
**PROPOSED
GARAGE
BASEMENT
PLAN**

SCALE 1/4" = 1'-0"
DATE 2024.08.22
SHEET NO.

A111

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01 - PROPOSED BASEMENT LEVEL PLAN
 1/4" = 1'-0"

A112 - BASEMENT LEVEL NEW DOOR SCHEDULE		
DOOR NUMBER	HEADER HEIGHT	WIDTH
D24	68	28
D48	80	36
D53	68	28
TOTAL: 3		

A112 - BASEMENT LEVEL NEW WINDOW SCHEDULE						
QTY	LABEL	WIDTH	HEIGHT	SILL HEIGHT	HEADER HEIGHT	COMMENTS
2	W3	35.000"	24.000"	60"	84"	
TOTAL: 2						

A112 - BASEMENT LEVEL NEW FLOORING TAKEOFF		
MATERIAL NAME	AREA	COMMENTS
CONCRETE	538 SF	

A112 - BASEMENT LEVEL NEW WALL TAKEOFF		
MATERIAL NAME	AREA	LINEAR FOOTAGE
1/2" WALL SHEATHING PLYWOOD	369 SF	46.367 LF
2X4 DIMENSIONAL LUMBER	272 SF	46.581 LF
2X6 DIMENSIONAL LUMBER	669 SF	88.371 LF
AIR FILTRATION BARRIER	370 SF	46.367 LF
EXTERIOR SIDING	370 SF	46.367 LF
GYP SUM WALL BOARD 1/2"	1387 SF	134.952 LF
MORTAR	70 SF	11.062 LF
PORCELAIN BRICK SUBWAY TILE	70 SF	11.062 LF
TEXTURED 8" CMU	92 SF	12.242 LF
Vapor / Moisture Barriers - Vapor Retarder	70 SF	11.062 LF
VAPOR RETARDER	370 SF	46.367 LF

A112 - BASEMENT LEVEL NEW CEILING TAKEOFF		
MATERIAL NAME	AREA	COMMENT



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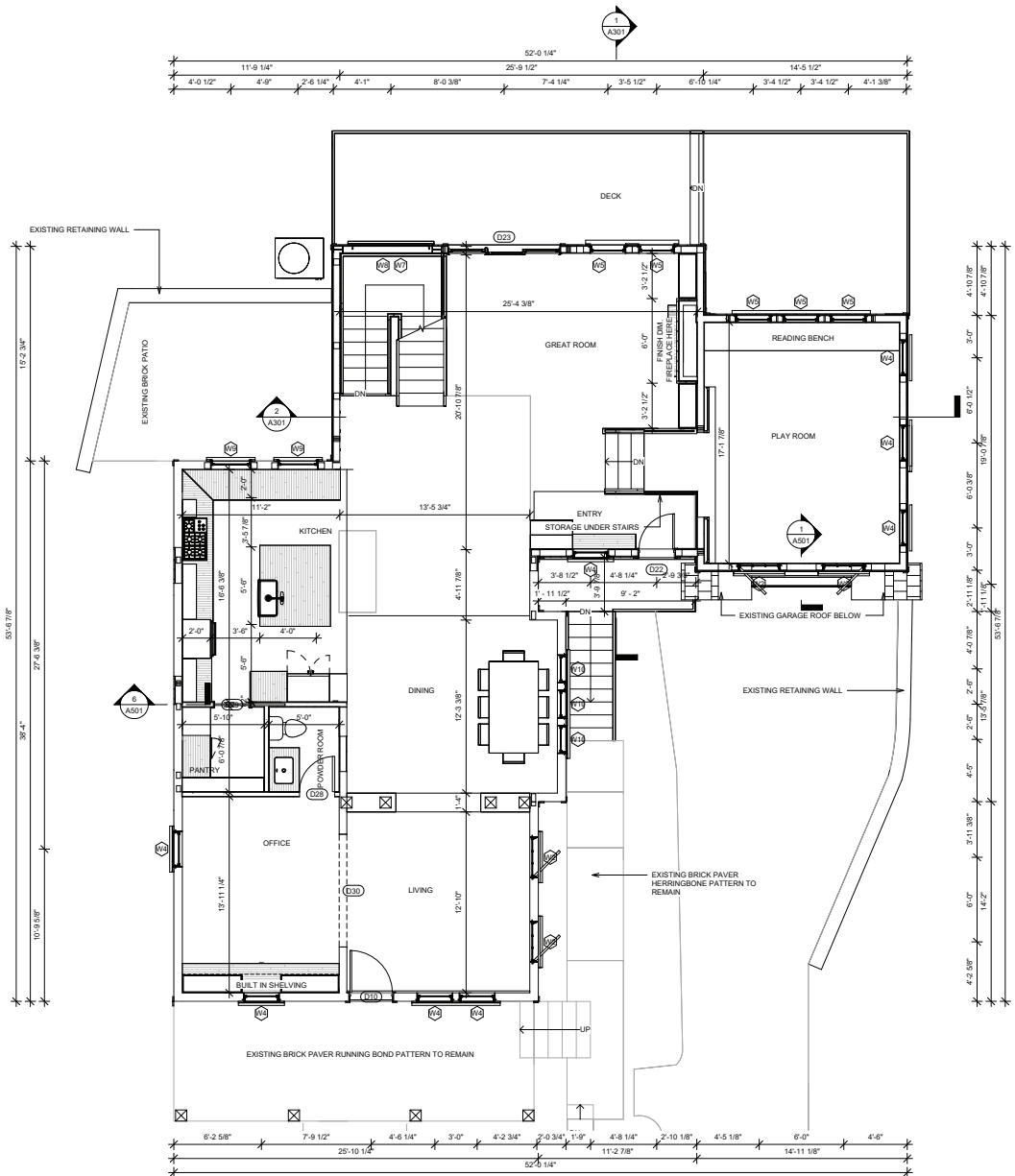
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NO.	DESCRIPTION	DATE
2	REVISION 02	2024.08.14

SHEET TITLE
**PROPOSED
 BASEMENT
 PLAN**

SCALE 1/4" = 1'-0"
 DATE 2024.08.22
 SHEET NO.

A112

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1 02 - PROPOSED FIRST LEVEL PLAN
1/4" = 1'-0"

A113 - FIRST LEVEL NEW DOOR SCHEDULE			
DOOR NUMBER	HEADER HEIGHT	WIDTH	
D22	84	30	
D23	96	96	
D28	84	30	
D29	80	30	
D30	90	96	
TOTAL: 5			

A113 - FIRST LEVEL NEW WINDOW SCHEDULE						
QTY	LABEL	WIDTH	HEIGHT	SILL HEIGHT	HEADER HEIGHT	COMMENTS
1	W4	30.500"	81.500"	23"	85"	
2	W5	30.500"	81.500"	35"	96"	
1	W7	66.000"	62.000"	80"	132"	TEMPERED
1	W8	66.000"	32.000"	12"	44"	TEMPERED
2	W9	34.375"	49.500"	42"	92"	
TOTAL: 7						

A113 - FIRST LEVEL OFFSET NEW WINDOW SCHEDULE						
QTY	LABEL	WIDTH	HEIGHT	SILL HEIGHT	HEADER HEIGHT	COMMENTS
2	W2	36.000"	24.063"	60"	84"	PLAY ROOM
3	W4	30.500"	81.500"	23"	84"	
3	W5	30.500"	81.500"	23"	84"	
TOTAL: 8						

A113 - FIRST LEVEL NEW FLOORING TAKEOFF			
MATERIAL NAME	AREA	COMMENTS	
BRICK PAVER HERRINGBONE	15 SF		
DECK FRAMING VOLUME	443 SF		
DECKING FINISH	443 SF		
FLOOR SHEATHING PLYWOOD	325 SF		
WOOD FINISH FLOOR	325 SF		

A113 - FIRST LEVEL OFFSET NEW FLOORING TAKEOFF			
MATERIAL NAME	AREA	COMMENTS	
FLOOR SHEATHING PLYWOOD	264 SF		
WOOD FINISH FLOOR	264 SF		

A113 - FIRST LEVEL NEW WALL TAKEOFF			
MATERIAL NAME	AREA	LINEAR FOOTAGE	
1/2" WALL SHEATHING PLYWOOD	510 SF	66,693 LF	
2X4 DIMENSIONAL LUMBER	298 SF	56,708 LF	
2X6 DIMENSIONAL LUMBER	439 SF	58,240 LF	
AIR FILTRATION BARRIER	440 SF	58,240 LF	
EXTERIOR SIDING	434 SF	58,240 LF	
GYPSPUM WALL BOARD 1/2"	865 SF	106,495 LF	
Masonry - Brick	79 SF	8,453 LF	
MORTAR	76 SF	8,453 LF	
SHIPLAP 1/2"	141 SF	49,363 LF	
VAPOR RETARDER	440 SF	58,240 LF	

A113 - FIRST LEVEL OFFSET NEW WALL TAKEOFF			
MATERIAL NAME	AREA	LINEAR FOOTAGE	
1/2" WALL SHEATHING PLYWOOD	205 SF	33,161 LF	
2X6 DIMENSIONAL LUMBER	204 SF	33,161 LF	
AIR FILTRATION BARRIER	205 SF	33,161 LF	
EXTERIOR SIDING	205 SF	33,161 LF	
GYPSPUM WALL BOARD 1/2"	197 SF	33,161 LF	
VAPOR RETARDER	205 SF	33,161 LF	

A113 - FIRST LEVEL NEW CEILING TAKEOFF			
MATERIAL NAME	AREA	COMMENTS	
GYPSPUM WALL BOARD 1/2"	1010 SF		

A113 - FIRST LEVEL OFFSET NEW CEILING TAKEOFF			
MATERIAL NAME	AREA	COMMENTS	
GYPSPUM WALL BOARD 1/2"	482 SF		

MC3 DESIGN

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 JMCKENNA@MC3.DESIGN

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REVISIONS			
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2	REVISION 02	2024.08.14	

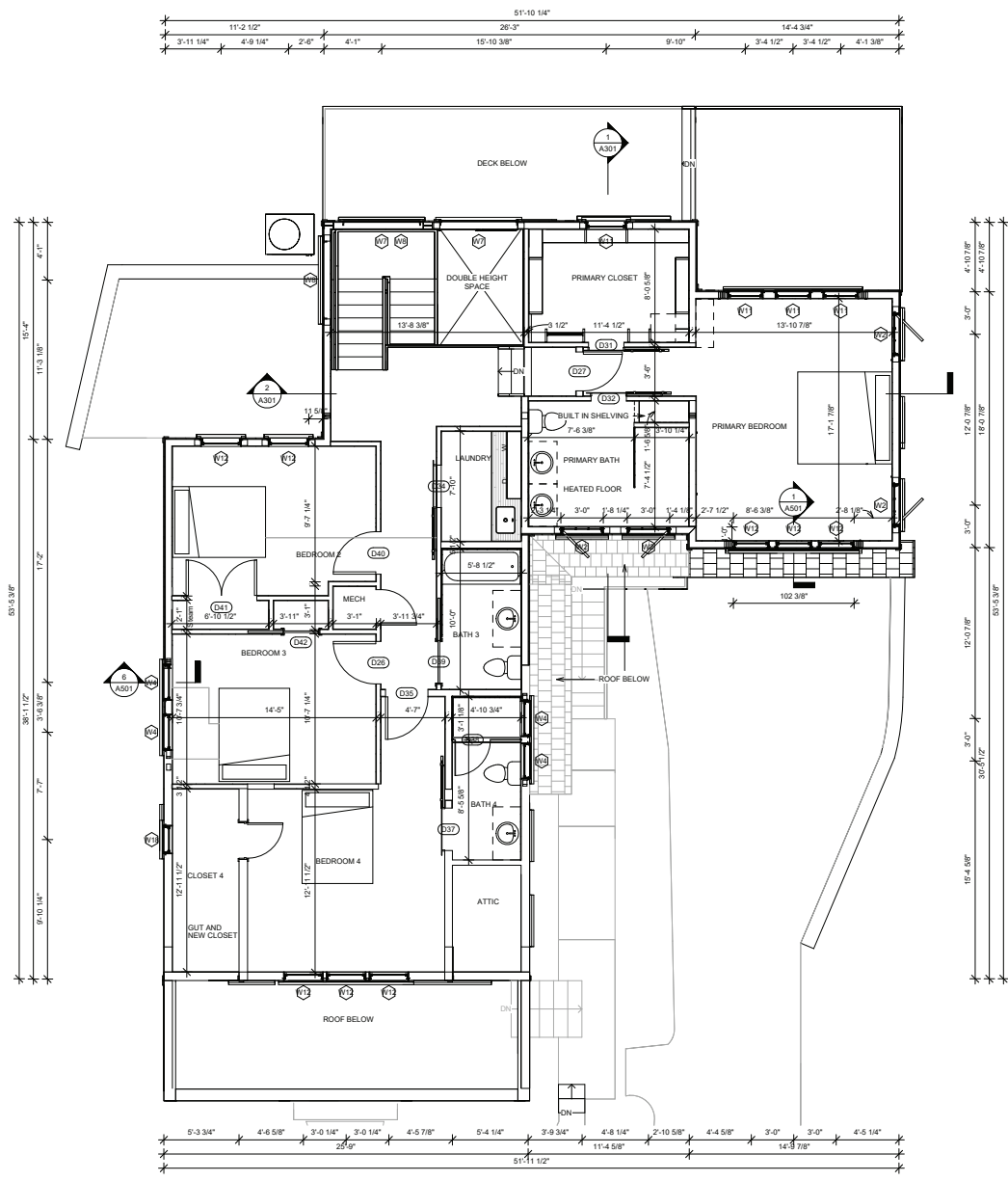
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**PROPOSED
 FIRST LEVEL
 PLAN**

SCALE 1/4" = 1'-0"
 DATE 2024.08.22
 SHEET NO.

A113

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03 - PROPOSED SECOND LEVEL PLAN
1/4" = 1'-0"

A114 - SECOND LEVEL NEW DOOR SCHEDULE			
DOOR NUMBER	HEADER HEIGHT	WIDTH	
D26	80	36	
D34	80	36	
D35	80	36	
D37	84	36	
D38	80	30	
D39	80	36	
D40	80	36	
D41	80	60	
D42	80	30	
D49	80	30	
D55	80	30	
TOTAL: 11			

A114 - SECOND LEVEL OFFSET NEW DOOR SCHEDULE			
DOOR NUMBER	HEADER HEIGHT	WIDTH	
D27	80	33	
D31	80	30	
D32	80	30	
TOTAL: 3			

A114 - SECOND LEVEL NEW WINDOW SCHEDULE						
QTY	LABEL	WIDTH	HEIGHT	SILL HEIGHT	HEADER HEIGHT	COMMENTS
2	W4	30.500"	61.500"	24"	86"	
1	W7	66.000"	52.000"	33"	85"	TEMPERED
1	W8	66.000"	32.000"	52"	84"	
1	W8	66.000"	32.000"	53"	85"	TEMPERED
2	W12	34.375"	53.500"	31"	85"	
TOTAL: 7						

A114 - SECOND LEVEL OFFSET NEW WINDOW SCHEDULE						
QTY	LABEL	WIDTH	HEIGHT	SILL HEIGHT	HEADER HEIGHT	COMMENTS
2	W2	36.000"	24.063"	48"	72"	PRIMARY BED
2	W2	36.000"	24.063"	54"	78"	TEMPERED - PRIMARY BATH
4	W11	<varies>	53.500"	<varies>	<varies>	
3	W12	30.375"	53.500"	31"	84"	
TOTAL: 11						

A114 - SECOND LEVEL NEW FLOORING TAKEOFF		
MATERIAL NAME	AREA	COMMENTS
BATH 4 TILE	14 SF	
FLOOR SHEATHING PLYWOOD	272 SF	
LAUNDRY FLOOR TILE	45 SF	
MORTAR	59 SF	
WOOD FINISH FLOOR	228 SF	

A114 - SECOND LEVEL OFFSET NEW FLOORING TAKEOFF		
MATERIAL NAME	AREA	COMMENTS
FLOOR SHEATHING PLYWOOD	494 SF	
WOOD FINISH FLOOR	494 SF	

A114 - SECOND LEVEL NEW WALL TAKEOFF		
MATERIAL NAME	AREA	LINEAR FOOTAGE
1/2" WALL SHEATHING PLYWOOD	786 SF	100.495 LF
2X4 DIMENSIONAL LUMBER	966 SF	93.408 LF
2X6 DIMENSIONAL LUMBER	1180 SF	145.371 LF
AIR FILTRATION BARRIER	793 SF	100.495 LF
BATH 3 TILE	129 SF	15.367 LF
BATH 4 TILE	84 SF	12.031 LF
EXTERIOR SIDING	786 SF	100.495 LF
GYPNUM WALL BOARD 1/2"	3492 SF	238.780 LF
MORTAR	213 SF	27.399 LF
SHIPLAP 1/2"	37 SF	7.588 LF
SHIPLAP 1/2" HORIZONTAL	26 SF	8.677 LF
SHOWER GLASS	22 SF	5.427 LF
VAPOR RETARDER	1006 SF	127.894 LF

A114 - SECOND LEVEL OFFSET NEW WALL TAKEOFF		
MATERIAL NAME	AREA	LINEAR FOOTAGE
1/2" WALL SHEATHING PLYWOOD	306 SF	44.008 LF
2X4 DIMENSIONAL LUMBER	275 SF	36.186 LF
2X6 DIMENSIONAL LUMBER	423 SF	60.685 LF
AIR FILTRATION BARRIER	312 SF	44.008 LF
EXTERIOR SIDING	306 SF	44.008 LF
GYPNUM WALL BOARD 1/2"	1083 SF	96.871 LF
SHIPLAP 1/2" HORIZONTAL	44 SF	9.334 LF
SHOWER GLASS	30 SF	4.407 LF
VAPOR RETARDER	312 SF	44.008 LF



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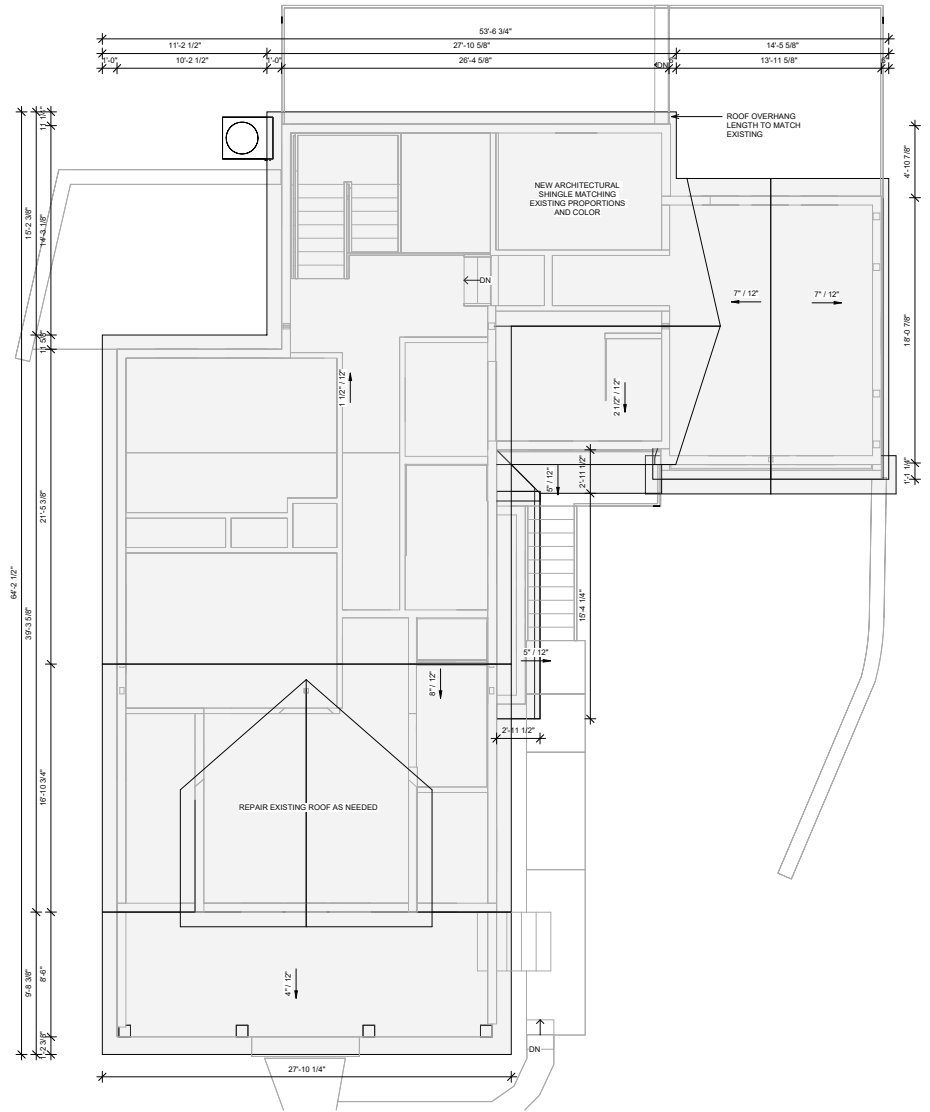
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**PROPOSED
SECOND
LEVEL PLAN**

SCALE 1/4" = 1'-0"

DATE 2024.08.22

SHEET NO.

A114



① 04 - PROPOSED ROOF PLAN
1/4" = 1'-0"

A115 - NEW ROOF AND CEILING TAKEOFF		
MATERIAL NAME	AREA	COMMENTS
1/2" ROOF SHEATHING PLYWOOD	1553 SF	
2X10 DIMENSIONAL LUMBER	1552 SF	
ASPHALT SHINGLES	1555 SF	
GYPSUM WALL BOARD 1/2"	1514 SF	



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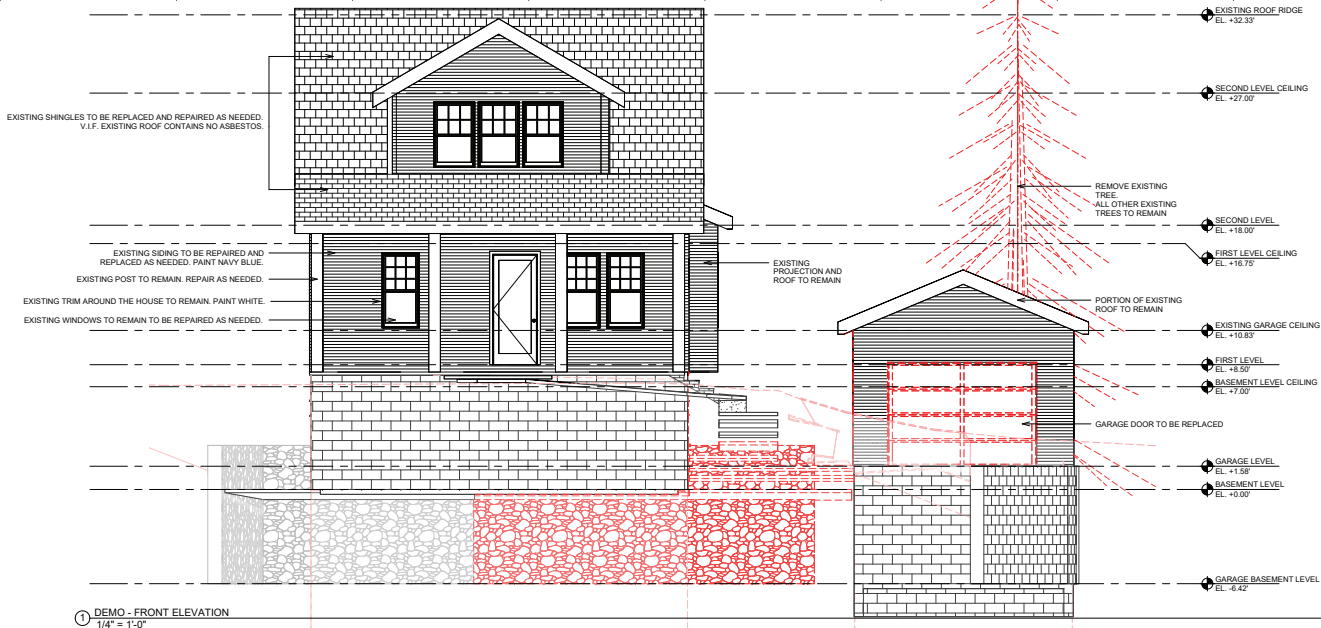
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ROOF PLAN**

SCALE 1/4" = 1'-0"
DATE 2024.08.22

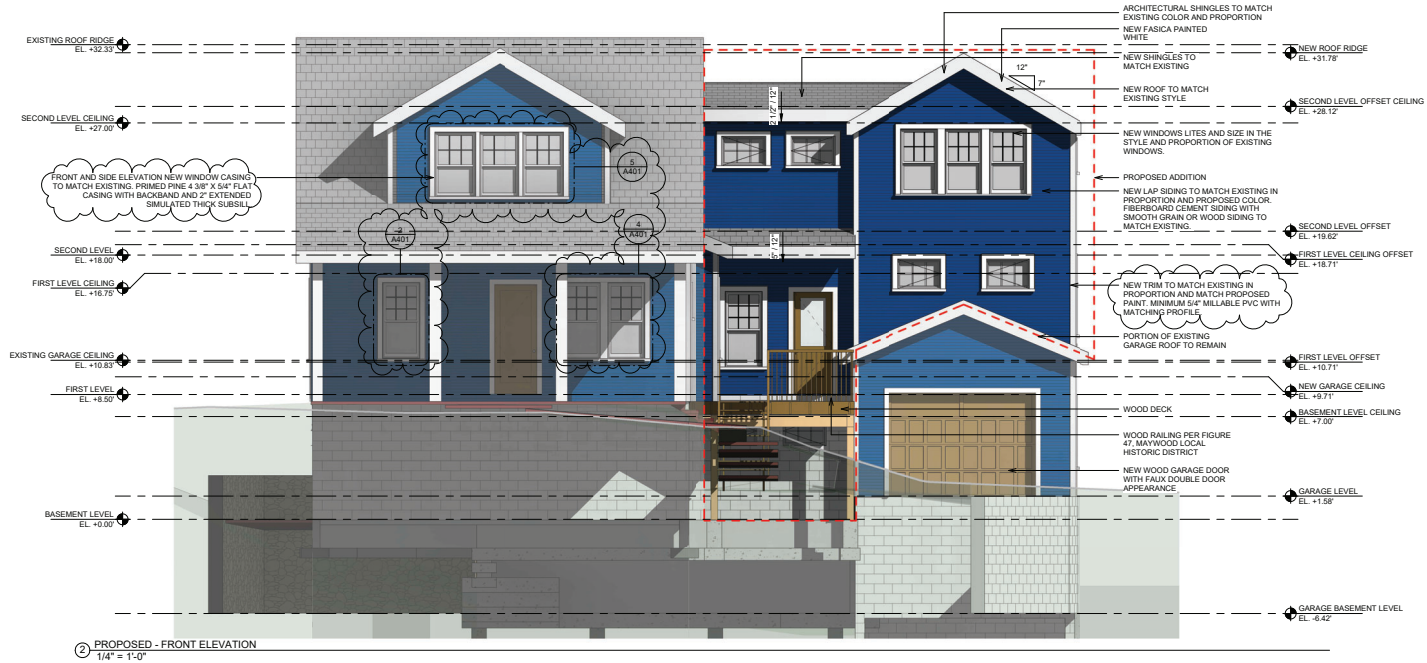
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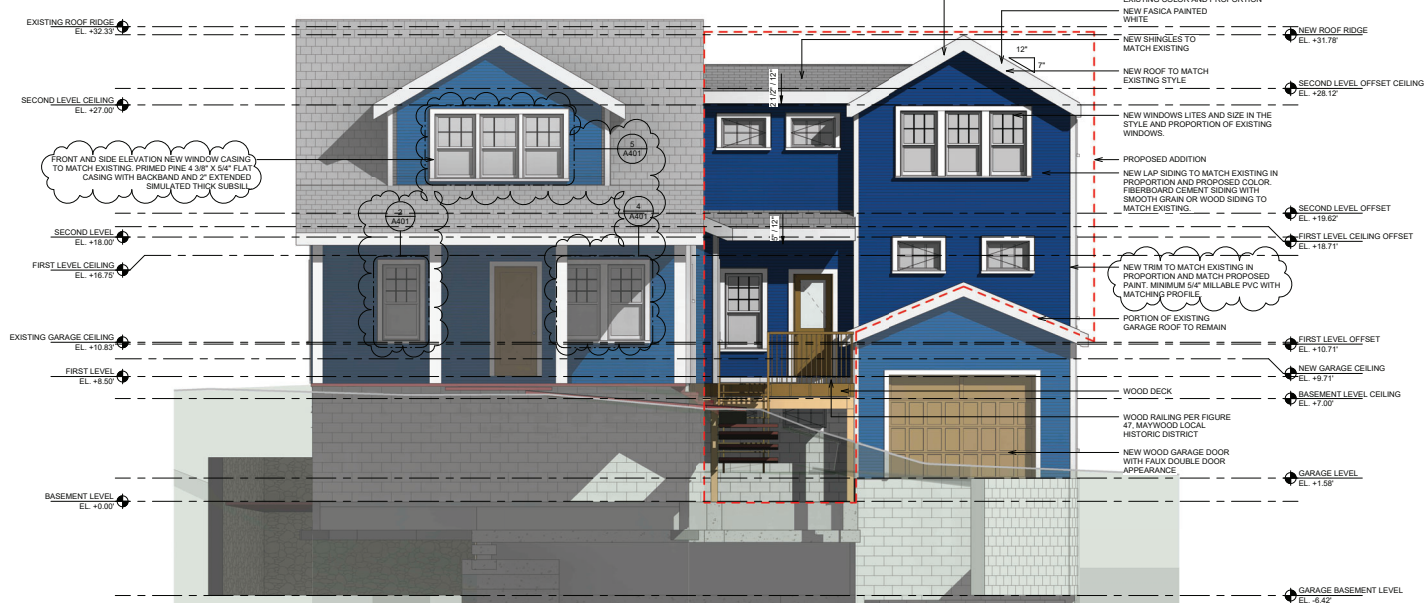
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2	REVISION 02	2024.08.14

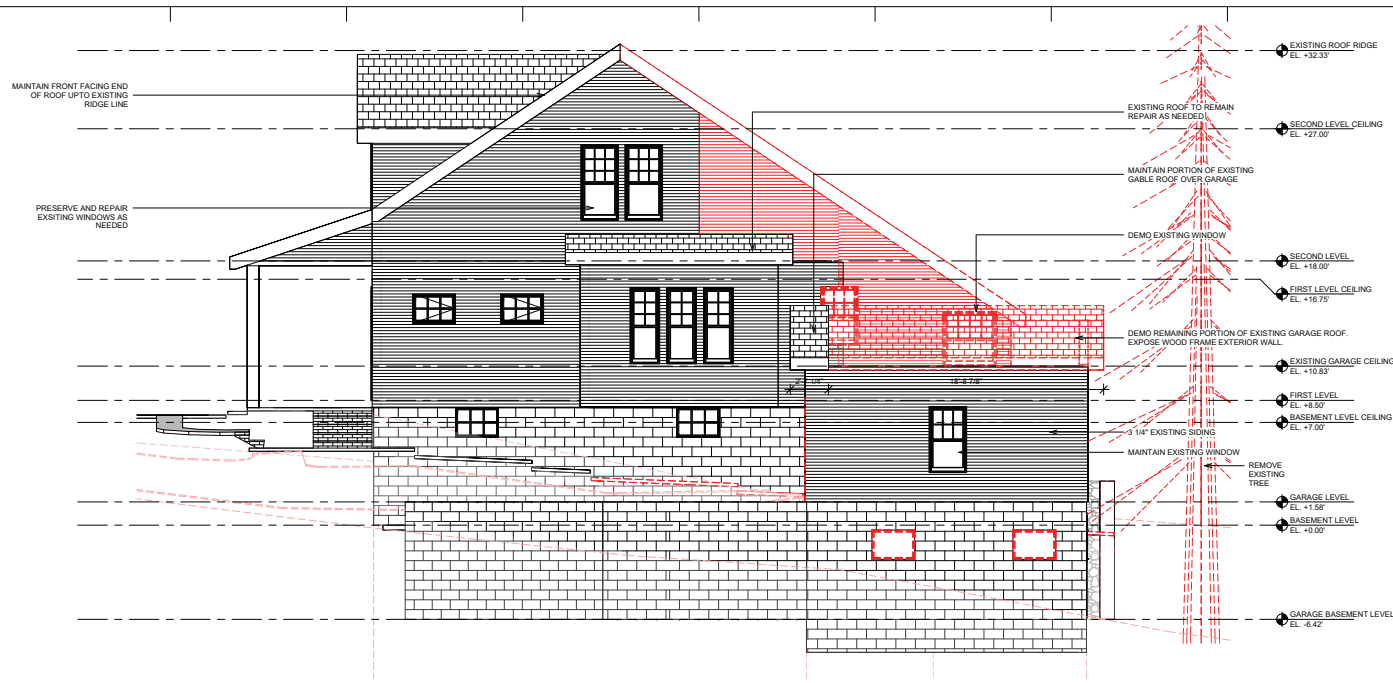


① DEMO - FRONT ELEVATION
1/4" = 1'-0"

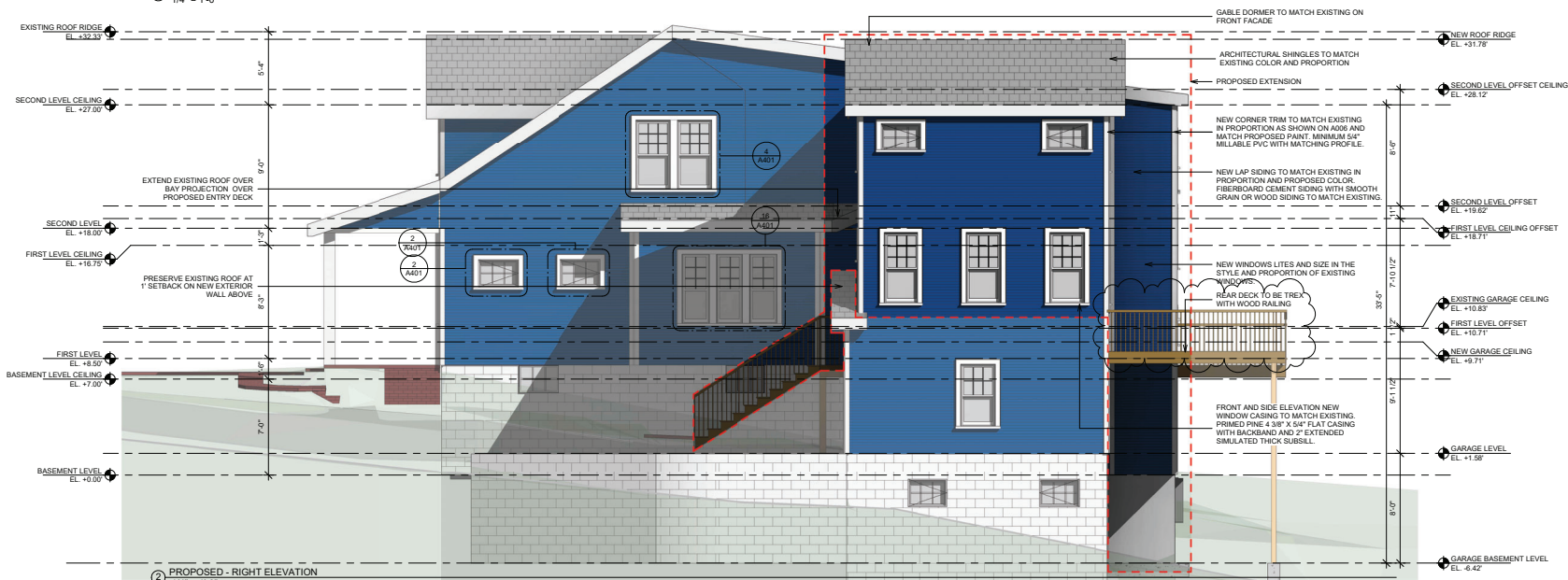


② PROPOSED - FRONT ELEVATION
1/4" = 1'-0"





① DEMO - RIGHT ELEVATION
1/4" = 1'-0"



② PROPOSED - RIGHT ELEVATION
1/4" = 1'-0"



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1	REVISION 01	2024.07.15
2	REVISION 02	2024.08.14
3	REVISION 03	2024.09.09

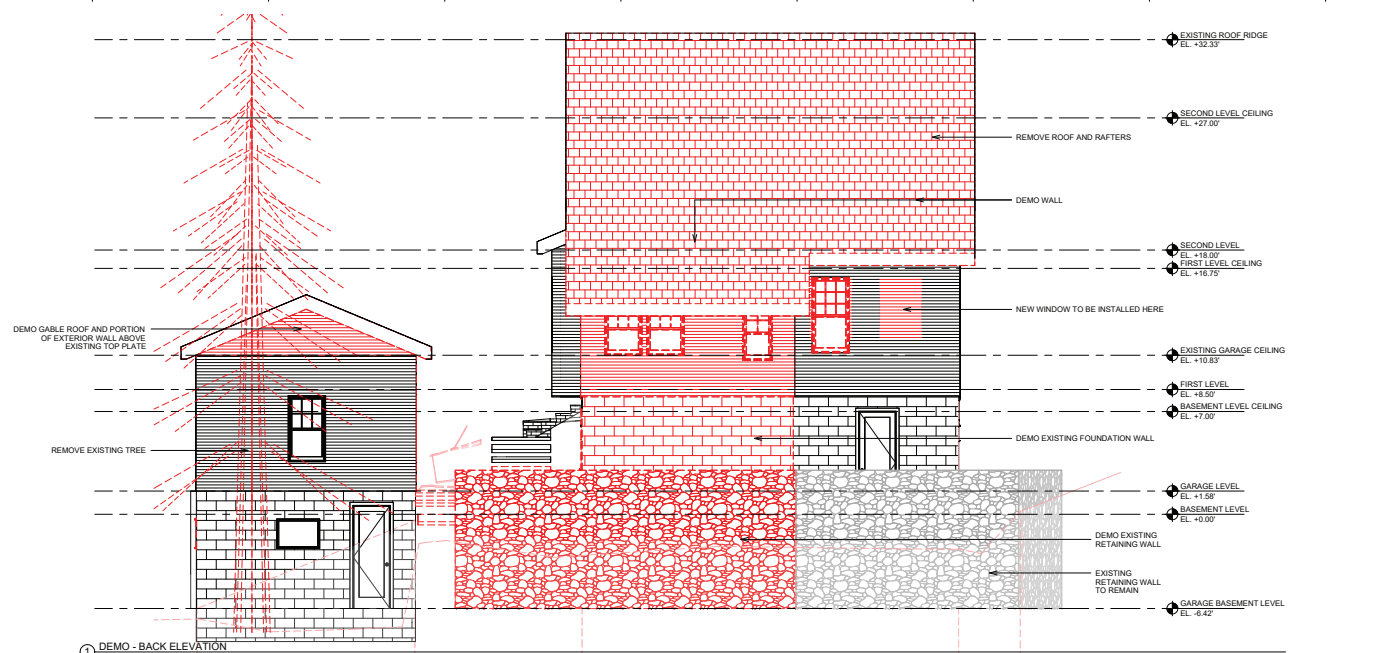
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**RIGHT
ELEVATION**

SCALE 1/4" = 1'-0"
DATE 2024.09.09

SHEET NO.
A202

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① DEMO - BACK ELEVATION
1/4" = 1'-0"



② PROPOSED - BACK ELEVATION
1/4" = 1'-0"



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1	REVISION 01	2024.07.15
2	REVISION 02	2024.08.14
3	REVISION 03	2024.09.09

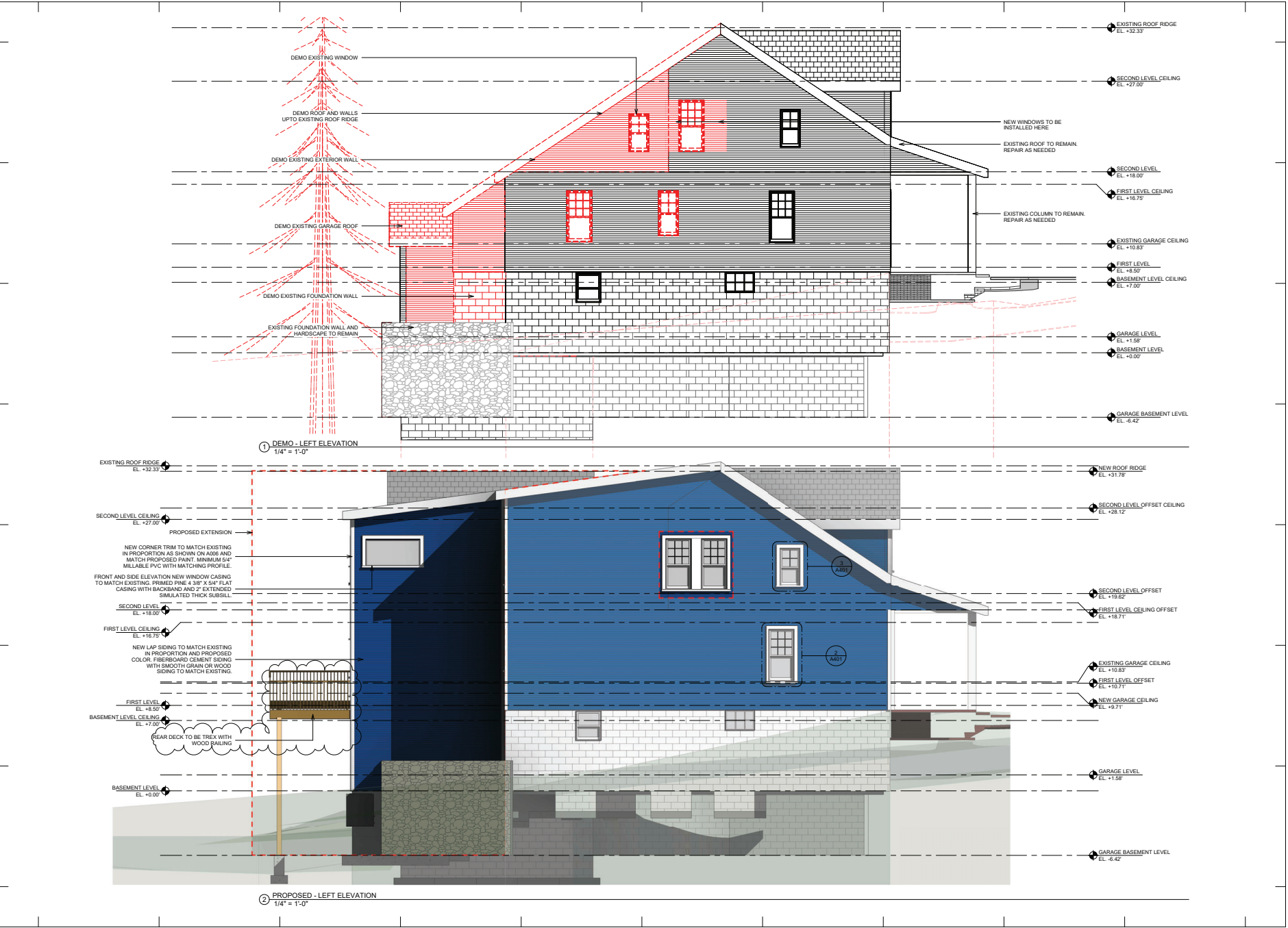
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**BACK
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DATE 2024.09.09

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NO.	DESCRIPTION	DATE
1	REVISION 01	2024.07.15
2	REVISION 02	2024.08.14
3	REVISION 03	2024.09.09

SHEET TITLE

**LEFT
ELEVATION**

SCALE 1/4" = 1'-0"

DATE 2024.09.09

SHEET NO.

A204



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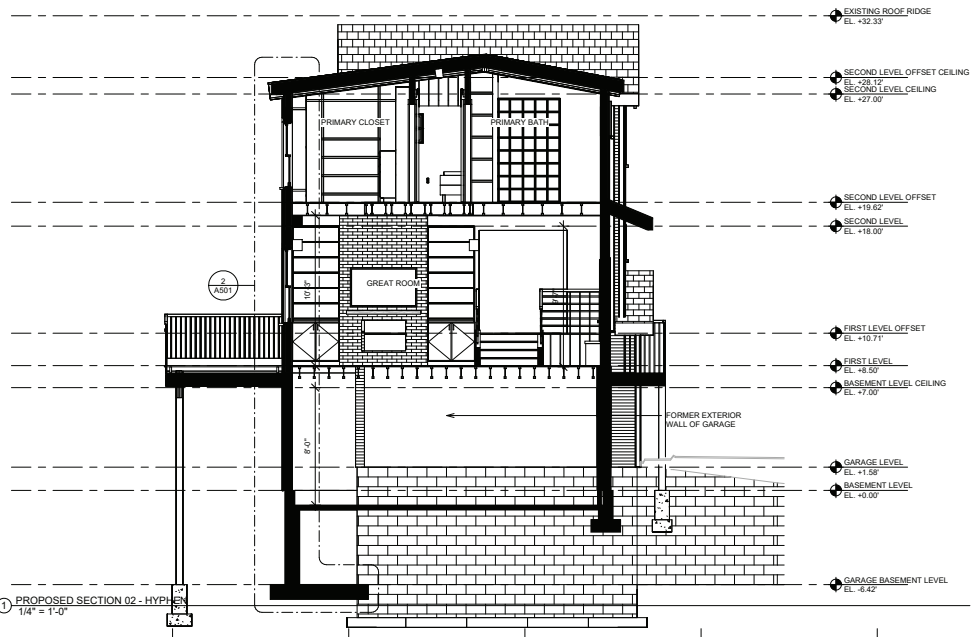
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SECTION 01

SCALE 1/4" = 1'-0"
 DATE 2024.09.09

SHEET NO.
A301



2 PROPOSED SECTION 01
 1/4" = 1'-0"



1 PROPOSED SECTION 02 - HYPER
 1/4" = 1'-0"

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The perfect pairing of price and minimal maintenance.

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ROCKY HARBOR

TOASTED SAND

COASTAL BLUFF

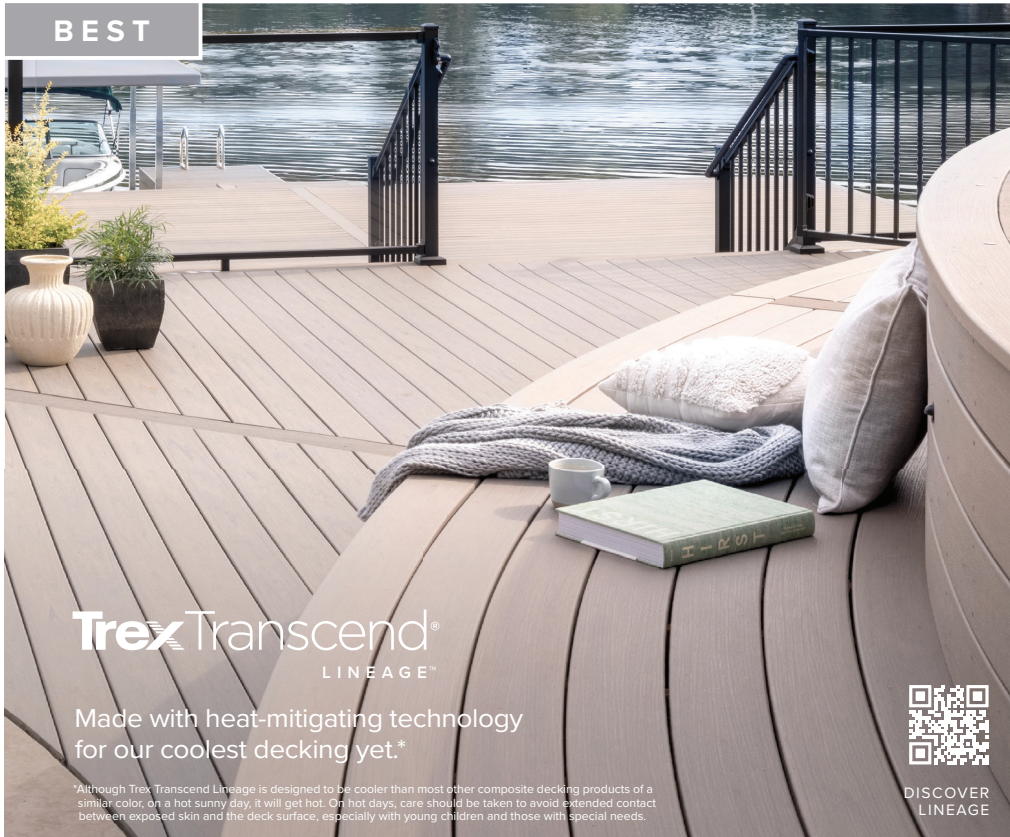
Basics

CLAM SHELL

BEACH DUNE

SADDLE

BEST



Trex Transcend®
LINEAGE™

Made with heat-mitigating technology
for our coolest decking yet.*

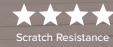
*Although Trex Transcend Lineage is designed to be cooler than most other composite decking products of a similar color, on a hot sunny day, it will get hot. On hot days, care should be taken to avoid extended contact between exposed skin and the deck surface, especially with young children and those with special needs.



DISCOVER
LINEAGE



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Scratch Resistance



ISLAND MIST

BISCAYNE

JASPER

RAINIER

CARMEL



Trex Transcend®
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Established looks paired with assured performance.



EXPLORE
TRANSCEND

**Island Mist color in Transcend to be discontinued 12.31.24

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Scratch Resistance



ISLAND MIST**

HAVANA GOLD

LAVA ROCK

TIKI TORCH

SPICED RUM

ROPE SWING

THE MARVIN PORTFOLIO

The Marvin portfolio consists of five product lines organized into three distinct collections defined by the degree of design detail and customization opportunities.

Marvin windows and doors offer exceptional performance, energy efficiency, low maintenance, and quality you can see, feel, and touch to help bring your vision to life.



ULTIMATE

Most extensive selection of features, options, and product types

MARVIN SIGNATURE® COLLECTION



MODERN

Design flexibility in a purely modern aesthetic available exclusively at Marvin Modern dealers



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Custom windows and doors for high velocity hurricane zones in the coastal Southeast



ELEVATE

Wide range of options and product types



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MARVIN ESSENTIAL™ COLLECTION

	MARVIN SIGNATURE® COLLECTION			MARVIN ELEVATE® COLLECTION	MARVIN ESSENTIAL™ COLLECTION
INTERIORS	WOOD 6 species options + custom 2 painted or primed options 6 stains + clear coat	EXTRUDED ALUMINUM 5 color options		EXTRUDED ALUMINUM 6 solid colors, 4 woodgrain finishes	WOOD Bare pine, painted Designer Black, painted White, or clear coat
EXTERIORS	EXTRUDED ALUMINUM 19 colors + custom OR WOOD 3 species + custom	FIBERGLASS 5 color options		EXTRUDED ALUMINUM 6 solid colors, 4 woodgrain finishes	FIBERGLASS 5 color options
SIZING	Standard + custom sizing for replacement, remodeling, or new construction	Custom sizing for remodeling or new construction		Custom sizing for replacement, remodeling, or new construction	Standard + custom sizing for replacement, remodeling, or new construction
HARDWARE	Extensive selection including Marvin Gallery Hardware	Minimalist hardware for modern design aesthetic		Available in multiple styles, sizes, and finishes to complement the window + door aesthetics	Available in 6 finish options with 2 door handle styles
COASTAL + WATERFRONT	Hurricane Impact Zones 3 and 4, + PG 50 Products			All products rated for High Velocity Hurricane Zone (IZ4)	Hurricane Impact Zone 3, + PG 50 Products

ULTIMATE DOUBLE HUNG G2

Engineered for performance and designed to inspire, each aspect of the Ultimate Double Hung G2 window was made with purpose. Our engineers consider every detail from the most innovative features to the most minute subtleties, all because the windows in your home help illuminate the most important parts of your life.

INTERIOR FEATURES AND PERFORMANCE

RICH WOOD INTERIOR

Offers beauty and warmth with six wood species and ten interior finish options.

NARROW CHECKRAIL

Provides a sleek aesthetic at 1 13/16 inches to maximize daylight opening while maintaining historical accuracy.

TILT WASH MODE

Allows easy access to exterior glass for cleaning and maintenance.

EXCLUSIVE AUTOLOCK

Activates when the sashes are closed, locking the window.

FIRST-RATE ENERGY EFFICIENCY

Meets ENERGY STAR® standards in energy efficiency with multiple glass options for various regions, climates, and weather needs.

SASH BALANCE SYSTEMS

Enables smooth operation at the largest sizes.

EXTERIOR FEATURES AND PERFORMANCE

DURABLE CLADDING

Extruded aluminum exterior cladding with an AAMA verified 2605 finish and backed by a 20-year warranty against chalking and fading.

EXPANSIVE SIZES

Larger than 5 feet wide by 10 feet high.

TRADITIONAL SILL BEVEL

The 14-degree bevel provides optimal water management while maintaining a classic look.

SUPERIOR WEATHER PERFORMANCE

LC-PG50 on most sizes. Optional commercial (CW) performance and IZ3 certified coastal performance on most sizes.

DESIGN VERSATILITY

An array of simulated divided lite patterns, interior and exterior color options, ten hardware finishes, and archttop models.

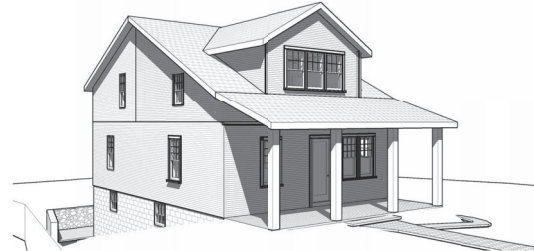
ALUMINUM INTER-LOCK

Eliminates drafts and improves the window's overall structural integrity.

HALRB APPROVED
COA ISSUED ON April 17, 2024

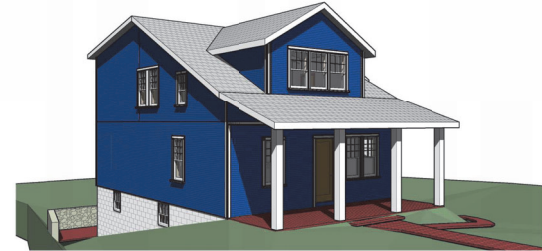
**FIELD CHANGES TO EXTERIOR
 COMPONENTS OF APPROVED PLANS ARE
 NOT PERMITTED. FOR INFORMATION CALL
 703-228-3838.**

PHOTO:



⑦ EXISTING - EXTERIOR VIEW 01

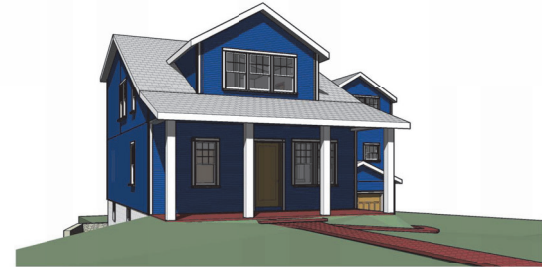
PROPOSED:



① PROPOSED - EXTERIOR VIEW 01



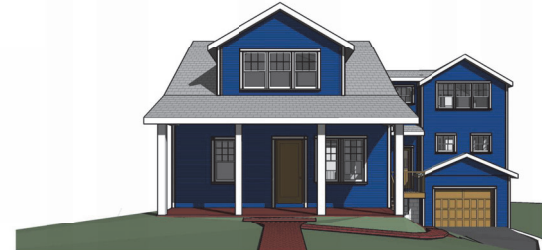
② EXISTING - EXTERIOR VIEW 03



③ PROPOSED - EXTERIOR VIEW 03



⑤ EXISTING - EXTERIOR VIEW 04



④ PROPOSED - EXTERIOR VIEW 04

MC3 DESIGN



MC3 DESIGN
 1308 VINCENT PLACE
 MCLEAN, VA 22101
 202.599.7779
 JMCKENNA@MC3.DESIGN

DRAWN BY:
 JOHN MCKENNA, AIA,
 NCARB ARCHITECT
 1308 VINCENT PLACE
 MCLEAN, VA 22101
 SEAL

CODE
 2018 VIRGINIA RESIDENTIAL
 CODE (IRC)

PROJECT
**COE
 RESIDENCE**
 2725 23RD RD N
 ARLINGTON, VA 22201

REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE
PERSPECTIVES

SCALE

DATE 2024.04.09

SHEET NO.

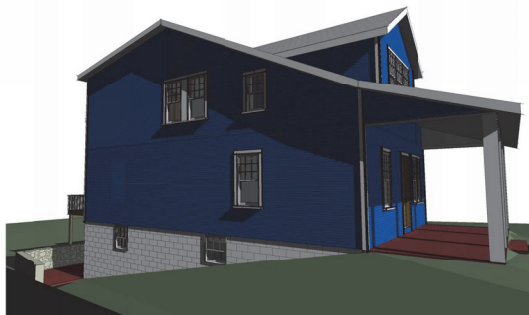
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1 EXTERIOR - FRONT PERSPECTIVE VIEW 01



2 EXTERIOR - LEFT PERSPECTIVE 01



5 EXTERIOR - FRONT PERSPECTIVE 02



3 EXTERIOR - BACK PERSPECTIVE 01



4 EXTERIOR - RIGHT PERSPECTIVE 01



6 EXTERIOR - BACK PERSPECTIVE 02

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COA ISSUED ON April 17, 2024
FIELD CHANGES TO EXTERIOR
COMPONENTS OF APPROVED PLANS ARE
NOT PERMITTED. FOR INFORMATION CALL
703-228-3838.

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2725 23RD RD N
ARLINGTON, VA 22201

REVISIONS

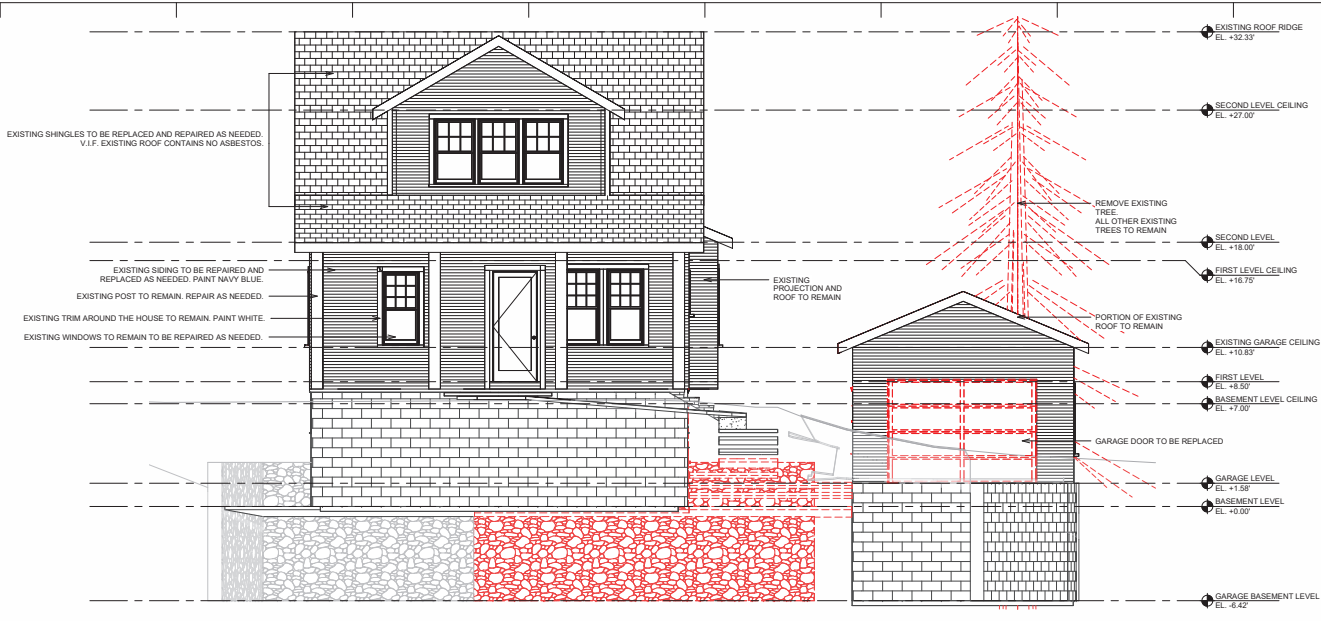
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SHEET TITLE
**PROPOSED
PERSPECTIVES**

SCALE
DATE 2024.04.09
SHEET NO.

A008

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1 DEMO - FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED - FRONT ELEVATION

These windows must be casement.

These windows must be casement.

All windows in the addition must be wood (not clad wood).

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CODE (IRC)
PROJECT
COE
RESIDENCE
2725 23RD RD N
ARLINGTON, VA 22201

REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE
FRONT
ELEVATION

SCALE 1/4" = 1'-0"

DATE 2024.04.09

SHEET NO.

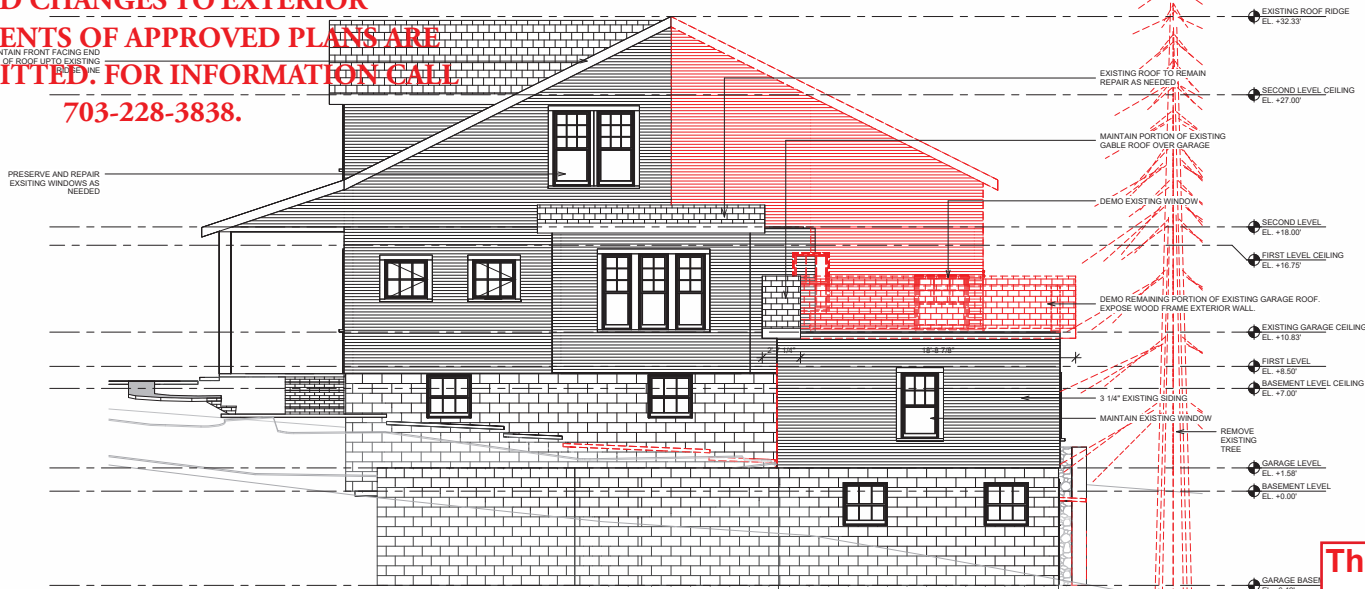
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These windows must be casement.

① DEMO - RIGHT ELEVATION
1/4" = 1'-0"



These windows must be casement.

All windows in the addition must be wood (not clad wood).

② PROPOSED - RIGHT ELEVATION
1/4" = 1'-0"

MC3 DESIGN



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1308 VINCENT PLACE
MCLEAN, VA 22101
202.599.7779
JMCKENNA@MC3.DESIGN

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CODE (IRC)

PROJECT
**COE
RESIDENCE**
2725 23RD RD N
ARLINGTON, VA 22201

REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE
**RIGHT
ELEVATION**

SCALE 1/4" = 1'-0"
DATE 2024.04.09

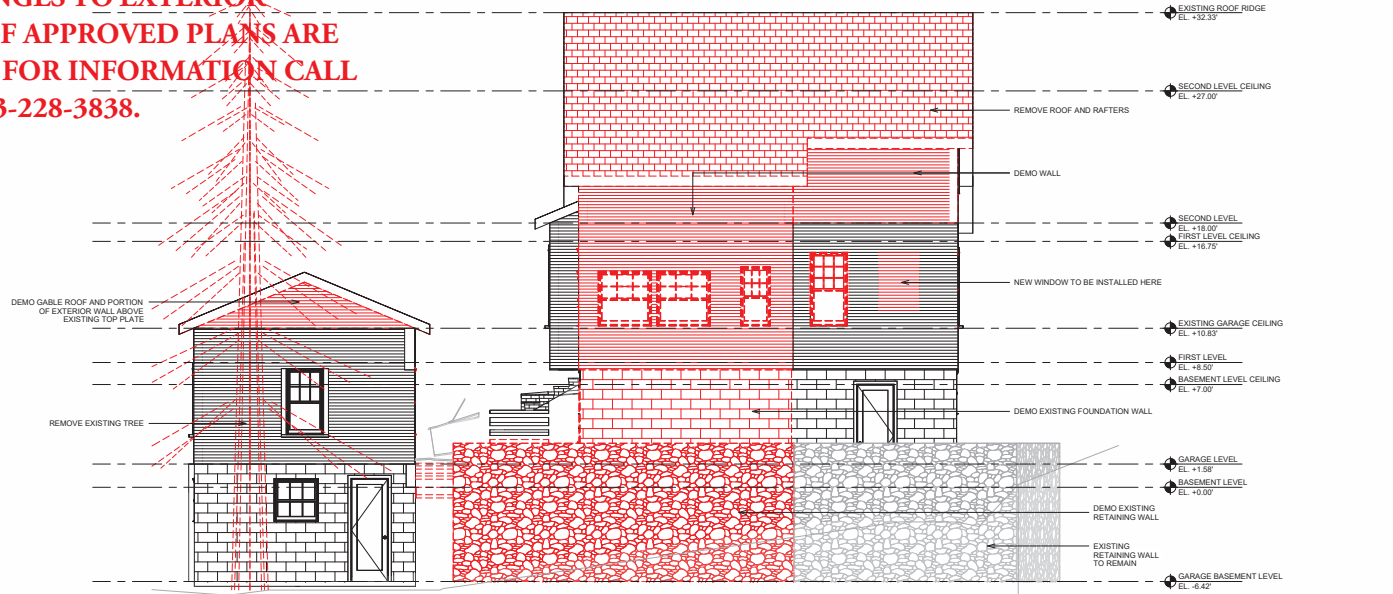
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A202

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① DEMO - BACK ELEVATION
1/4" = 1'-0"



② PROPOSED - BACK ELEVATION
1/4" = 1'-0"

All windows in the addition must be wood (not clad wood).

MC3 DESIGN



MC3 DESIGN
1308 VINCENT PLACE
MCLEAN, VA 22101
202-599-7779
JMCKENNA@MC3.DESIGN

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NCARB ARCHITECT
1308 VINCENT PLACE
MCLEAN, VA 22101
SEAL

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CODE (IRC)

PROJECT
**COE
RESIDENCE**
2725 23RD RD N
ARLINGTON, VA 22201

REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE
**BACK
ELEVATION**

SCALE 1/4" = 1'-0"

DATE 2024.04.09

SHEET NO.

A203

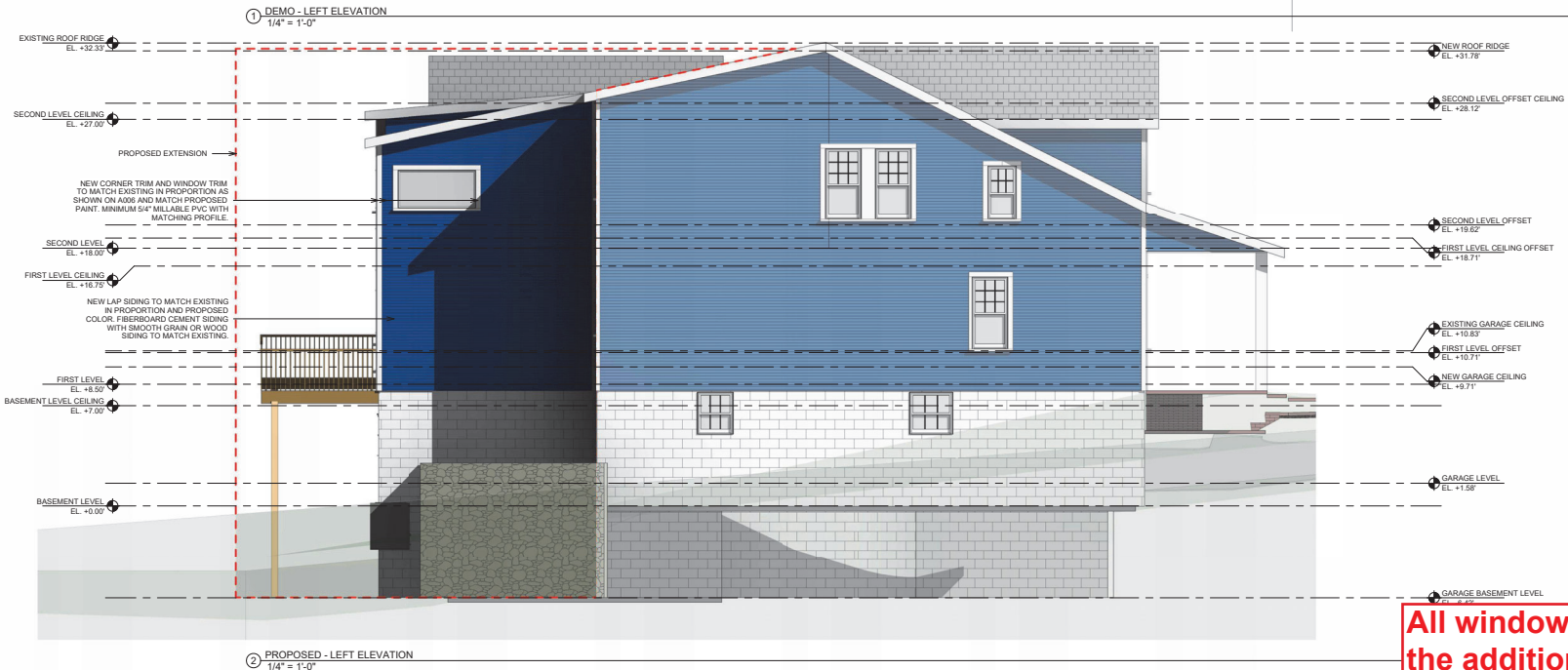
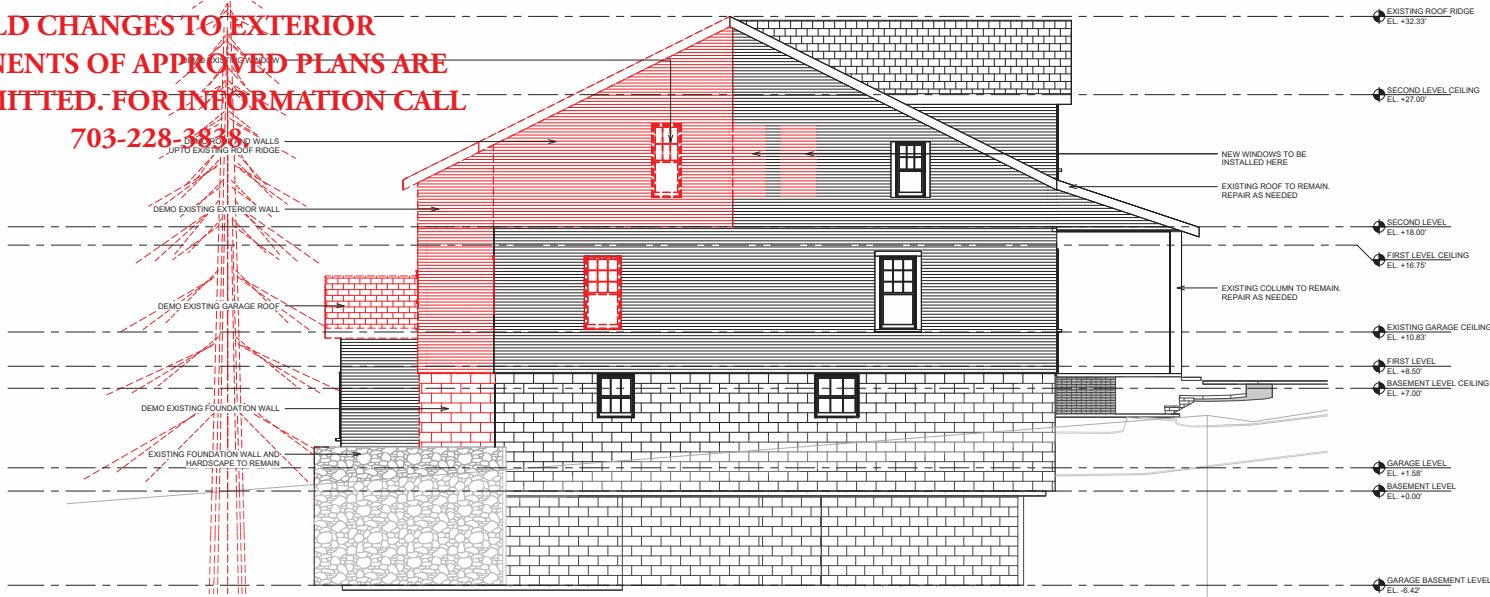
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COA ISSUED ON April 17, 2024

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703-228-3638



All windows in the addition must be wood (not clad wood).

MC3 DESIGN



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1308 VINCENT PLACE
MCLEAN, VA 22101
202-599-7779
JMCKENNA@MC3.DESIGN

DRAWN BY:
JOHN MCKENNA, AIA
NCARB ARCHITECT
1308 VINCENT PLACE
MCLEAN, VA 22101
SEAL

CODE
2018 VIRGINIA RESIDENTIAL
CODE (IRC)

PROJECT
**COE
RESIDENCE**
2725 23RD RD N
ARLINGTON, VA 22201

REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE
**LEFT
ELEVATION**

SCALE 1/4" = 1'-0"
DATE 2024.04.09

SHEET NO.
A204

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02 - COMPLETE DEMOLITION FLOORING MATERIAL TAKEOFF		
MATERIAL NAME	AREA	COMMENTS
BRICK PAVER HERRINGBONE	382 SF	
CONCRETE	60 SF	
02 - COMPLETE DEMOLITION WALL MATERIAL TAKEOFFS		
MATERIAL NAME	AREA	LINEAR FOOTAGE
1/2" WALL SHEATHING PLYWOOD	796 SF	114.378 LF
2X4 DIMENSIONAL LUMBER	1073 SF	150.523 LF
2X6 DIMENSIONAL LUMBER	1238 SF	170.714 LF
AIR FILTRATION BARRIER	802 SF	114.378 LF
EXISTING RETAINING WALL	219 SF	23.208 LF
EXTERIOR SIDING	795 SF	114.378 LF
GYPSUM WALL BOARD 1/2"	3809 SF	321.237 LF
TEXTURED 8" CMU	187 SF	24.623 LF
VAPOR RETARDER	802 SF	114.378 LF
02 - COMPLETE DEMOLITION CEILING MATERIAL TAKEOFF		
MATERIAL NAME	AREA	COMMENT
GYPSUM WALL BOARD 1/2"	60 SF	
02 - COMPLETE DEMOLITION ROOF MATERIAL TAKEOFF		
MATERIAL NAME	AREA	COMMENTS
ASPHALT SHINGLES	975 SF	
GYPSUM WALL BOARD 1/2"	975 SF	

03 - COMPLETE NEW FLOORING MATERIAL TAKEOFF		
MATERIAL NAME	AREA	COMMENTS
BRICK PAVER HERRINGBONE	15 SF	
CONCRETE	434 SF	
DECK FRAMING VOLUME	446 SF	
DECKING FINISH	446 SF	
FLOOR SHEATHING PLYWOOD	1352 SF	
WOOD FINISH FLOOR	1352 SF	
03 - COMPLETE NEW WALL MATERIAL TAKEOFFS		
MATERIAL NAME	AREA	LINEAR FOOTAGE
1/2" WALL SHEATHING PLYWOOD	1860 SF	267.003 LF
2X4 DIMENSIONAL LUMBER	1825 SF	275.276 LF
2X6 DIMENSIONAL LUMBER	2236 SF	312.776 LF
AIR FILTRATION BARRIER	1876 SF	267.003 LF
EXTERIOR SIDING	1860 SF	267.003 LF
GYPSUM WALL BOARD 1/2"	5905 SF	648.759 LF
SHOWER GLASS	92 SF	17.073 LF
STONE 01	112 SF	11.969 LF
TEXTURED 8" CMU	704 SF	103.592 LF
VAPOR RETARDER	1876 SF	267.003 LF
03 - COMPLETE NEW CEILING MATERIAL TAKEOFF		
MATERIAL NAME	AREA	COMMENT
GYPSUM WALL BOARD 1/2"	1785 SF	
03 - COMPLETE NEW ROOF MATERIAL TAKEOFF		
MATERIAL NAME	AREA	COMMENTS
ASPHALT SHINGLES	1433 SF	
GYPSUM WALL BOARD 1/2"	1431 SF	

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 703-228-3838.**



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 MCLEAN, VA 22101
 202.599.7779
 JMCKENNA@MC3.DESIGN

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REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE
**MATERIAL
 TAKEOFFS**

SCALE
 DATE 2024.04.09
 SHEET NO.

A402

Pella® Reserve™

Traditional Wood & Clad/Wood



All windows in the addition must be wood (not clad wood).

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COA ISSUED ON April 17, 2024

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Exquisitely designed windows and doors with unparalleled historical detailing.

Double-Hung Interior



Double-Hung Exterior



- Historical details**
 Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve - Traditional products are the ideal choice for historical renovations and traditional building projects.
- Authentic hardware**
 Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.
- Architectural interest**
 Featuring the industry's only foam spacer solution, Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles – providing meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.
- Virtually unlimited customization**
 If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.
- Tailor-made solutions**
 From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.
- Intentional innovation**
 Winner of the 2019 Most Innovative Window from Window and Door Magazine, the Integrated Rolscreen® retractable screen preserves aesthetics and the view. It is a double- and single-hung screen that appears when you open the window, and rolls away, out of sight, when you close it.
- Durable interiors and extruded aluminum exteriors**
 To help save you time on the jobsite, interior finish options are available in a variety of paints and stains, or primed and ready-to-paint. To complement your exterior aesthetic, choose from our carefully curated color palette or define your own custom color for your project.
- ENERGY STAR® certified¹**
 Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Reserve products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2021.¹
- Testing beyond requirements**
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.
- Best limited lifetime warranty²**
 Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.²

Available in these window and patio door styles:



Special shape windows also available.

^{1,2} See back cover for disclosures.

Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame / Install
						U-Factor	SHGC	STC	
Awning	13-3/4"	13-3/4"	59"	59"	LC40-CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Awning	17"	17"	53"	29"	R45-CW50	0.28-0.32	0.18-0.47	27-30	Pocket Replacement
Casement	13-3/4"	13-3/4"	47"	108"	R35-CW50	0.25-0.29	0.18-0.47	27-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Casement	17"	17"	35"	73"	R35-CW50	0.28-0.33	0.18-0.47	27-30	Pocket Replacement
Fixed Casement	10"	10"	144"	144"	R35-CW50	0.25-0.29	0.18-0.47	27-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Fixed Casement	17"	17"	59"	73"	R45-CW50	0.28-0.33	0.18-0.47	27-30	Pocket Replacement
Double-Hung	14"	24-3/8"	48"	96"	CW30-CW50	0.25-0.30	0.19-0.53	28-35	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Double-Hung	13-1/2"	23-3/4"	48"	84"	CW40-CW50	0.25-0.31	0.19-0.53	26-30	Pocket Replacement
Monumental Hung	13-3/4"	24"	72"	144"	LC25-CW50	0.25-0.30	0.17-0.47	29-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
In-Swing Hinged Patio Door (Single)	18"	36"	48"	199-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-35	
In-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	LC40-LC55	0.25-0.29	0.14-0.40	31-35	
Out-Swing Hinged Patio Door (Single)	18"	36"	48"	119-1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-36	
Out-Swing Hinged Patio Door (Double)	36"	36"	96"	119-1/2"	R50-LC70	0.25-0.30	0.14-0.39	30-36	
Sliding Patio Door (O)	30-3/4"	74"	60-3/4"	119-1/2"	LC40-LC70	0.29-0.32	0.15-0.42	-	
Sliding Patio Door (OX, XO)	59-1/4"	74"	119-1/2"	119-1/2"	LC35-LC65	0.29-0.32	0.15-0.42	29-35	
Sliding Patio Door (OXO)	90"	74"	180"	119-1/2"	LC30-LC45	0.29-0.32	0.15-0.42	-	
Sliding Patio Door (OXXO)	116-1/8"	74"	236-1/8"	119-1/2"	LC25-LC40	0.29-0.32	0.15-0.42	-	
Multi-Slide Patio Door	40-1/4"	50-1/2"	701-5/8"	119-1/2"	R15-LC25 ³	0.30 - 0.36	0.15 - 0.46	31	
Bifold Patio Door	31-3/4"	55-1/2"	312"	119-1/2"	R15-LC25 ³	0.26-0.44	0.13-0.45	-	For more info visit PellaADM.com

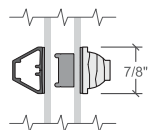
Window sizes available in 1/8" increments

Special sizes available. For more information regarding performance, visit pella.com/performance. For more information regarding frame and installation types, visit PellaADM.com.

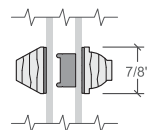
Grilles

Integral Light Technology[®]

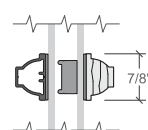
Choose the look of true divided light featuring the industry's only foam spacer.



Putty Glaze Exterior with Ogee Interior⁴
7/8", 1-1/4" or 2"



Putty Glaze Exterior with Ogee Interior⁴
7/8", 1-1/4" or 2"



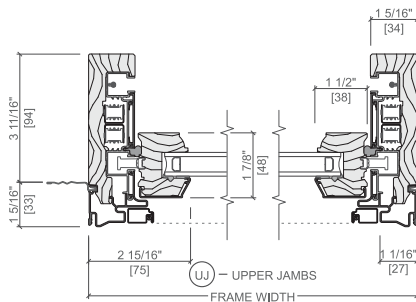
Ogee Exterior with Ogee Interior⁴
7/8", 1-1/4" or 2"

HALRB APPROVED

COA ISSUED ON April 17, 2024

Cross Sections

Cross Sections



Optional Fold-out Installation Fin

FIELD CHANGES TO EXTERIOR COMPONENTS OF APPROVED PLANS ARE NOT PERMITTED. FOR INFORMATION CALL 703-228-3838.

All windows in the addition must be wood (not clad wood).

^{3,4} See back cover for disclosures.

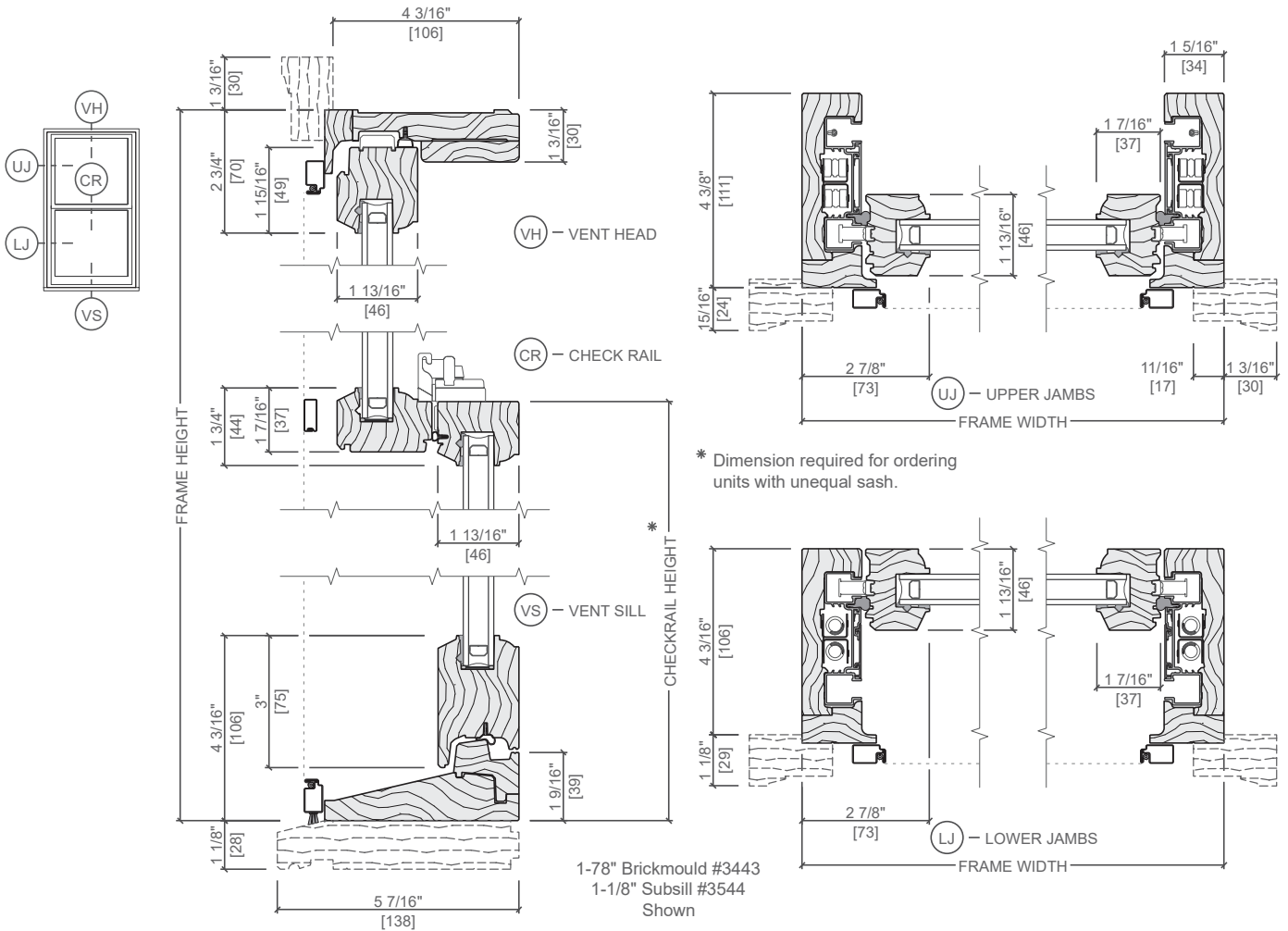


HUNG

UNIT SECTIONS

Wood Exterior

Vent - Putty Glaze Exterior Profile



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ANDERSEN™
WINDOWS & DOORS

All windows in the addition must be wood (not clad wood).

400 SERIES



THE WINDOWS
CONTRACTORS
TRUST THE MOST.*

*2020 Andersen brand survey of U.S. contractors.

All windows in the addition must be wood (not clad wood).

RELIABLE & ENERGY EFFICIENT

As our best-selling products, the 400 Series product line offers a distinct blend of design, reliability and trade confidence. Designed for easy installation for replacement, remodel or new construction projects, 400 Series products feature our Perma-Shield® exterior cladding that revolutionized the window industry. They're also backed by our renowned limited warranty and the largest service network in the industry.

ENERGY-SAVING GLASS FOR ANY CLIMATE

Andersen makes windows and patio doors with options that make them ENERGY STAR® v. 6.0 certified throughout the United States.

Visit andersenwindows.com/energystar for more information and to verify that the product with your glass option is certified in your area.



RIGOROUSLY TESTED

The exclusive Andersen Perma-Shield system gives our windows and doors a tough, protective shell that safeguards the wood inside. It repels water, resists dents* and stays beautiful for years.

LOW MAINTENANCE, NEVER NEEDS PAINTING

The Perma-Shield exteriors on Andersen 400 Series windows and doors offer superior weather resistance and are virtually maintenance free.



OPTIONS FOR THE HARSHTEST WEATHER

400 Series windows with Stormwatch® Protection meet building code requirements in coastal areas.** Products with Stormwatch Protection are energy efficient, resist the effects of salt water, and stand up to hurricane-force winds and wind-borne debris.** For details, visit andersenwindows.com/coastal.



QUALITY SO SOLID, THE WARRANTY IS TRANSFERABLE*

Many other window and door warranties end when a home is sold, but our coverage – 20 years on glass, 10 years on non-glass parts – transfers from each owner to the next. And because it's not prorated, the coverage offers full benefits year after year, owner after owner. So it can add real value when you decide to sell your home.

OWNER2OWNER® LIMITED WARRANTY

BUILT FOR YEARS TO COME*

Our products are built strong to last long.* We use the right materials in the right places, including solid wood, fiberglass and our own Fibrex® composite material. These give our windows and doors superior strength, stability and long-term beauty.

KEEPS THE WEATHER OUT

Our weather-resistant construction and careful selection of weatherstrip by product type seals out drafts, wind and water whatever the weather.

*Visit andersenwindows.com/warranty for details.

**See your local code official for code requirements in your area.

"ENERGY STAR" is a registered trademark of the U.S. Environmental Protection Agency.

All windows in the addition must be wood (not clad wood).

REPLACEMENT SOLUTIONS

Homeowners and realtors agree that Andersen products increase the value of a home by at least 10%*. So you're not just replacing their windows, you're upgrading their home.

INSERT WINDOWS



400 Series Woodwright® Double-Hung Insert Windows

The classic, traditional style of Woodwright full-frame windows in a time-saving insert.



400 Series Tilt-Wash Double-Hung Insert Windows

Our best-selling double-hung windows in an insert for easy replacement.

REPLACEMENT WINDOWS



400 Series Replacement Casement & Awning Windows

Available without an installation flange for easy window replacement from inside or outside. Feature predrilled, through-the-jamb installation holes for quick installation.

Our insert and replacement windows include flat self-hanging shims, backer rod, installation screws and complete instructions.



CUSTOM-SIZE FULL-FRAME WINDOWS

When the existing window frame is rotted or deteriorated, or you're modifying the size or shape of the existing window opening, our full-frame double-hung, casement, awning and specialty windows are available in custom sizes to fit your project.



CUSTOM-SIZE PATIO DOORS

Whether you need a hinged or gliding patio door for replacement, Andersen has a number of custom-size options to fit your project.



*2020 Andersen brand surveys of U.S. realtors and homeowners.