

COE RESIDENCE  
ADDITION

2725 23RD RD N  
ARLINGTON, VA 22201



GENERAL

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE DESIGN-BUILDER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES.

CODES AND STANDARDS

THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATIONS REFERENCED WITHIN SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT. USE THE LATEST EDITIONS UNLESS NOTED OTHERWISE.

MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ANSI/ASCE 7), AMERICAN SOCIETY OF CIVIL ENGINEERS.

BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318), AMERICAN CONCRETE INSTITUTE.

CODE REQUIREMENTS FOR RESIDENTIAL CONCRETE (ACI 332), AMERICAN CONCRETE INSTITUTE.

ACI MANUAL OF CONCRETE PRACTICE - PARTS 1 THROUGH 5.

MANUAL OF STANDARD PRACTICE, CONCRETE REINFORCING STEEL INSTITUTE.

MANUAL OF STEEL CONSTRUCTION - ALLOWABLE STRESS DESIGN - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (INCLUDING SPECIFICATION S FOR STRUCTURAL JOISTS USING ATSM A325 OR A490 BOLTS AND AISC CODE OF STANDARD PRACTICE WITH EXCEPTION, IF ANY, AS INDICATED IN THE SPECIFICATIONS).

MANUAL OF STEEL CONSTRUCTION, VOLUME II - CONNECTIONS - AMERICAN INSTITUTE OF STEEL CONSTRUCTION.

DETAILING FOR STEEL CONSTRUCTION, AMERICAN INSTITUTE OF STEEL CONSTRUCTION.

STRUCTURAL WELDING CODE (ANSI/AWS1.1-92), AMERICAN WELDING SOCIETY.

DESIGN MANUAL FOR FLOOR DECKS AND ROOF DECKS, STEEL DECK INSTITUTE.

SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS, AMERICAN IRON AND STEEL INSTITUTE.

BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/TMS 402) AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530/ ASCE 7/TMS 602).

NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS)

MISCELLANEOUS NOTES

EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 IN. AND A SILL LESS THAN 44" ABOVE FIN. FLR.

ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 9 SQUARE FEET ARE TO HAVE SAFETY GLAZING

SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS PLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEPHOLE 54-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

PROVIDE COMBUSTION AIR VENTS (W/SCREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

PROVIDE CRAWLSPACE VENTING TO MEET THE REQUIREMENTS OF THE 2006 EDITION OF THE I.R.C.

DRAWING SCHEDULE

| NUMBER | SHEET NAME                            |
|--------|---------------------------------------|
| A001   | COVER PAGE                            |
| A002   | GENERAL NOTES                         |
| A003   | AREA PLANS                            |
| A004   | SURVEY PLAT                           |
| A005   | EXISTING STUDY                        |
| A006   | EXISTING SITE PHOTOS                  |
| A007   | PERSPECTIVES                          |
| A008   | PROPOSED PERSPECTIVES                 |
| A101   | DEMOLITION PLAN GARAGE BASEMENT LEVEL |
| A102   | DEMOLITION PLAN BASEMENT LEVEL        |
| A103   | DEMOLITION PLAN FIRST LEVEL           |
| A104   | DEMOLITION PLAN SECOND LEVEL          |
| A105   | DEMOLITION ROOF PLAN                  |
| A111   | PROPOSED GARAGE BASEMENT PLAN         |
| A112   | PROPOSED BASEMENT PLAN                |
| A113   | PROPOSED FIRST LEVEL PLAN             |
| A114   | PROPOSED SECOND LEVEL PLAN            |
| A115   | PROPOSED ROOF PLAN                    |
| A201   | FRONT ELEVATION                       |
| A202   | RIGHT ELEVATION                       |
| A203   | BACK ELEVATION                        |
| A204   | LEFT ELEVATION                        |
| A301   | SECTION 01                            |
| A401   | WINDOW DOOR SCHEDULES                 |
| A402   | MATERIAL TAKEOFFS                     |
| A403   | MATERIAL TAKEOFFS                     |
| A501   | TYPICAL DETAILS                       |
| A601   | DEN - INTERIOR ENLARGED PLANS         |
| A602   | DEN - INTERIOR ELEVATIONS             |
| A603   | BASEMENT BATH 1 - ENLARGED PLANS      |
| A611   | KITCHEN PLANS AND PERSPECTIVES        |
| A612   | KITCHEN ELEVATIONS                    |
| A613   | GREAT ROOM PLANS                      |
| A614   | GREAT ROOM ELEVATIONS                 |
| A615   | POWDER ROOM PLANS AND ELEVATIONS      |
| A616   | PANTRY PLANS AND ELEVATIONS           |
| A617   | MUDROOM PLANS AND ELEVATIONS          |
| A618   | PLAYROOM PLANS                        |
| A619   | PLAYROOM ELEVATIONS                   |
| A620   | OFFICE PLANS AND ELEVATIONS           |
| A621   | PRIMARY BEDROOM ENLARGED PLAN         |
| A622   | PRIMARY BEDROOM ELEVATIONS            |
| A623   | PRIMARY CLOSET PLANS AND ELEVATIONS   |
| A624   | PRIMARY BATHROOM PLANS AND ELEVATIONS |
| A625   | LAUNDRY PLANS AND ELEVATIONS          |
| A626   | BATH 3 PLANS AND ELEVATIONS           |
| A627   | BATH 4 PLANS AND ELEVATIONS           |
| A628   | BEDROOM 2 PLANS AND ELEVATIONS        |
| A629   | BEDROOM 3 PLANS AND ELEVATIONS        |
| A630   | BEDROOM 4 PLANS                       |
| A631   | BEDROOM 4 ELEVATIONS                  |
| A801   | WINDBRACING DIAGRAMS                  |
| A802   | WINDBRACING DETAILS                   |
| A803   | WINDBRACING DETAILS                   |
| A902   | PROPOSED INTERIOR PERSPECTIVES        |
| S001   | FOUNDATION PLAN                       |
| S102   | BASEMENT LEVEL WALL FRAMING           |
| S103   | FIRST LEVEL FLOOR FRAMING PLAN        |
| S104   | FIRST LEVEL WALL FRAMING              |
| S105   | SECOND LEVEL FLOOR FRAMING PLAN       |
| S106   | SECOND LEVEL WALL FRAMING PLAN        |
| S107   | SECOND LEVEL ROOF FRAMING PLAN        |
| S301   | SECTIONS                              |
| S501   | STRUCTUAL ISOMETRIC                   |

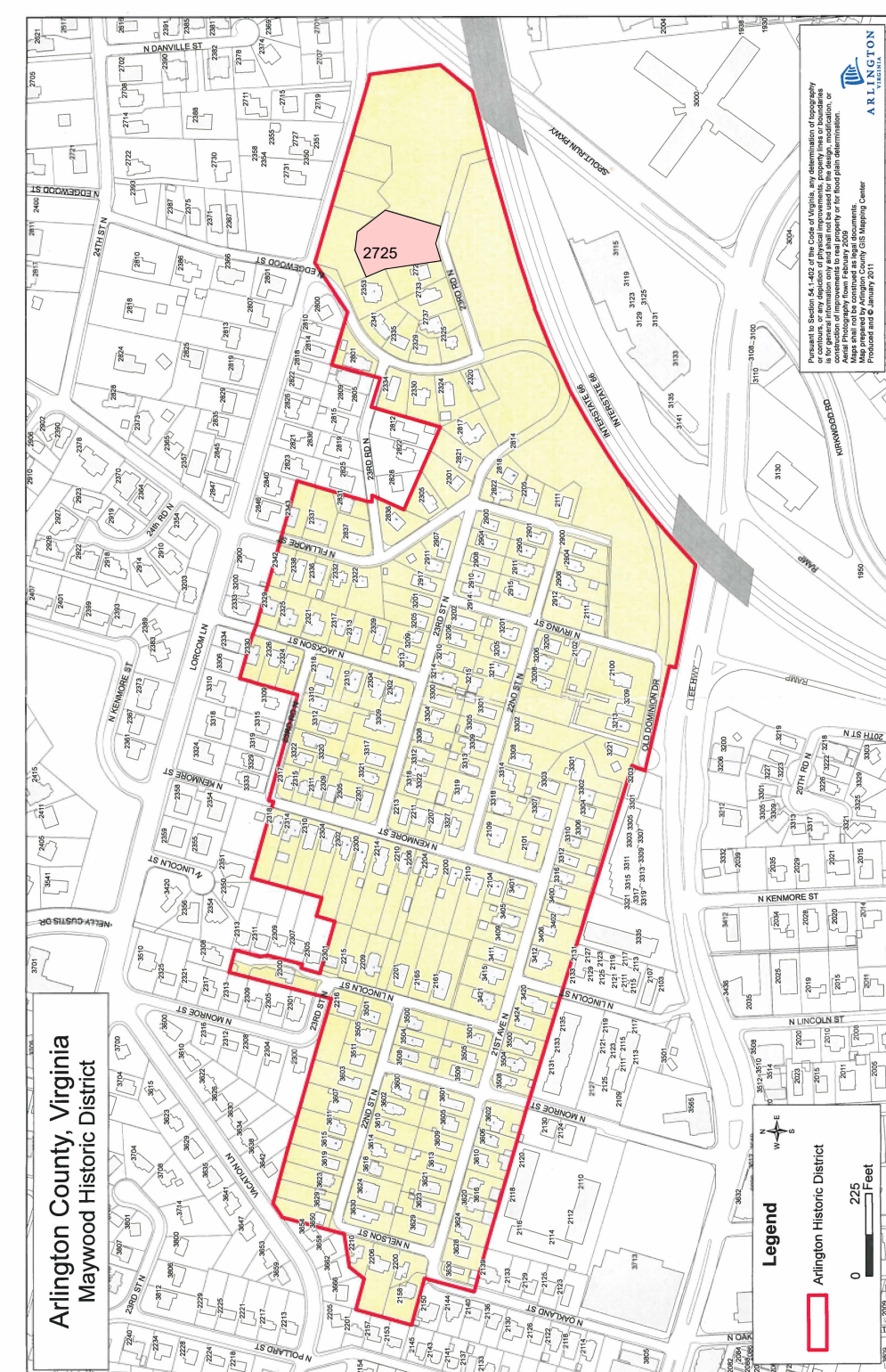
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INFO@MC3.DESIGN

DWELL BUILD  
1308 VINCENT PLACE, MCLEAN, VA 22102  
INFO@DWELLBUILD.COM

PROJECT INFORMATION

ZONING DISTRICT: R-6  
LOT NUMBER: 213  
LOT SQUARE FOOTAGE: 28651 SF  
BUILDING SQUARE FOOTAGE: 2073 SF

Appendix F: Map of Maywood



MAYWOOD HOMEOWNER'S HANDBOOK: DESIGN GUIDELINES

CODE

PROJECT SHALL CONFORM TO THE 2018 VIRGINIA UNIFORM STATEWIDE BUILDING CODE AND 2018 VIRGINIA INTERNATIONAL RESIDENTIAL CODE.

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REVISIONS

| NO. | DESCRIPTION | DATE       |
|-----|-------------|------------|
| 1   | REVISION 01 | 2024.07.15 |
| 2   | REVISION 02 | 2024.08.14 |

SHEET TITLE

COVER  
PAGE

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DATE 2024.08.22

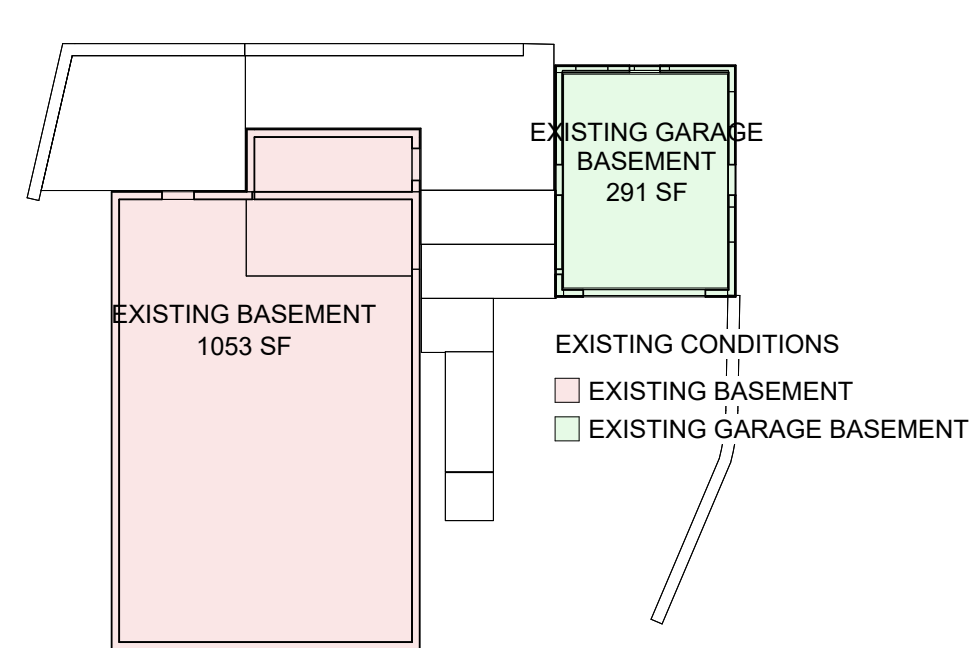
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A001

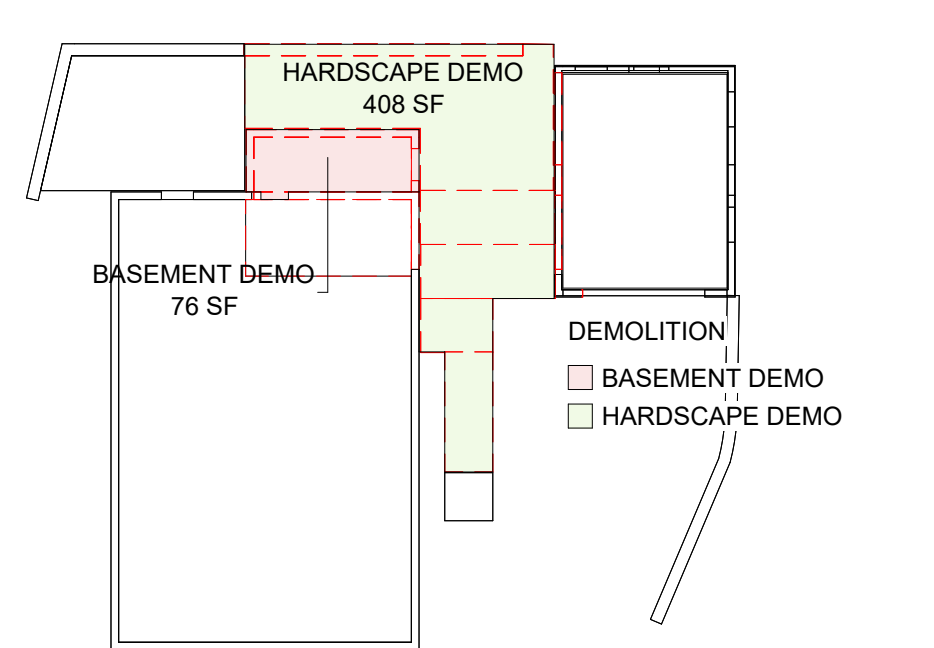


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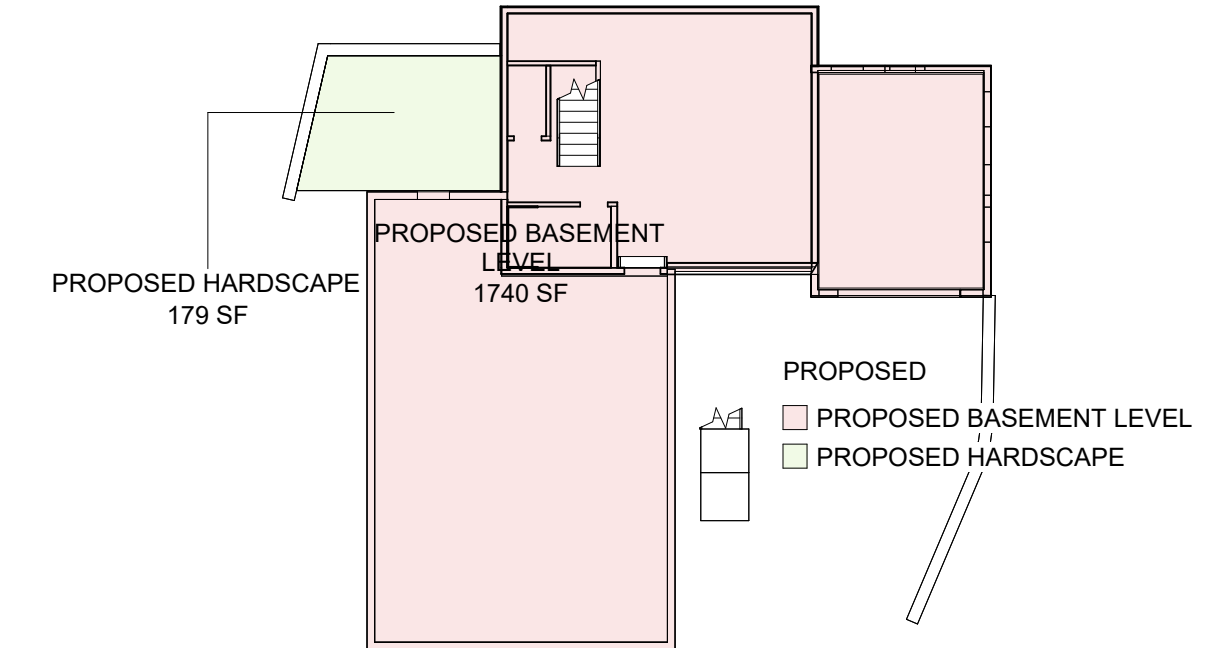
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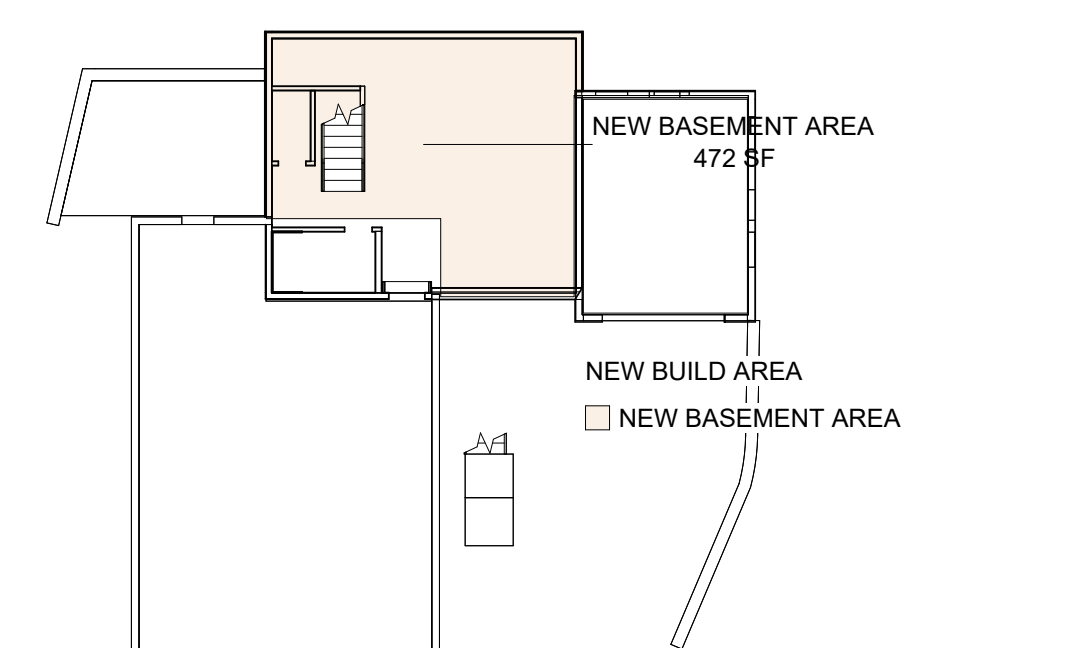
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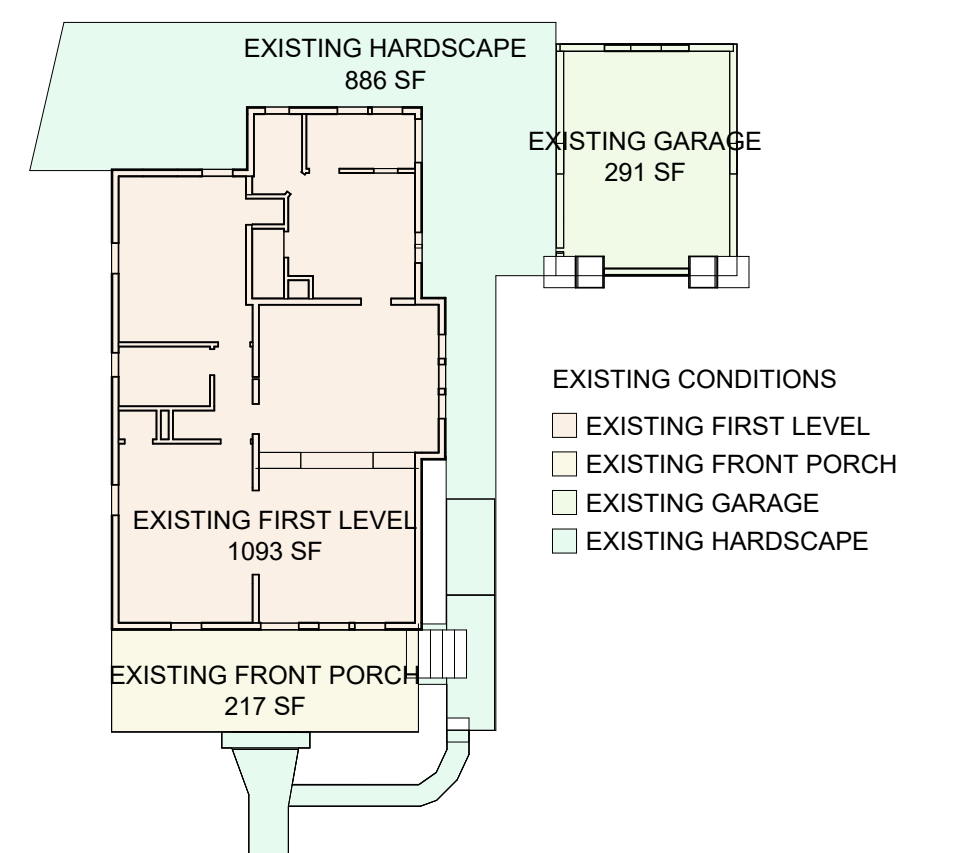
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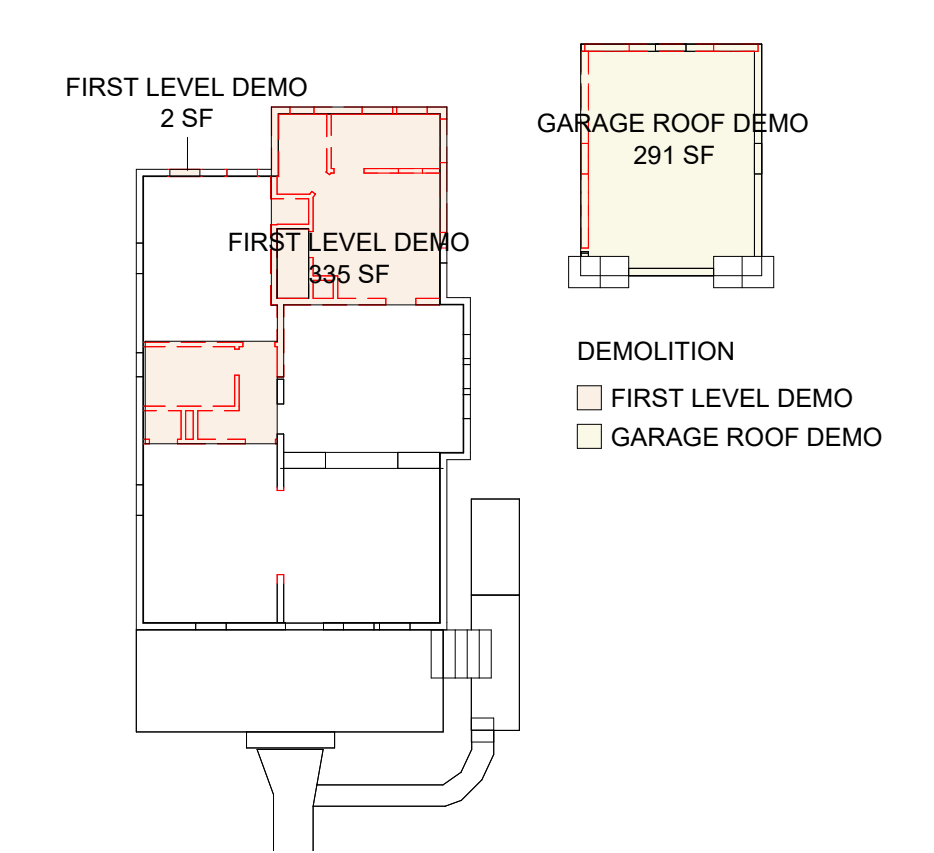
8 BASEMENT LEVEL PROPOSED  
1/16" = 1'-0"



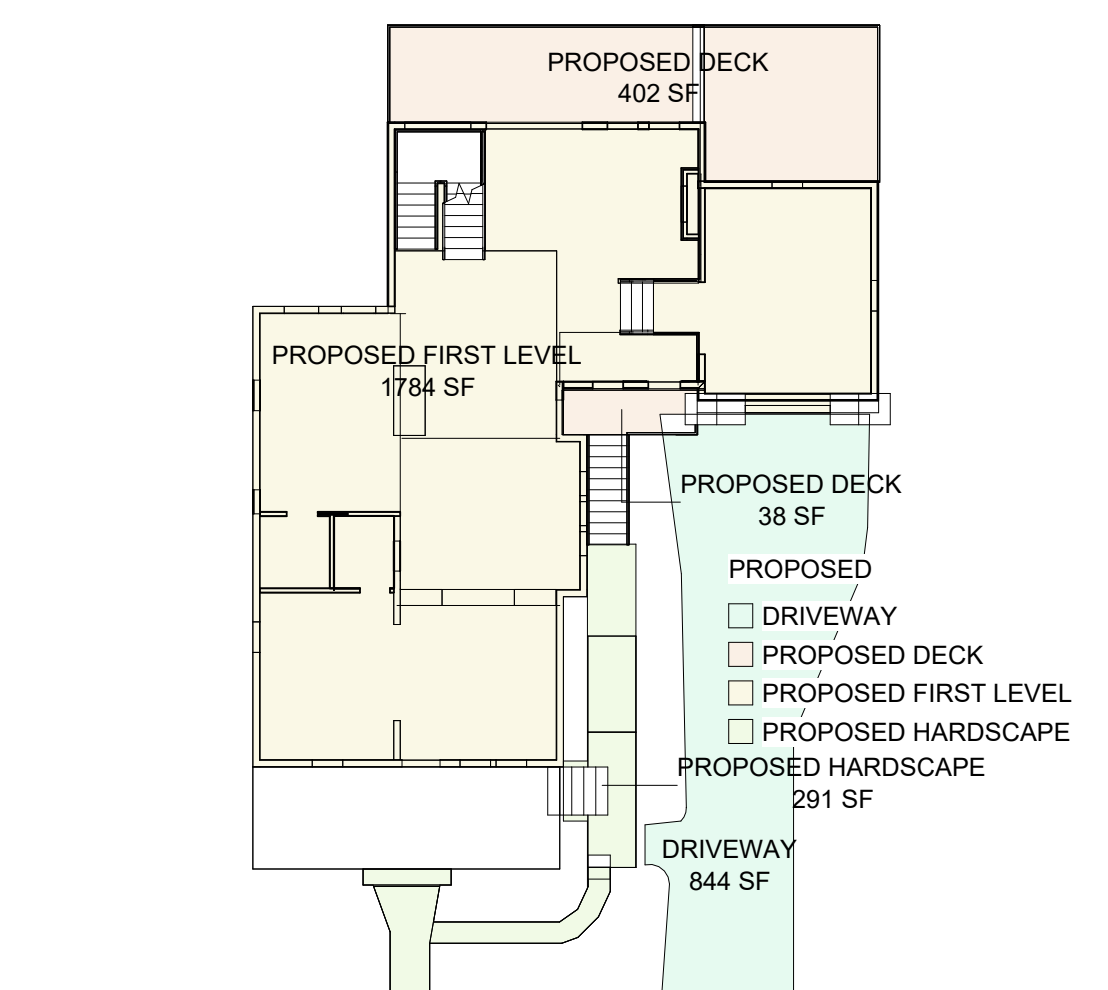
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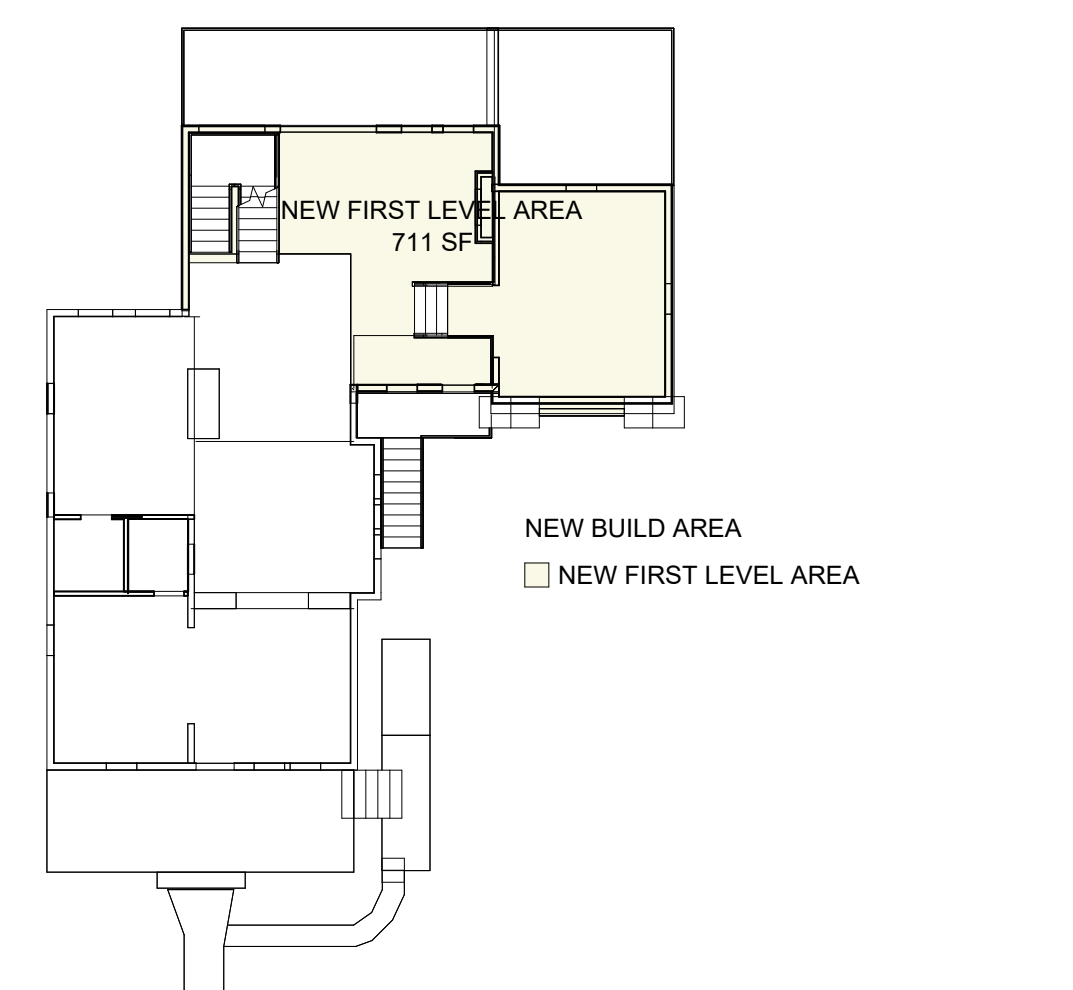
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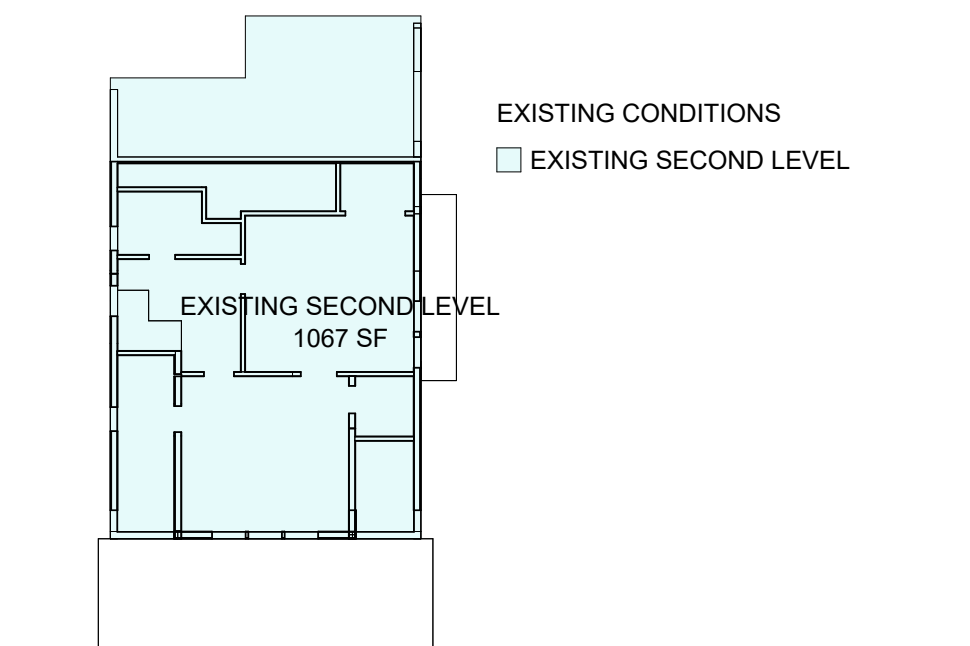
5 FIRST LEVEL DEMOLITION AREA  
1/16" = 1'-0"



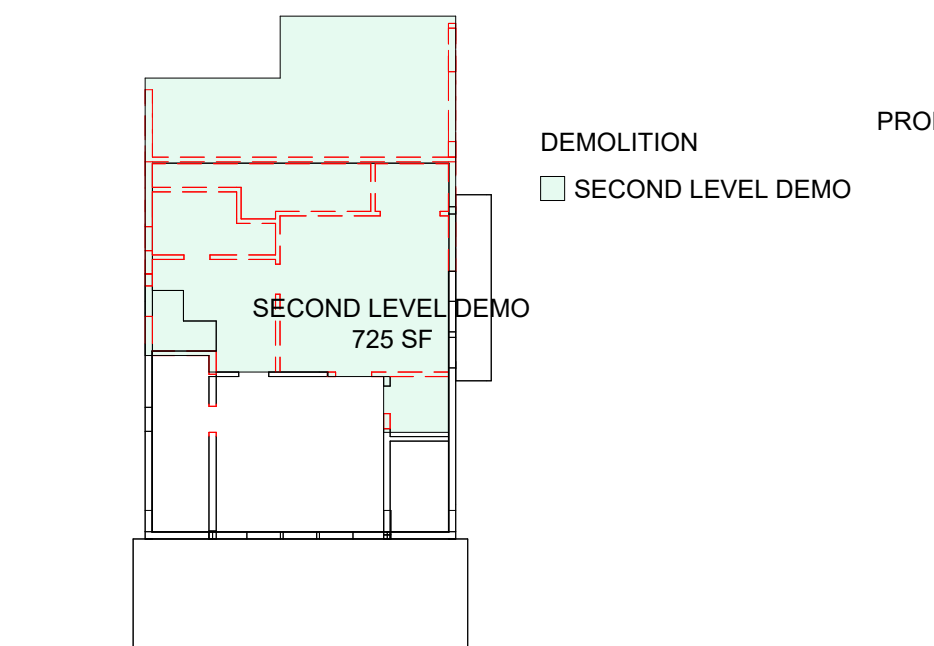
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1/16" = 1'-0"



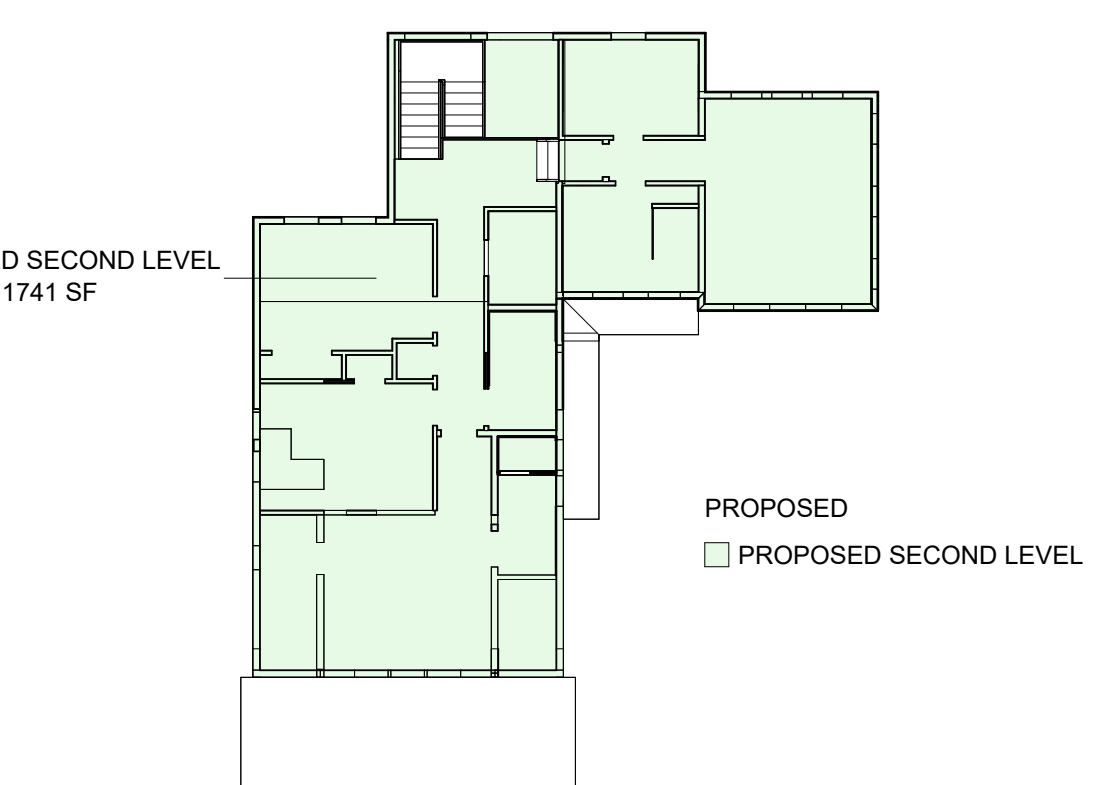
12 FIRST LEVEL NEW BUILD  
1/16" = 1'-0"



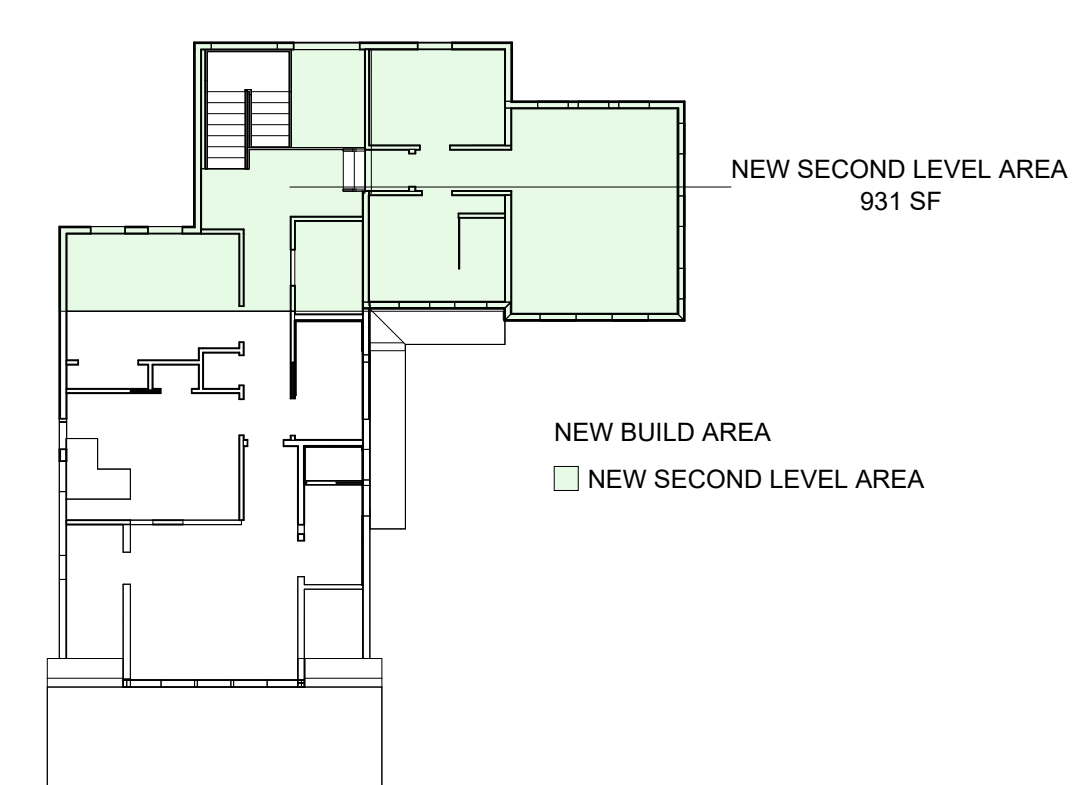
3 SECOND LEVEL EXISTING AREA  
1/16" = 1'-0"



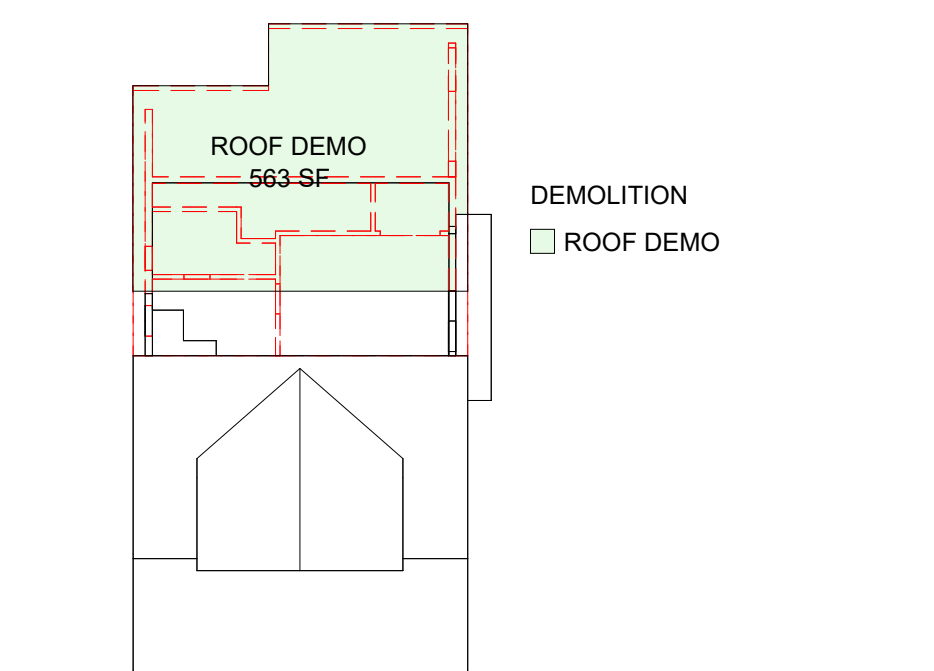
6 SECOND LEVEL DEMOLITION AREA  
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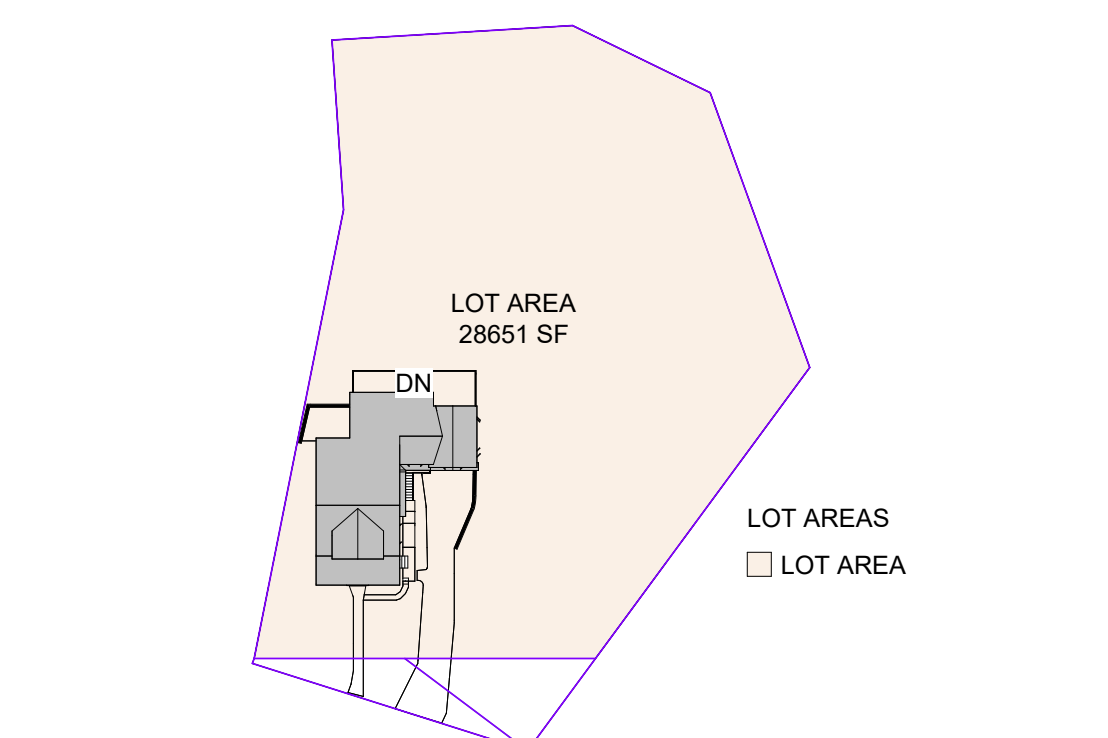
10 SECOND LEVEL PROPOSED  
1/16" = 1'-0"



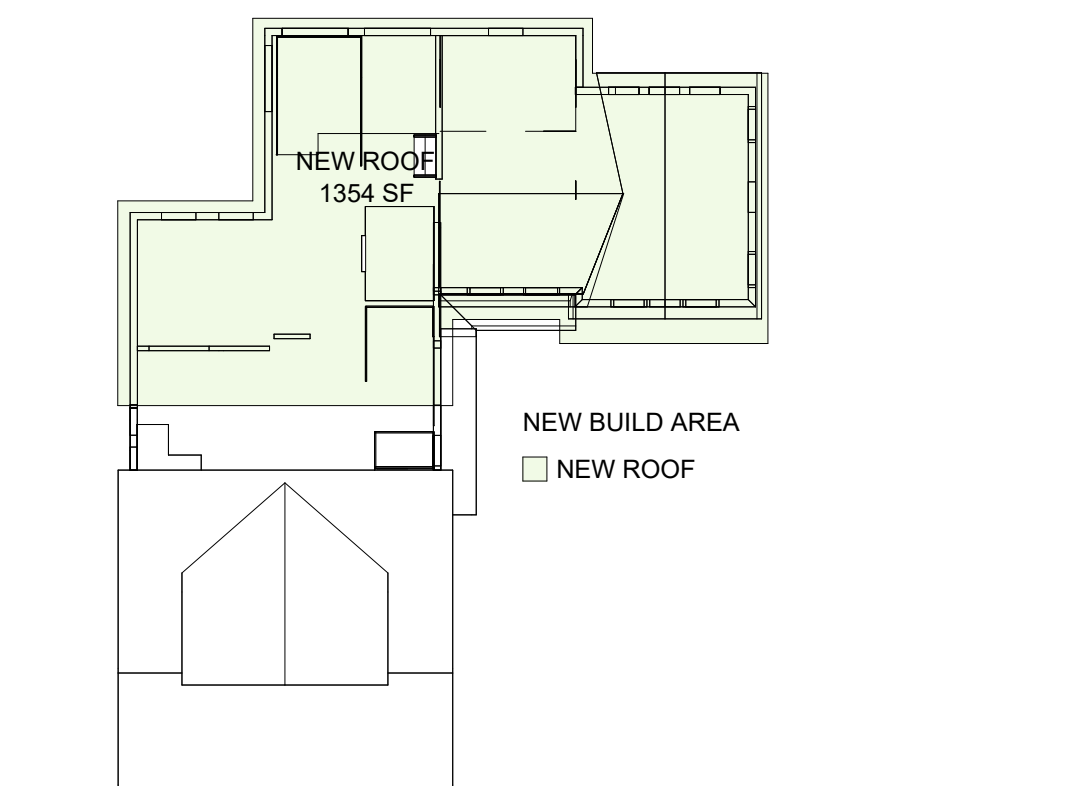
13 SECOND LEVEL NEW BUILD  
1/16" = 1'-0"



7 ROOF PLAN DEMOLITION AREA  
1/16" = 1'-0"



15 LOT AREA  
1/64" = 1'-0"



14 NEW ROOF RIDGE NEW BUILD  
1/16" = 1'-0"

| EXISTING CONDITION AREA  |                |                |
|--------------------------|----------------|----------------|
| NAME                     | AREA           | LEVEL          |
| EXISTING BASEMENT        | 1053 SF        | BASEMENT LEVEL |
| EXISTING GARAGE BASEMENT | 291 SF         | BASEMENT LEVEL |
| EXISTING GARAGE          | 291 SF         | FIRST LEVEL    |
| EXISTING FIRST LEVEL     | 1093 SF        | FIRST LEVEL    |
| EXISTING HARDSCAPE       | 886 SF         | FIRST LEVEL    |
| EXISTING FRONT PORCH     | 217 SF         | FIRST LEVEL    |
| EXISTING SECOND LEVEL    | 1067 SF        | SECOND LEVEL   |
| <b>TOTAL</b>             | <b>4898 SF</b> |                |
| DEMOLITION AREA          |                |                |
| NAME                     | AREA           | LEVEL          |
| HARDSCAPE DEMO           | 408 SF         | BASEMENT LEVEL |
| BASEMENT DEMO            | 76 SF          | BASEMENT LEVEL |
| FIRST LEVEL DEMO         | 335 SF         | FIRST LEVEL    |
| GARAGE ROOF DEMO         | 291 SF         | FIRST LEVEL    |
| FIRST LEVEL DEMO         | 2 SF           | FIRST LEVEL    |
| SECOND LEVEL DEMO        | 725 SF         | SECOND LEVEL   |
| ROOF DEMO                | 563 SF         | NEW ROOF RIDGE |
| <b>TOTAL</b>             | <b>2398 SF</b> |                |
| NEW BUILD AREA           |                |                |
| TITLE                    | AREA           | LEVEL          |
| NEW BASEMENT AREA        | 472 SF         | BASEMENT LEVEL |
| NEW FIRST LEVEL AREA     | 711 SF         | FIRST LEVEL    |
| NEW SECOND LEVEL AREA    | 931 SF         | SECOND LEVEL   |
| NEW ROOF                 | 1354 SF        | NEW ROOF RIDGE |
| <b>TOTAL</b>             | <b>3468 SF</b> |                |
| PROPOSED AREA PLAN       |                |                |
| NAME                     | AREA           | LEVEL          |
| PROPOSED BASEMENT LEVEL  | 1740 SF        | BASEMENT LEVEL |
| PROPOSED FIRST LEVEL     | 1784 SF        | FIRST LEVEL    |
| PROPOSED DECK            | 402 SF         | FIRST LEVEL    |
| PROPOSED DECK            | 38 SF          | FIRST LEVEL    |
| PROPOSED HARDSCAPE       | 291 SF         | FIRST LEVEL    |
| PROPOSED HARDSCAPE       | 179 SF         | BASEMENT LEVEL |
| PROPOSED SECOND LEVEL    | 1741 SF        | SECOND LEVEL   |
| DRIVEWAY                 | 844 SF         | FIRST LEVEL    |
| <b>TOTAL</b>             | <b>7018 SF</b> |                |
| LOT AREA                 |                |                |
| NAME                     | AREA           |                |
| LOT AREA                 | 28651 SF       |                |

MC3 DESIGN



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1308 VINCENT PLACE  
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JMKENNA@MC3.DESIGN

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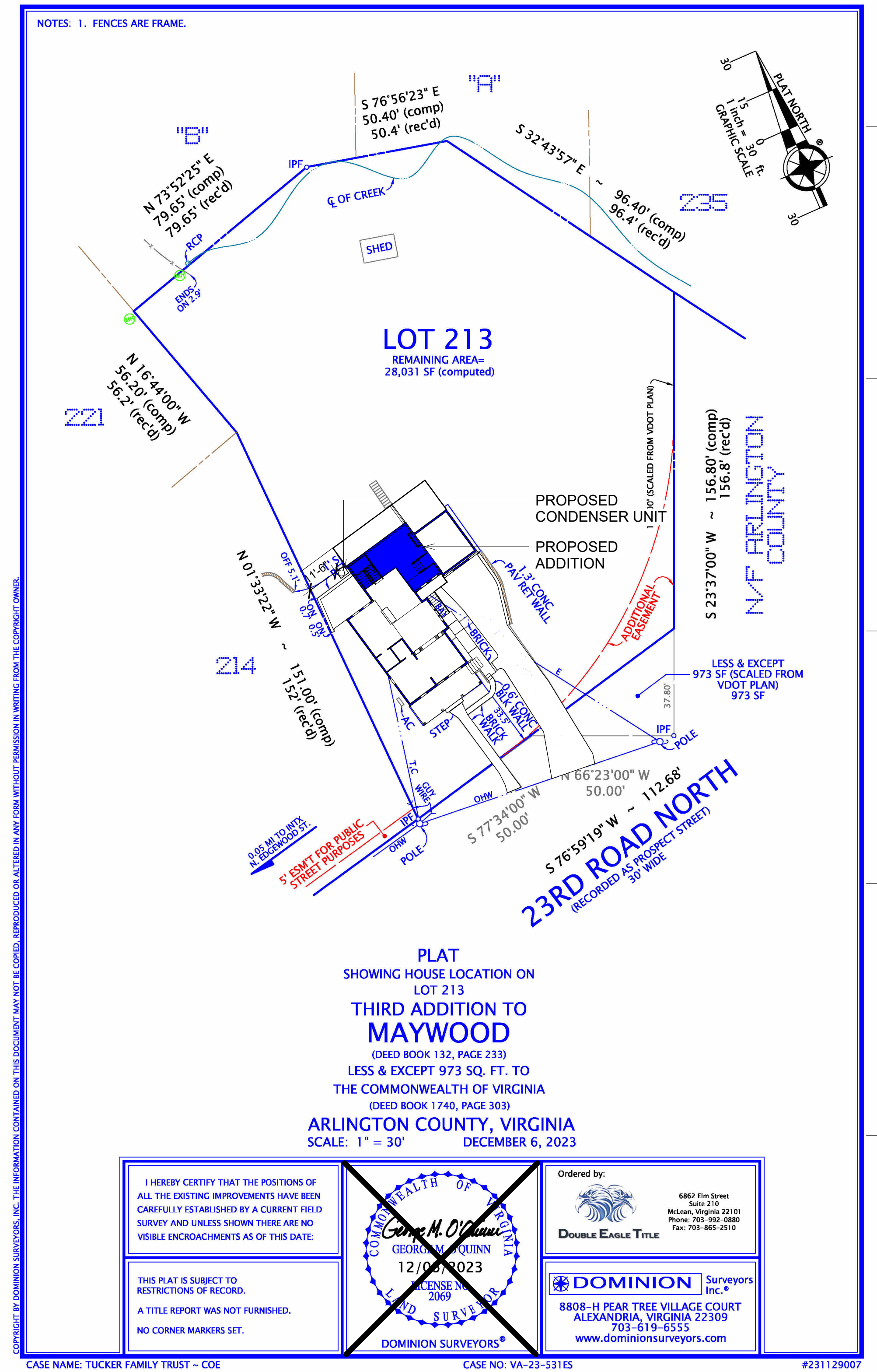
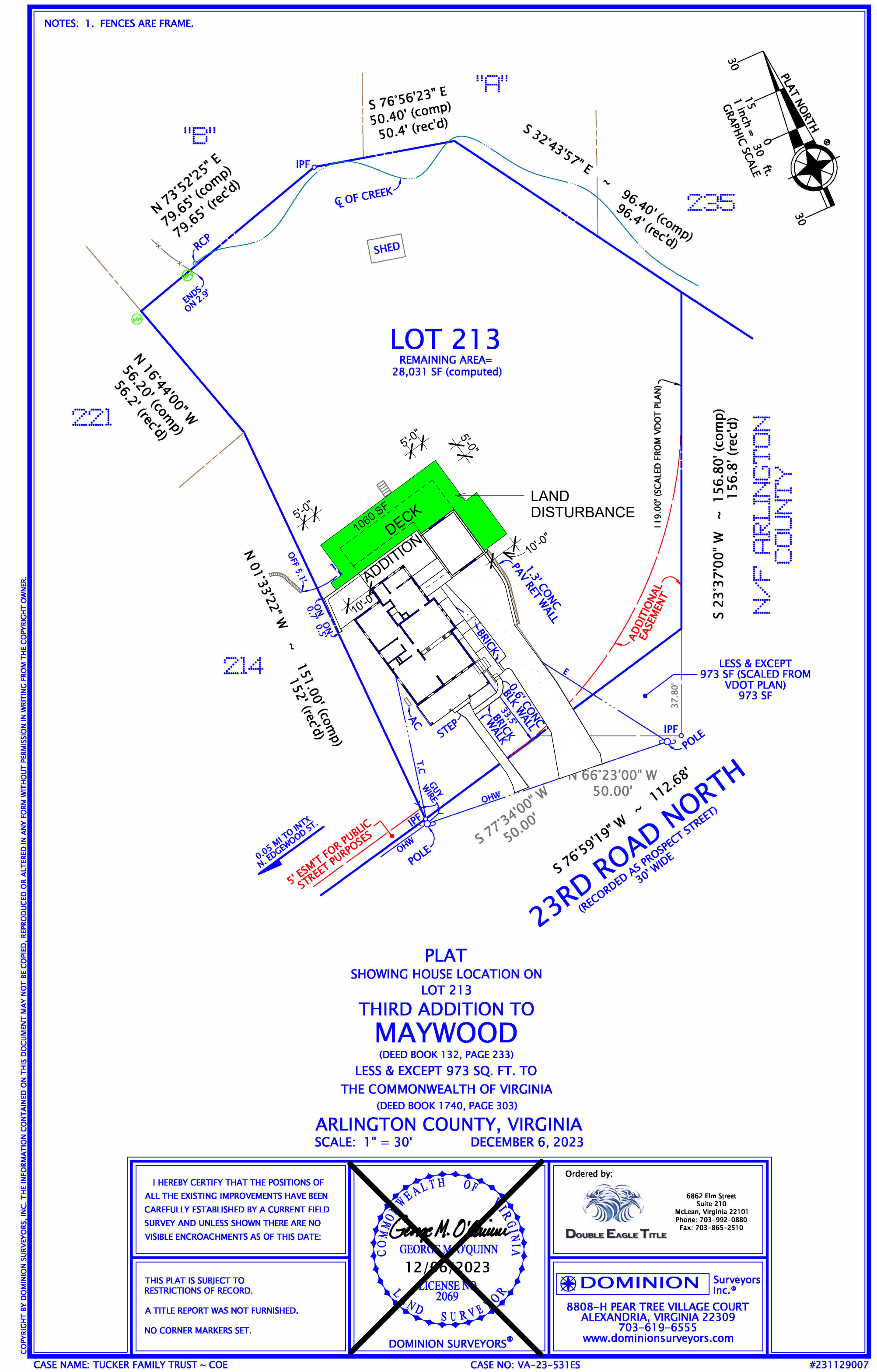
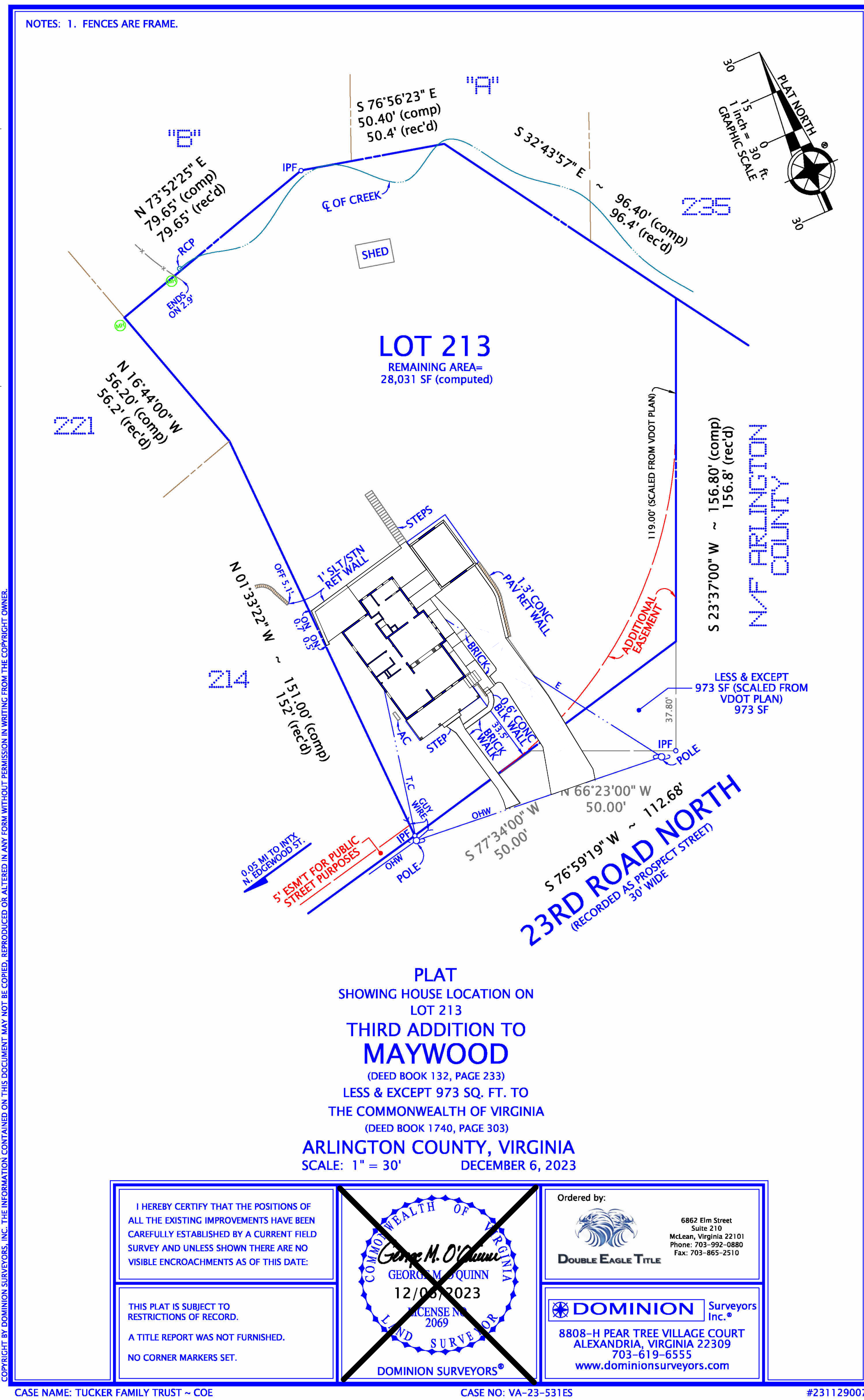
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SHEET TITLE  
**AREA PLANS**

SCALE As indicated  
DATE 2024.08.19  
SHEET NO.

**A003**



1 EXISTING CONDITION PLAT  
1" = 30'-0"

3 LAND DISTURBANCE  
1" = 30'-0"

2 PROPOSED PLAT  
1" = 30'-0"

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| 1   | REVISION 01 | 2024.07.15 |
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SHEET TITLE  
SURVEY  
PLAT

SCALE 1" = 30'-0"

DATE 2024.08.19

SHEET NO.

A004



MATCH EXISTING EXTERIOR SIDING PROPORTIONS ON PROPOSED EXTENSION. PROPOSED NAVY BLUE COLOR ON ALL SIDING.

ANY NEW ROOF OVERHANGS SHOULD DISPLAY (FAUX) RAFTERS AS DOES EXISTING HOUSE

FOUNDATION WALLS ON EXTENSION TO MATCH EXISTING

WINDOWS ON PROPOSED EXTENSION SHOULD MATCH EXISTING WINDOW LITE PROPORTION AND STYLE

MATCH CORNER AND WINDOW TRIM ON PROPOSED EXTENSION

ANY NEW HARDSCAPE TO MATCH EXISTING BRICK PAVER



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SHEET TITLE  
**EXISTING  
STUDY**

SCALE

DATE 2024.03.20

SHEET NO.

**A005**



BRICK PAVER TO BE REPAIRED AS NEEDED IN AREAS WHERE DESIGNATED TO REMAIN



PROPOSED FRONT FOUNDATION WALLS TO MATCH EXISTING TEXTURED CMU. PAINTED WHITE



PORTION OF GABLE ROOF TO REMAIN

EXTERIOR WALL TO REMAIN

REPLACE EXISTING GARAGE DOOR WITH FAUX DOUBLE DOOR STYLE WOOD GARAGE DOOR TO BE INSTALLED



EXISTING 2 1/2" OVERLAPPING WOOD SIDING



PROPOSED ROOF OVERHANGS MATCH EXPOSED RAFTER STYLE

EXISTING WOOD SIDING TO BE PAINTED NAVY BLUE

PROPOSED TO MATCH EXISTING CORNER TRIM PROPORTIONS, PAINT WHITE



PROPOSED BATHROOM WINDOWS TO MATCH PROPORTION AND STYLE OF THESE EXISTING WINDOWS

EXISTING FRONT PORCH WINDOWS. PROPOSED TO MATCH:



PROPOSED WINDOWS TO MATCH EXISTING MUNTIN PROFILE AND BE INTEGRAL TO GLASS PANES

TRIM AROUND PROPOSED WINDOWS TO MATCH EXISTING PROFILE



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SHEET TITLE

**EXISTING  
SITE  
PHOTOS**

SCALE

DATE 2024.08.19

SHEET NO.

**A006**

PHOTO:

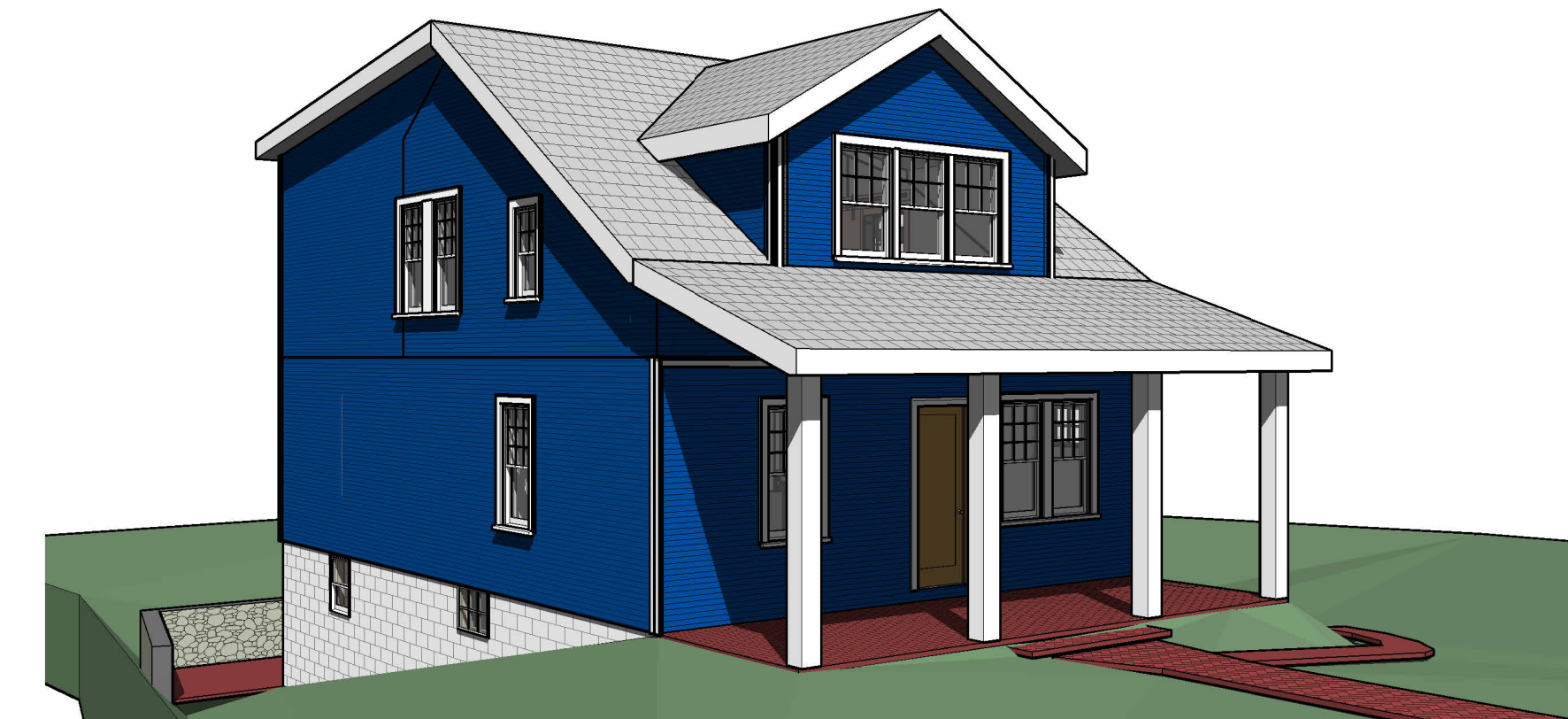


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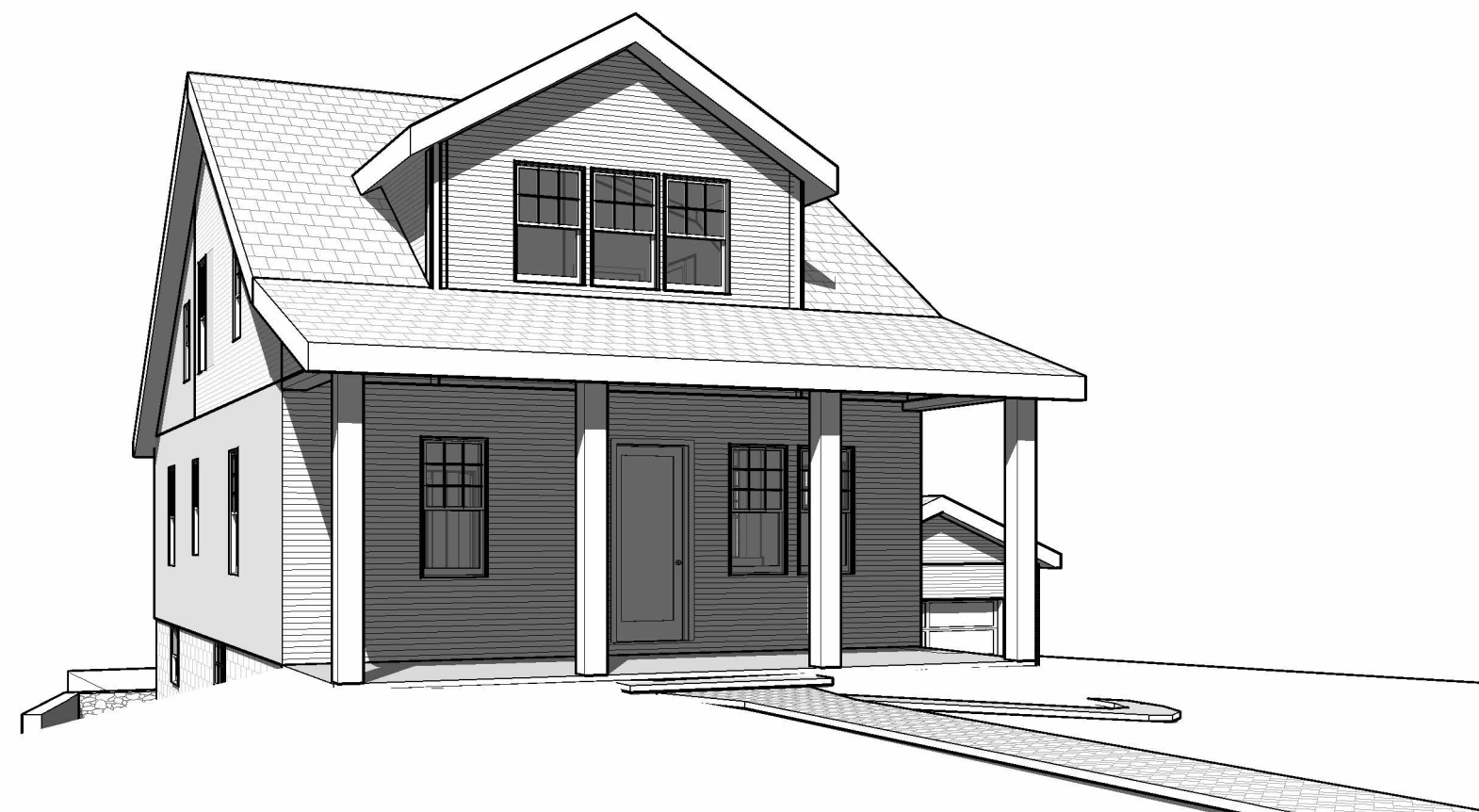


7 EXISTING - EXTERIOR VIEW 01

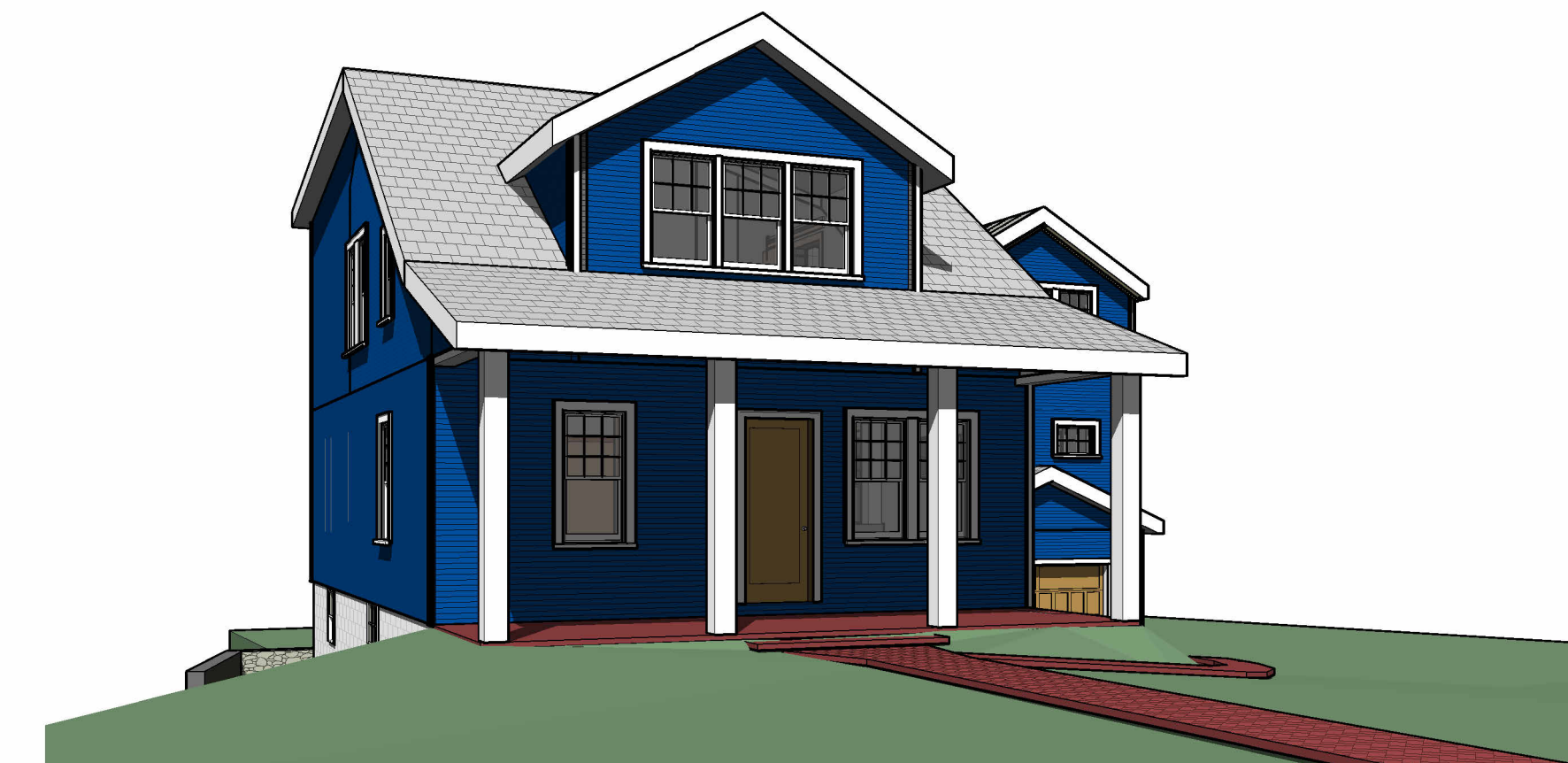
PROPOSED:



1 PROPOSED - EXTERIOR VIEW 01



2 EXISTING - EXTERIOR VIEW 03



3 PROPOSED - EXTERIOR VIEW 03



5 EXISTING - EXTERIOR VIEW 04



4 PROPOSED - EXTERIOR VIEW 04



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NCARB ARCHITECT

1308 VINCENT PLACE  
MCLEAN, VA 22101

SEAL

CODE  
2018 VIRGINIA RESIDENTIAL  
CODE (IRC)

PROJECT

COE  
RESIDENCE

2725 23RD RD N  
ARLINGTON, VA 22201

REVISIONS

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SHEET TITLE

PERSPECTIVES

SCALE

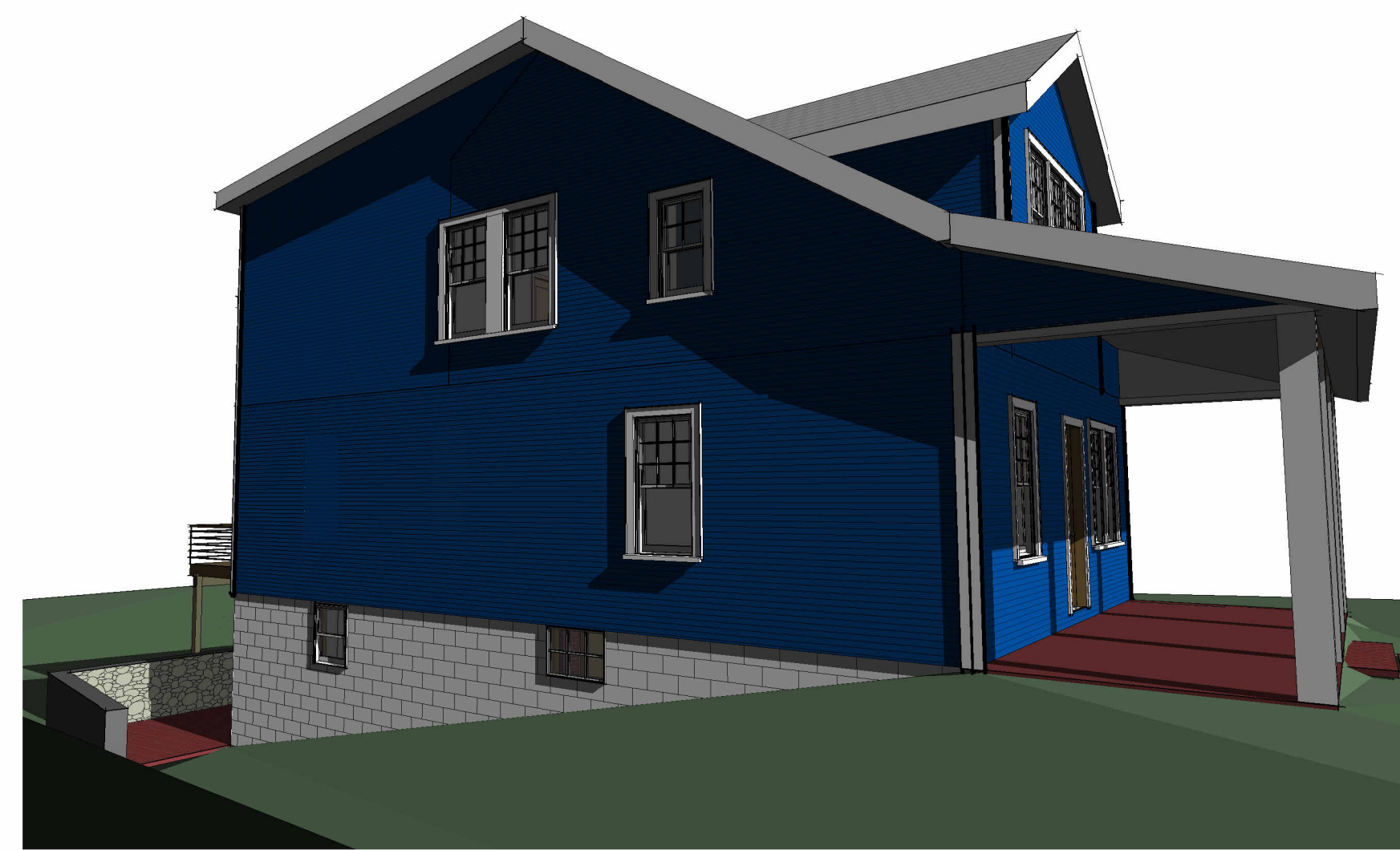
DATE 2024.08.19

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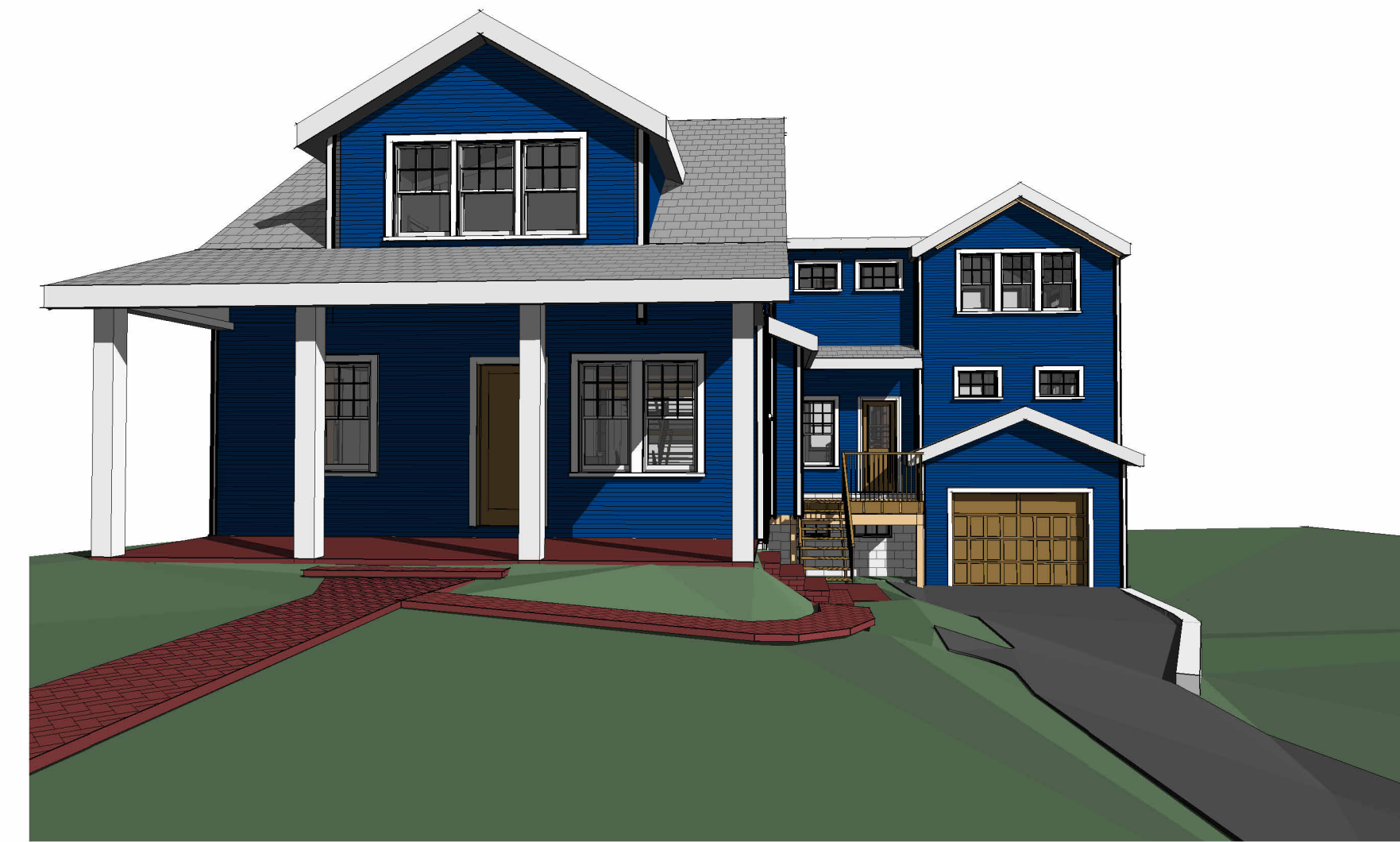
A007



1 EXTERIOR - FRONT PERSPECTIVE VIEW 01



2 EXTERIOR - LEFT PERSPECTIVE 01



6 EXTERIOR - FRONT PERSPECTIVE 02



3 EXTERIOR - BACK PERSEPECTIVE 01



4 EXTERIOR - RIGHT PERSPECTIVE 01



5 EXTERIOR - BACK PERSPECTIVE 02



MC3 DESIGN

1308 VINCENT PLACE  
MCLEAN, VA 22101

202.599.7779  
JMCKENNA@MC3.DESIGN

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NCARB ARCHITECT

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MCLEAN, VA 22101

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2725 23RD RD N  
ARLINGTON, VA 22201

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SHEET TITLE  
**PROPOSED  
PERSPECTIVES**

SCALE

DATE 2024.08.19

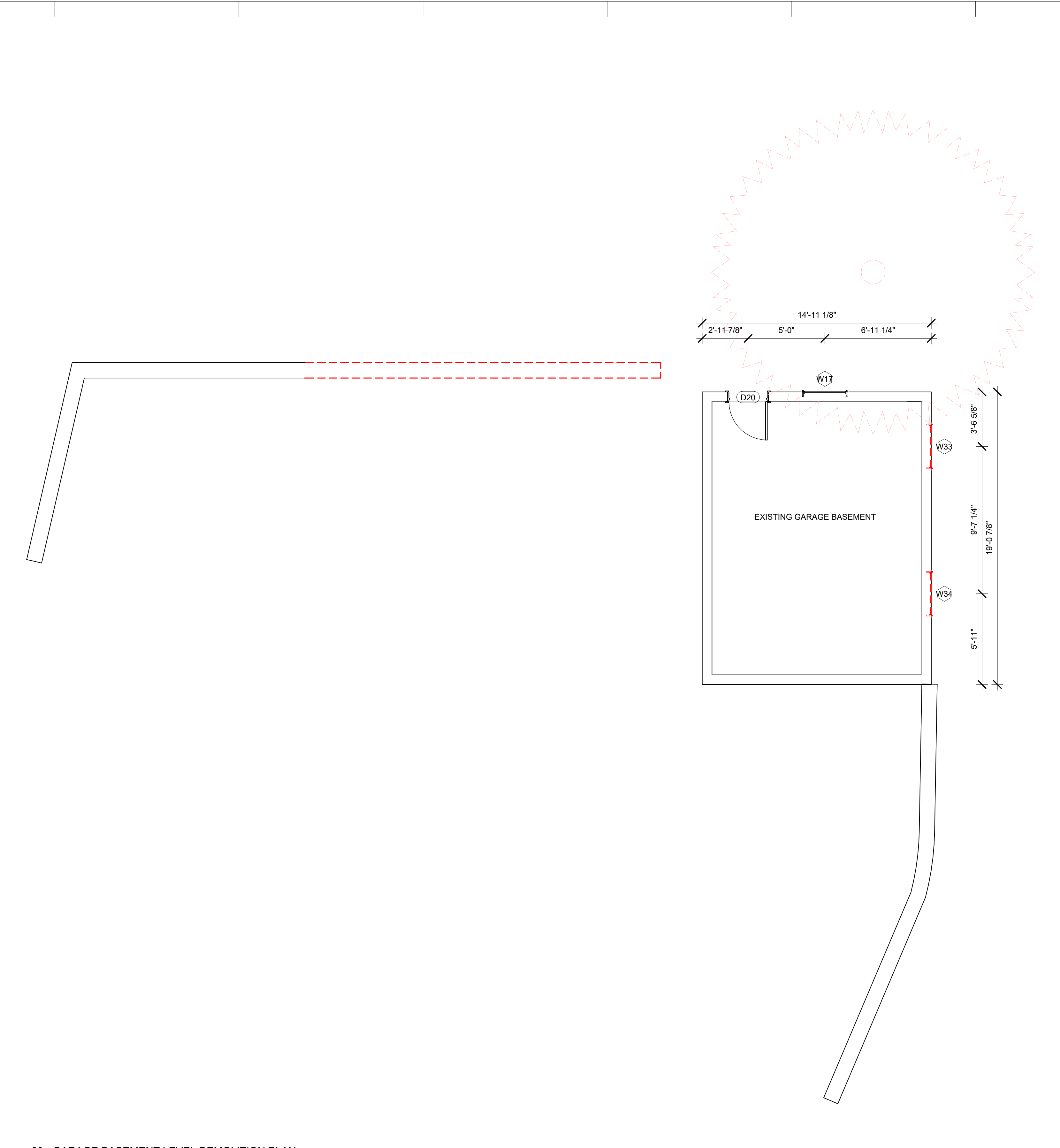
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**A008**



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① 00 - GARAGE BASEMENT LEVEL DEMOLITION PLAN  
1/4" = 1'-0"

| A101 - EXISTING GARAGE BASEMENT DOOR SCHEDULE   |               |        |                 |                |               |          |                  |
|-------------------------------------------------|---------------|--------|-----------------|----------------|---------------|----------|------------------|
| DOOR NUMBER                                     | HEADER HEIGHT | WIDTH  | EXISTING OR NEW |                | DEMO          |          |                  |
| D20                                             | 84            | 30     | EXISTING        |                | None          |          |                  |
| A101 - EXISTING GARAGE BASEMENT WINDOW SCHEDULE |               |        |                 |                |               |          |                  |
| QTY                                             | LABEL         | WIDTH  | HEIGHT          | SILL HEIGHT    | HEADER HEIGHT | CREATED  | DEMO             |
| 1                                               | W33           | 35"    | 24"             | 49"            | 73"           | EXISTING | NEW CONSTRUCTION |
| 1                                               | W34           | 35"    | 24"             | 49"            | 73"           | EXISTING | NEW CONSTRUCTION |
| 1                                               | W17           | 35"    | 24"             | 49"            | 73"           | EXISTING | None             |
| TOTAL: 3                                        |               |        |                 |                |               |          |                  |
| A101 - GARAGE BASEMENT WALL DEMOLITION TAKEOFF  |               |        |                 |                |               |          |                  |
| MATERIAL NAME                                   |               | AREA   |                 | LINEAR FOOTAGE |               |          |                  |
| EXISTING RETAINING WALL                         |               | 219 SF |                 | 23.208 LF      |               |          |                  |

MC3 DESIGN



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MCLEAN, VA 22101

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SHEET TITLE  
**DEMOLITION  
PLAN  
GARAGE  
BASEMENT  
LEVEL**

SCALE 1/4" = 1'-0"

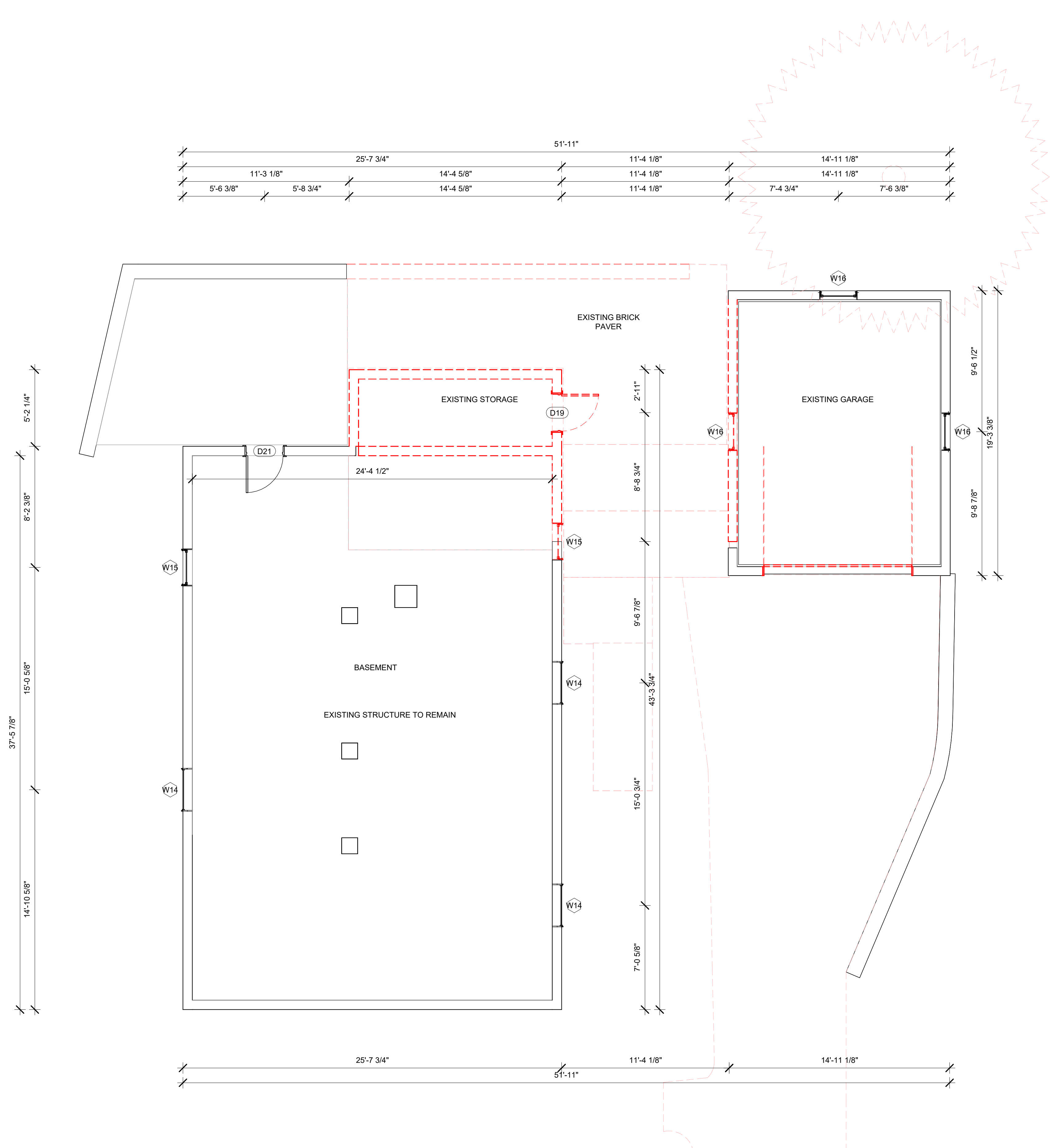
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**A101**

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A102 - EXISTING BASEMENT DOOR SCHEDULE

| DOOR NUMBER | HEADER HEIGHT | WIDTH | EXISTING OR NEW | DEMO             |
|-------------|---------------|-------|-----------------|------------------|
| D19         | 84            | 30    | EXISTING        | NEW CONSTRUCTION |
| D21         | 84            | 30    | EXISTING        | None             |

A102 - EXISTING GARAGE DOOR SCHEDULE

| DOOR NUMBER | HEADER HEIGHT | WIDTH | EXISTING OR NEW | DEMO             |
|-------------|---------------|-------|-----------------|------------------|
| D45         | 84            | 120   | EXISTING        | NEW CONSTRUCTION |

A102 - EXISTING BASEMENT WINDOW SCHEDULE

| QTY      | LABEL | WIDTH | HEIGHT | SILL HEIGHT | HEADER HEIGHT | CREATED  | DEMO             |
|----------|-------|-------|--------|-------------|---------------|----------|------------------|
| 1        | W15   | 30"   | 35"    | 61"         | 96"           | EXISTING | NEW CONSTRUCTION |
| 3        | W14   | 35"   | 24"    | 72"         | 96"           | EXISTING | None             |
| 1        | W15   | 30"   | 35"    | 60"         | 95"           | EXISTING | None             |
| TOTAL: 5 |       |       |        |             |               |          |                  |

A102 - EXISTING GARAGE WINDOW SCHEDULE

| QTY      | LABEL | WIDTH | HEIGHT | SILL HEIGHT | HEADER HEIGHT | CREATED  | DEMO             |
|----------|-------|-------|--------|-------------|---------------|----------|------------------|
| 1        | W16   | 31"   | 54"    | 24"         | 78"           | EXISTING | NEW CONSTRUCTION |
| 2        | W16   | 31"   | 54"    | 24"         | 78"           | EXISTING | None             |
| TOTAL: 3 |       |       |        |             |               |          |                  |

A102 - BASEMENT FLOORING DEMOLITION TAKEOFF

| MATERIAL NAME           | AREA   | COMMENTS |
|-------------------------|--------|----------|
| BRICK PAVER HERRINGBONE | 316 SF |          |
| CONCRETE                | 148 SF |          |

A102 - BASEMENT WALL DEMOLITION TAKEOFF

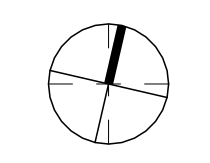
| MATERIAL NAME   | AREA   | LINEAR FOOTAGE |
|-----------------|--------|----------------|
| TEXTURED 8" CMU | 329 SF | 44.658 LF      |

A102 - BASEMENT CEILING DEMOLITION TAKEOFF

| MATERIAL NAME          | AREA  | COMMENT |
|------------------------|-------|---------|
| GYPSUM WALL BOARD 1/2" | 60 SF |         |

ALL EXISTING WINDOWS TO REMAIN TO BE REPLACED WITH MARVIN ULTIMATE WOOD SERIES WINDOWS TO MATCH EXISTING DIMENSIONS AND STYLE

1 01 - BASEMENT LEVEL DEMOLITION PLAN  
1/4" = 1'-0"



MC3 DESIGN



MC3 DESIGN

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MCLEAN, VA 22101

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JMKENNA@MC3.DESIGN

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NCARB ARCHITECT

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MCLEAN, VA 22101

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2725 23RD RD N  
ARLINGTON, VA 22201

REVISIONS

| NO. | DESCRIPTION | DATE       |
|-----|-------------|------------|
| 2   | REVISION 02 | 2024.08.14 |
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SHEET TITLE

DEMOLITION  
PLAN  
BASEMENT  
LEVEL

SCALE 1/4" = 1'-0"

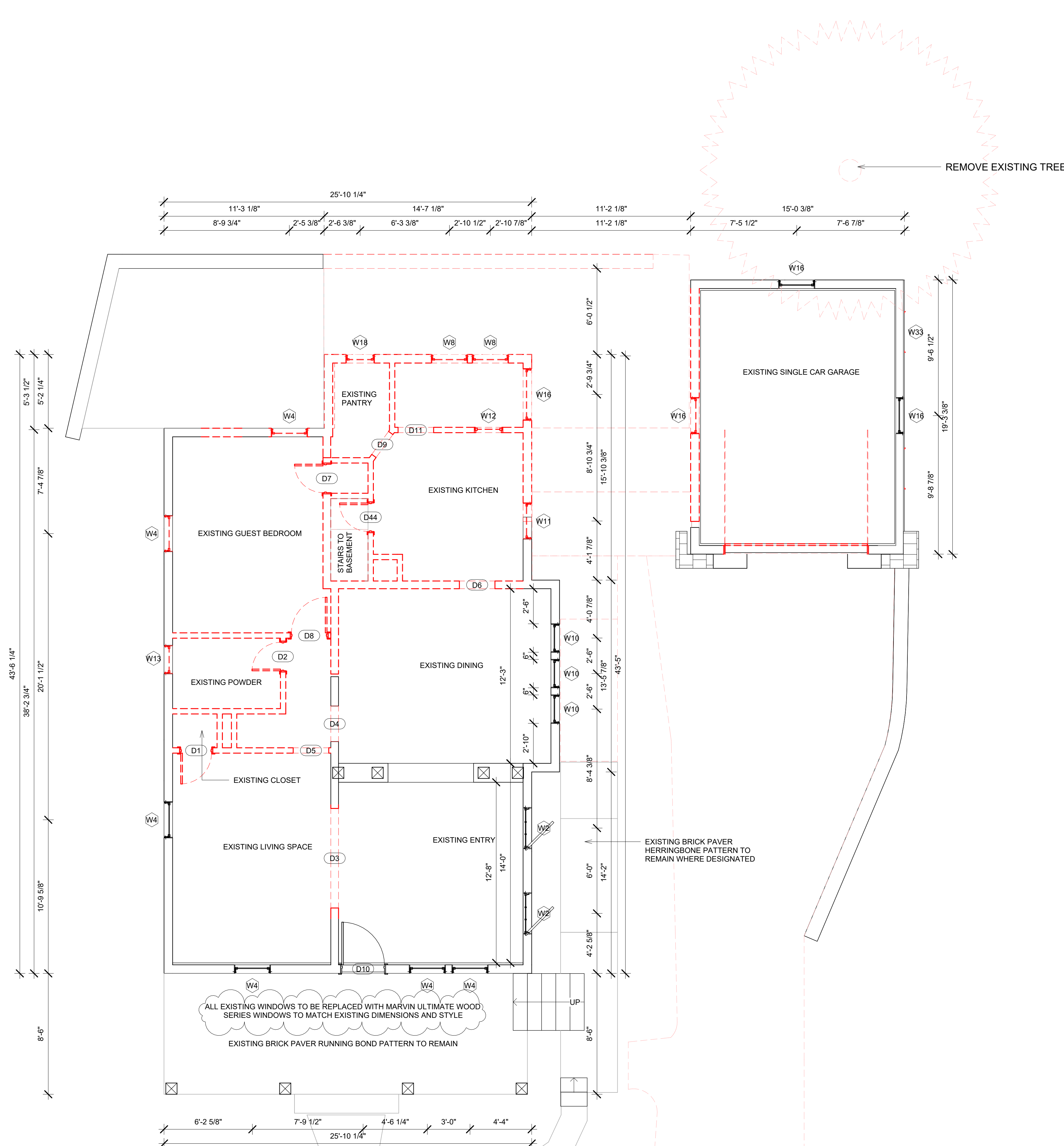
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A102

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02 - FIRST LEVEL DEMOLITION PLAN  
1/4" = 1'-0"

A103 - EXISTING FIRST LEVEL DOOR SCHEDULE

| DOOR NUMBER | HEADER HEIGHT | WIDTH | EXISTING OR NEW | DEMO             |
|-------------|---------------|-------|-----------------|------------------|
| D1          | 80            | 26    | EXISTING        | NEW CONSTRUCTION |
| D3          | 0             | 84    | EXISTING        | NEW CONSTRUCTION |
| D2          | 77            | 24    | EXISTING        | NEW CONSTRUCTION |
| D4          | 0             | 0     | EXISTING        | NEW CONSTRUCTION |
| D5          | 0             | 0     | EXISTING        | NEW CONSTRUCTION |
| D6          | 0             | 0     | EXISTING        | NEW CONSTRUCTION |
| D7          | 77            | 24    | EXISTING        | NEW CONSTRUCTION |
| D8          | 80            | 30    | EXISTING        | NEW CONSTRUCTION |
| D9          | 0             | 0     | EXISTING        | NEW CONSTRUCTION |
| D11         | 0             | 0     | EXISTING        | NEW CONSTRUCTION |
| D44         | 77            | 24    | EXISTING        | NEW CONSTRUCTION |
| D10         | 90            | 36    | EXISTING        | None             |

A103 - EXISTING FIRST LEVEL WINDOW SCHEDULE

| QTY       | LABEL | WIDTH | HEIGHT | SILL HEIGHT | HEADER HEIGHT | CREATED  | DEMO             |
|-----------|-------|-------|--------|-------------|---------------|----------|------------------|
| 2         | W4    | 31"   | 62"    | 30"         | 92"           | EXISTING | NEW CONSTRUCTION |
| 2         | W8    | 31"   | 45"    | 28"         | 73"           | EXISTING | NEW CONSTRUCTION |
| 1         | W11   | 31"   | 48"    | 45"         | 93"           | EXISTING | NEW CONSTRUCTION |
| 1         | W12   | 24"   | 24"    | 36"         | 60"           | EXISTING | NEW CONSTRUCTION |
| 1         | W13   | 24"   | 54"    | 38"         | 92"           | EXISTING | NEW CONSTRUCTION |
| 1         | W16   | 44"   | 45"    | 28"         | 73"           | EXISTING | NEW CONSTRUCTION |
| 1         | W18   | 24"   | 45"    | 24"         | 69"           | EXISTING | NEW CONSTRUCTION |
| 2         | W2    | 35"   | 24"    | 63"         | 87"           | EXISTING | None             |
| 4         | W4    | 31"   | 62"    | <varies>    | <varies>      | EXISTING | None             |
| 3         | W10   | 24"   | 62"    | 30"         | 92"           | EXISTING | None             |
| TOTAL: 18 |       |       |        |             |               |          |                  |

A103 - FIRST LEVEL FLOORING DEMOLITION TAKEOFF

| MATERIAL NAME           | AREA  | COMMENTS |
|-------------------------|-------|----------|
| BRICK PAVER HERRINGBONE | 67 SF |          |

A103 - FIRST LEVEL WALL DEMOLITION TAKEOFF

| MATERIAL NAME               | AREA    | LINEAR FOOTAGE |
|-----------------------------|---------|----------------|
| 1/2" WALL SHEATHING PLYWOOD | 199 SF  | 30.738 LF      |
| 2X4 DIMENSIONAL LUMBER      | 500 SF  | 78.404 LF      |
| 2X6 DIMENSIONAL LUMBER      | 402 SF  | 61.823 LF      |
| AIR FILTRATION BARRIER      | 202 SF  | 30.738 LF      |
| EXTERIOR SIDING             | 199 SF  | 30.738 LF      |
| GYP SUM WALL BOARD 1/2"     | 1599 SF | 140.227 LF     |
| VAPOR RETARDER              | 202 SF  | 30.738 LF      |

A103 - FIRST LEVEL CEILING DEMOLITION TAKEOFF

| MATERIAL NAME           | AREA   | COMMENT |
|-------------------------|--------|---------|
| GYP SUM WALL BOARD 1/2" | 739 SF |         |

MC3 DESIGN



MC3 DESIGN

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MCLEAN, VA 22101

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MCLEAN, VA 22101

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RESIDENCE

2725 23RD RD N  
ARLINGTON, VA 22201

REVISIONS

| NO. | DESCRIPTION | DATE       |
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| 2   | REVISION 02 | 2024.08.14 |
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SHEET TITLE

DEMOLITION  
PLAN FIRST  
LEVEL

SCALE 1/4" = 1'-0"

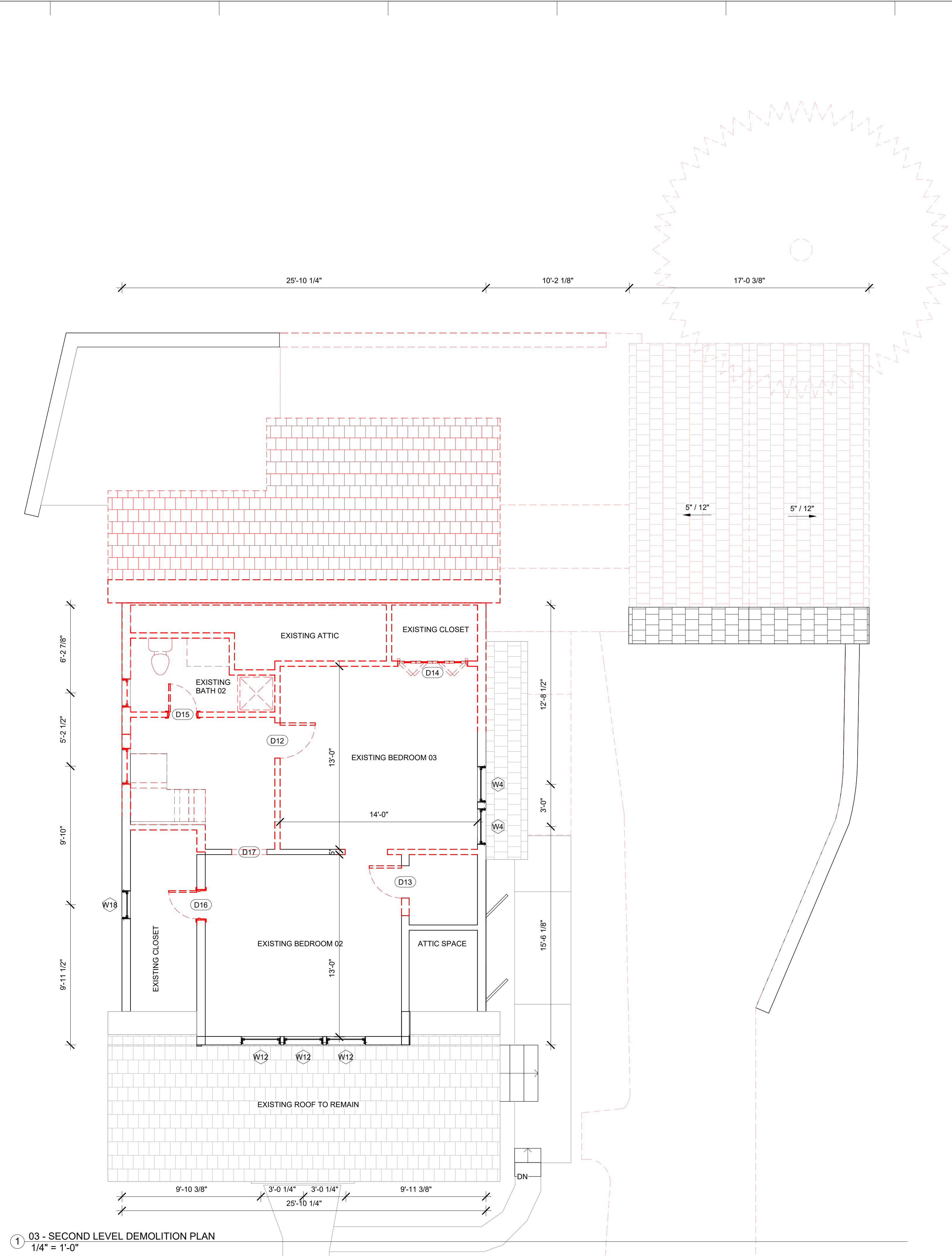
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A103

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A104 - EXISTING SECOND LEVEL DOOR SCHEDULE

| DOOR NUMBER | HEADER HEIGHT | WIDTH | EXISTING OR NEW | DEMO             |
|-------------|---------------|-------|-----------------|------------------|
| D12         | 80            | 30    | EXISTING        | NEW CONSTRUCTION |
| D13         | 80            | 28    | EXISTING        | NEW CONSTRUCTION |
| D14         | 84            | 60    | EXISTING        | NEW CONSTRUCTION |
| D15         | 77            | 24    | EXISTING        | NEW CONSTRUCTION |
| D16         | 77            | 24    | EXISTING        | NEW CONSTRUCTION |
| D17         | 0             | 0     | EXISTING        | NEW CONSTRUCTION |
| D25         | 80            | 36    | EXISTING        | NEW CONSTRUCTION |

A104 - EXISTING SECOND LEVEL WINDOW SCHEDULE

| QTY | LABEL | WIDTH | HEIGHT | SILL HEIGHT | HEADER HEIGHT | CREATED  | DEMO             |
|-----|-------|-------|--------|-------------|---------------|----------|------------------|
| 1   | W14   | 31"   | 62"    | 24"         | 86"           | EXISTING | NEW CONSTRUCTION |
| 1   | W18   | 24"   | 45"    | 24"         | 69"           | EXISTING | NEW CONSTRUCTION |
| 2   | W4    | 31"   | 62"    | 34"         | 95"           | EXISTING | None             |
| 3   | W12   | 34"   | 54"    | 47"         | 101"          | EXISTING | None             |
| 1   | W18   | 24"   | 45"    | 29"         | 74"           | EXISTING | None             |

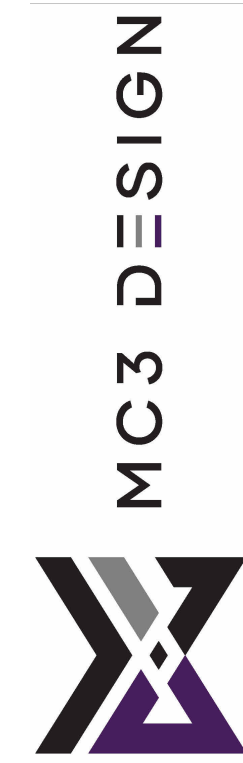
TOTAL: 8

A104 - SECOND LEVEL FLOORING DEMOLITION TAKEOFF

| MATERIAL NAME                               | AREA    | COMMENTS       |
|---------------------------------------------|---------|----------------|
| A104 - SECOND LEVEL WALL DEMOLITION TAKEOFF |         |                |
| MATERIAL NAME                               | AREA    | LINEAR FOOTAGE |
| 1/2" WALL SHEATHING PLYWOOD                 | 159 SF  | 27.219 LF      |
| 2X4 DIMENSIONAL LUMBER                      | 532 SF  | 72.119 LF      |
| 2X6 DIMENSIONAL LUMBER                      | 259 SF  | 52.469 LF      |
| AIR FILTRATION BARRIER                      | 159 SF  | 27.219 LF      |
| EXTERIOR SIDING                             | 159 SF  | 27.219 LF      |
| GYPSUM WALL BOARD 1/2"                      | 1409 SF | 124.587 LF     |
| VAPOR RETARDER                              | 159 SF  | 27.219 LF      |

A104 - SECOND LEVEL CEILING DEMOLITION TAKEOFF

| MATERIAL NAME                                                                                                       | AREA | COMMENT |
|---------------------------------------------------------------------------------------------------------------------|------|---------|
| ALL EXISTING WINDOWS TO BE REPLACED WITH MARVIN ULTIMATE WOOD SERIES WINDOWS TO MATCH EXISTING DIMENSIONS AND STYLE |      |         |



MC3 DESIGN  
 1308 VINCENT PLACE  
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 JMCKENNA@MC3.DESIGN

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 1308 VINCENT PLACE  
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REVISIONS

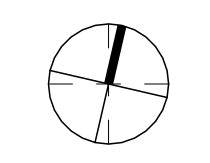
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SHEET TITLE  
**DEMOLITION  
 PLAN  
 SECOND  
 LEVEL**

SCALE      1/4" = 1'-0"  
 DATE      2024.08.22  
 SHEET NO.

**A104**

1 03 - SECOND LEVEL DEMOLITION PLAN  
 1/4" = 1'-0"



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| A105 - ROOF DEMOLITION TAKEOFF |         |          |
|--------------------------------|---------|----------|
| MATERIAL NAME                  | AREA    | COMMENTS |
| 1/2" ROOF SHEATHING PLYWOOD    | 1200 SF |          |
| 2X10 DIMENSIONAL LUMBER        | 1199 SF |          |
| ASPHALT SHINGLES               | 1201 SF |          |
| GYPSUM WALL BOARD 1/2"         | 1174 SF |          |

MC3 DESIGN



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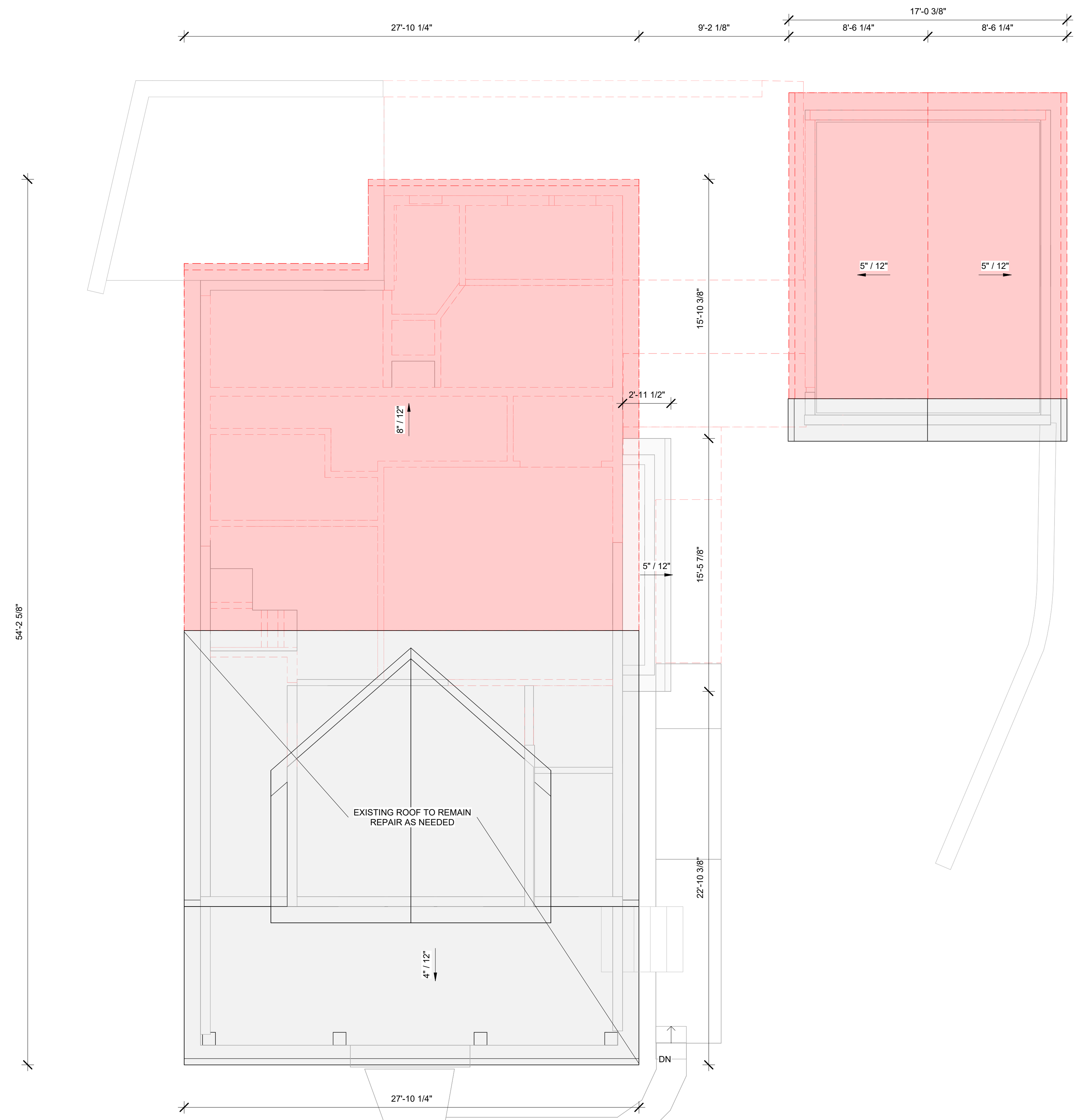
**DEMOLITION  
ROOF PLAN**

SCALE 1/4" = 1'-0"

DATE 2024.08.22

SHEET NO.

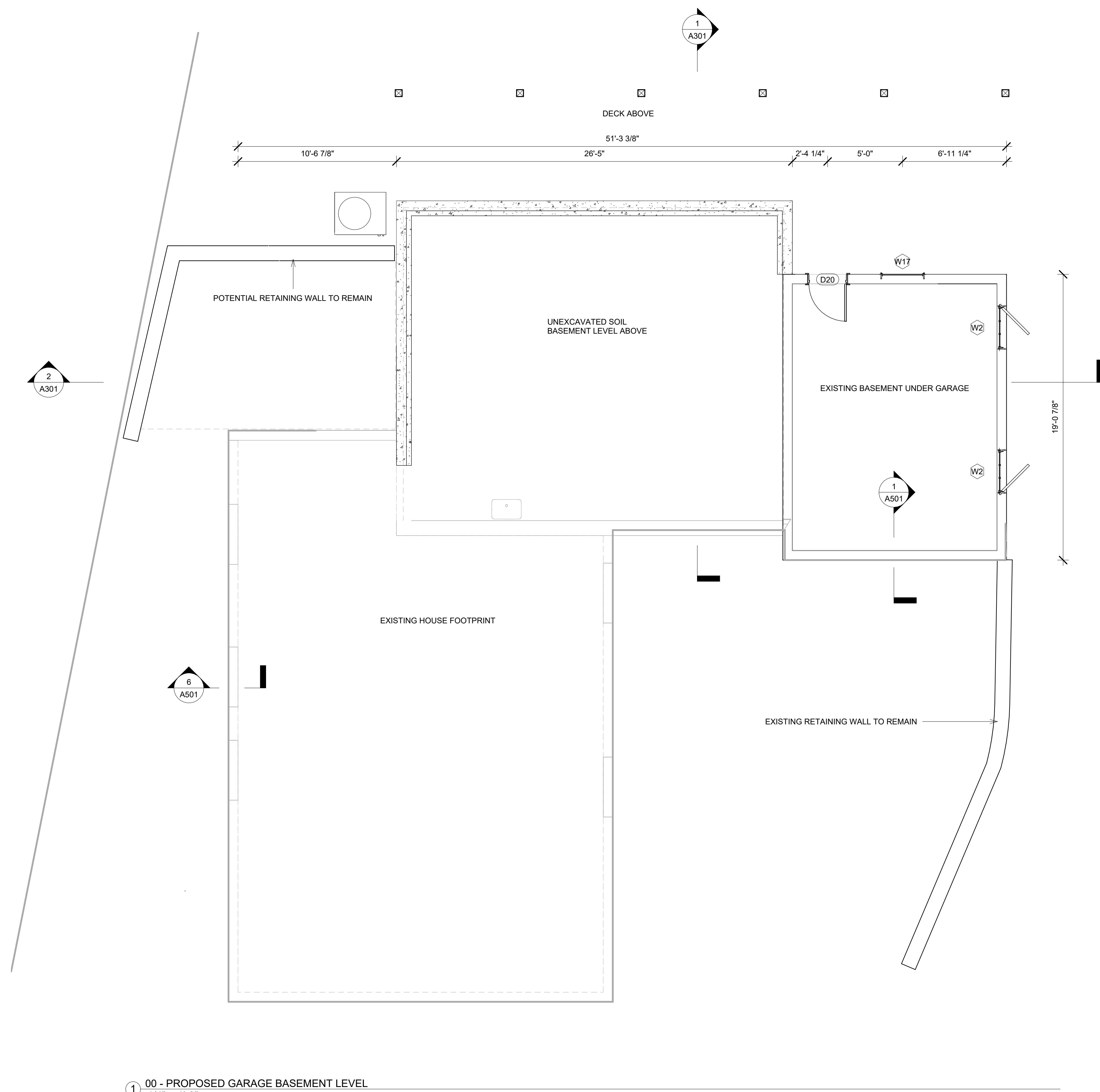
**A105**



① 04 - ROOF DEMOLITION PLAN  
1/4" = 1'-0"

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1 00 - PROPOSED GARAGE BASEMENT LEVEL  
1/4" = 1'-0"

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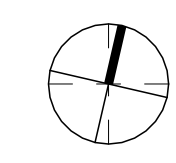
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**PROPOSED  
GARAGE  
BASEMENT  
PLAN**

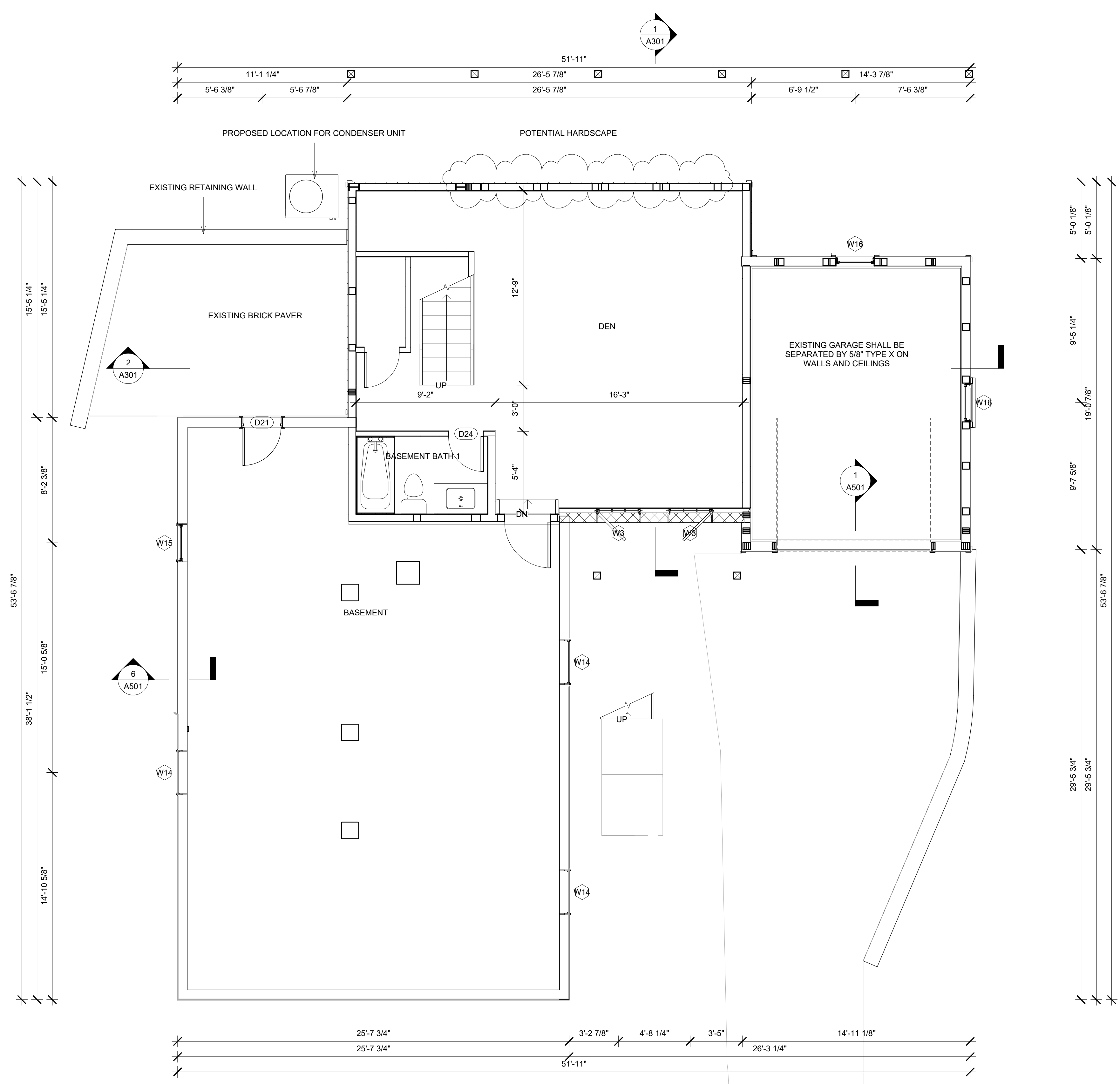
SCALE 1/4" = 1'-0"

DATE 2024.08.22

SHEET NO.

**A111**





01 - PROPOSED BASEMENT LEVEL PLAN  
1/4" = 1'-0"

A112 - BASEMENT LEVEL NEW DOOR SCHEDULE

| DOOR NUMBER | HEADER HEIGHT | WIDTH |
|-------------|---------------|-------|
| D24         | 68            | 28    |
| D48         | 80            | 36    |
| D53         | 68            | 28    |
| TOTAL: 3    |               |       |

A112 - BASEMENT LEVEL NEW WINDOW SCHEDULE

| QTY      | LABEL | WIDTH   | HEIGHT  | SILL HEIGHT | HEADER HEIGHT | COMMENTS |
|----------|-------|---------|---------|-------------|---------------|----------|
| 2        | W3    | 35.000" | 24.000" | 60"         | 84"           |          |
| TOTAL: 2 |       |         |         |             |               |          |

A112 - BASEMENT LEVEL NEW FLOORING TAKEOFF

| MATERIAL NAME | AREA   | COMMENTS |
|---------------|--------|----------|
| CONCRETE      | 538 SF |          |

A112 - BASEMENT LEVEL NEW WALL TAKEOFF

| MATERIAL NAME                              | AREA    | LINEAR FOOTAGE |
|--------------------------------------------|---------|----------------|
| 1/2" WALL SHEATHING PLYWOOD                | 369 SF  | 46.367 LF      |
| 2X4 DIMENSIONAL LUMBER                     | 272 SF  | 46.581 LF      |
| 2X6 DIMENSIONAL LUMBER                     | 669 SF  | 88.371 LF      |
| AIR FILTRATION BARRIER                     | 370 SF  | 46.367 LF      |
| EXTERIOR SIDING                            | 370 SF  | 46.367 LF      |
| GYPSUM WALL BOARD 1/2"                     | 1387 SF | 134.952 LF     |
| MORTAR                                     | 70 SF   | 11.062 LF      |
| PORCELAIN BRICK SUBWAY TILE                | 70 SF   | 11.062 LF      |
| TEXTURED 8" CMU                            | 92 SF   | 12.242 LF      |
| Vapor / Moisture Barriers - Vapor Retarder | 70 SF   | 11.062 LF      |
| VAPOR RETARDER                             | 370 SF  | 46.367 LF      |

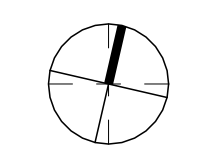
A112 - BASEMENT LEVEL NEW CEILING TAKEOFF

| MATERIAL NAME | AREA | COMMENT |
|---------------|------|---------|
|---------------|------|---------|

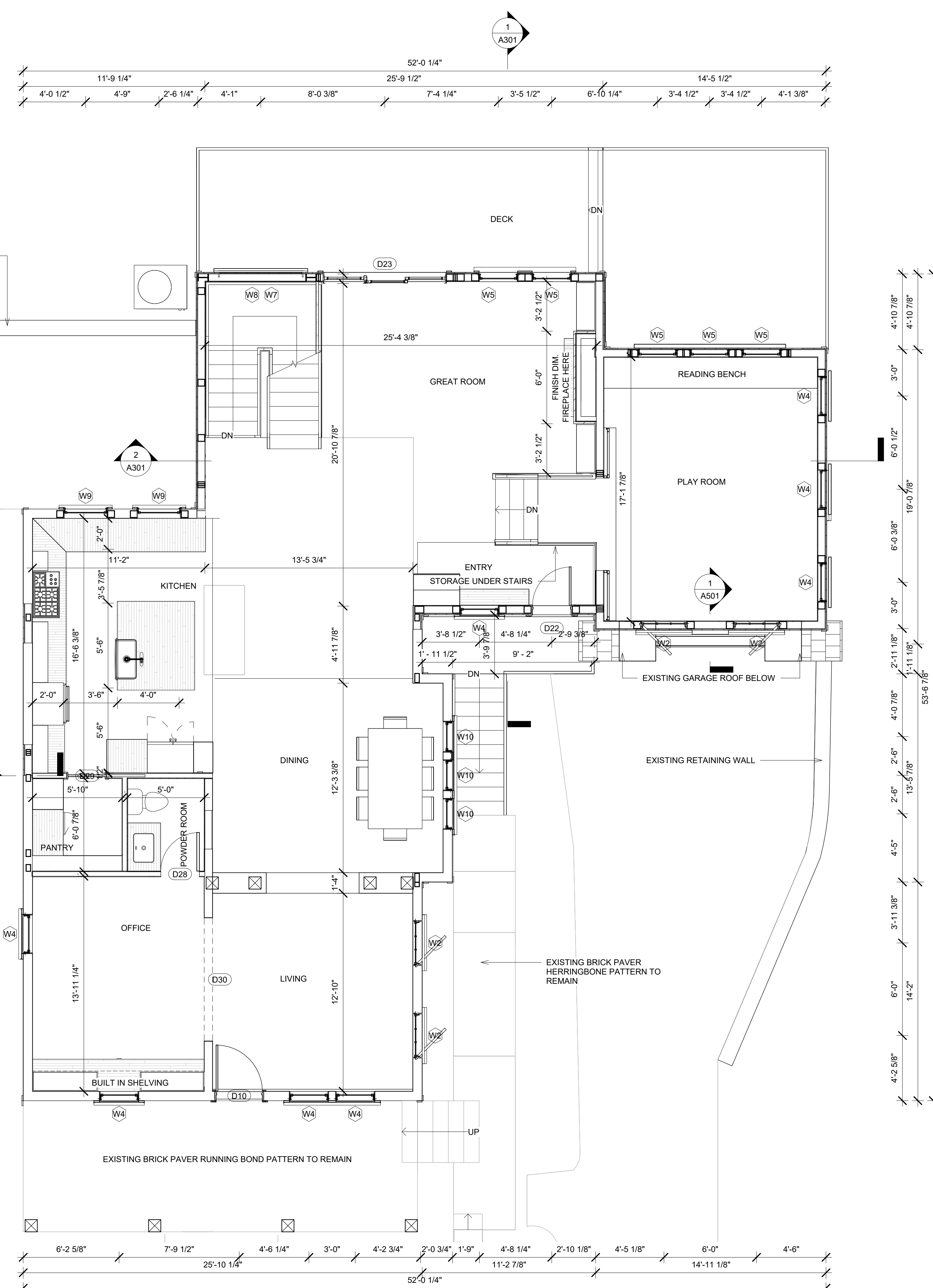


REVISIONS

| NO. | DESCRIPTION | DATE       |
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| 2   | REVISION 02 | 2024.08.14 |
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02 - PROPOSED FIRST LEVEL PLAN  
1/4" = 1'-0"

A113 - FIRST LEVEL NEW DOOR SCHEDULE

| DOOR NUMBER | HEADER HEIGHT | WIDTH |
|-------------|---------------|-------|
| D22         | 84            | 30    |
| D23         | 96            | 96    |
| D28         | 84            | 30    |
| D29         | 80            | 30    |
| D30         | 90            | 96    |
| TOTAL: 5    |               |       |

A113 - FIRST LEVEL NEW WINDOW SCHEDULE

| QTY      | LABEL | WIDTH   | HEIGHT  | SILL HEIGHT | HEADER HEIGHT | COMMENTS |
|----------|-------|---------|---------|-------------|---------------|----------|
| 1        | W4    | 30.500" | 61.500" | 23"         | 85"           |          |
| 2        | W5    | 30.500" | 61.500" | 35"         | 96"           |          |
| 1        | W7    | 66.000" | 52.000" | 80"         | 132"          | TEMPERED |
| 1        | W8    | 66.000" | 32.000" | 12"         | 44"           | TEMPERED |
| 2        | W9    | 34.375" | 49.500" | 42"         | 92"           |          |
| TOTAL: 7 |       |         |         |             |               |          |

A113 - FIRST LEVEL OFFSET NEW WINDOW SCHEDULE

| QTY      | LABEL | WIDTH   | HEIGHT  | SILL HEIGHT | HEADER HEIGHT | COMMENTS  |
|----------|-------|---------|---------|-------------|---------------|-----------|
| 2        | W2    | 36.000" | 24.063" | 60"         | 84"           | PLAY ROOM |
| 3        | W4    | 30.500" | 61.500" | 23"         | 84"           |           |
| 3        | W5    | 30.500" | 61.500" | 23"         | 84"           |           |
| TOTAL: 8 |       |         |         |             |               |           |

A113 - FIRST LEVEL NEW FLOORING TAKEOFF

| MATERIAL NAME           | AREA   | COMMENTS |
|-------------------------|--------|----------|
| BRICK PAVER HERRINGBONE | 15 SF  |          |
| DECK FRAMING VOLUME     | 443 SF |          |
| DECKING FINISH          | 443 SF |          |
| FLOOR SHEATHING PLYWOOD | 325 SF |          |
| WOOD FINISH FLOOR       | 325 SF |          |

A113 - FIRST LEVEL OFFSET NEW FLOORING TAKEOFF

| MATERIAL NAME           | AREA   | COMMENTS |
|-------------------------|--------|----------|
| FLOOR SHEATHING PLYWOOD | 264 SF |          |
| WOOD FINISH FLOOR       | 264 SF |          |

A113 - FIRST LEVEL NEW WALL TAKEOFF

| MATERIAL NAME               | AREA   | LINEAR FOOTAGE |
|-----------------------------|--------|----------------|
| 1/2" WALL SHEATHING PLYWOOD | 510 SF | 66.693 LF      |
| 2X4 DIMENSIONAL LUMBER      | 298 SF | 56.708 LF      |
| 2X6 DIMENSIONAL LUMBER      | 439 SF | 58.240 LF      |
| AIR FILTRATION BARRIER      | 440 SF | 58.240 LF      |
| EXTERIOR SIDING             | 434 SF | 58.240 LF      |
| GYPSUM WALL BOARD 1/2"      | 865 SF | 106.495 LF     |
| Masonry - Brick             | 79 SF  | 8.453 LF       |
| MORTAR                      | 76 SF  | 8.453 LF       |
| SHIPLAP 1/2"                | 141 SF | 49.363 LF      |
| VAPOR RETARDER              | 440 SF | 58.240 LF      |

A113 - FIRST LEVEL OFFSET NEW WALL TAKEOFF

| MATERIAL NAME               | AREA   | LINEAR FOOTAGE |
|-----------------------------|--------|----------------|
| 1/2" WALL SHEATHING PLYWOOD | 205 SF | 33.161 LF      |
| 2X6 DIMENSIONAL LUMBER      | 204 SF | 33.161 LF      |
| AIR FILTRATION BARRIER      | 205 SF | 33.161 LF      |
| EXTERIOR SIDING             | 205 SF | 33.161 LF      |
| GYPSUM WALL BOARD 1/2"      | 197 SF | 33.161 LF      |
| VAPOR RETARDER              | 205 SF | 33.161 LF      |

A113 - FIRST LEVEL NEW CEILING TAKEOFF

| MATERIAL NAME          | AREA    | COMMENTS |
|------------------------|---------|----------|
| GYPSUM WALL BOARD 1/2" | 1010 SF |          |

A113 - FIRST LEVEL OFFSET NEW CEILING TAKEOFF

| MATERIAL NAME          | AREA   | COMMENTS |
|------------------------|--------|----------|
| GYPSUM WALL BOARD 1/2" | 482 SF |          |



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REVISIONS

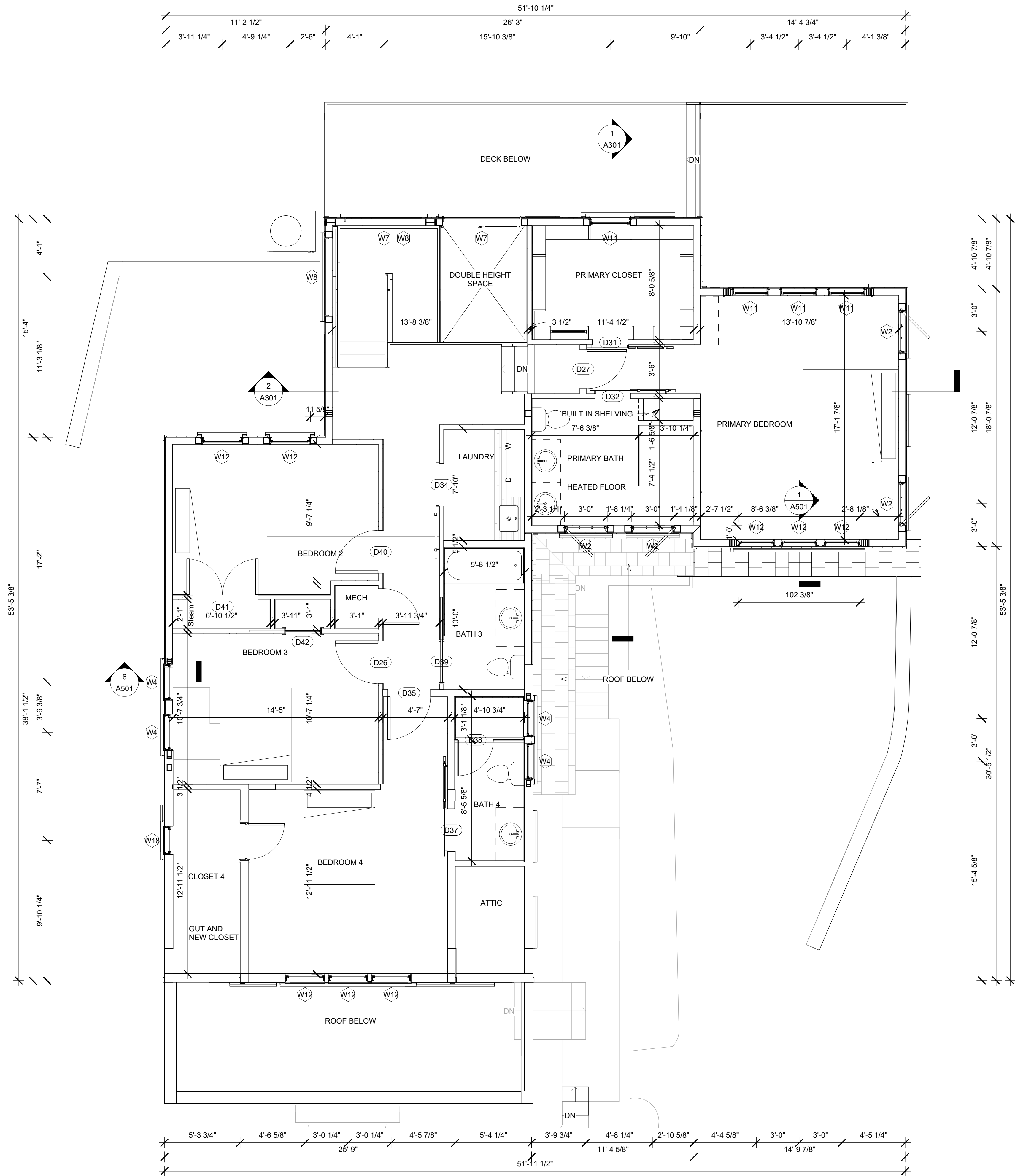
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SHEET TITLE  
**PROPOSED  
FIRST LEVEL  
PLAN**

SCALE 1/4" = 1'-0"  
DATE 2024.08.22  
SHEET NO.



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1 03 - PROPOSED SECOND LEVEL PLAN  
1/4" = 1'-0"

A114 - SECOND LEVEL NEW DOOR SCHEDULE

| DOOR NUMBER | HEADER HEIGHT | WIDTH |
|-------------|---------------|-------|
| D26         | 80            | 36    |
| D34         | 80            | 36    |
| D35         | 80            | 36    |
| D37         | 84            | 36    |
| D38         | 80            | 30    |
| D39         | 80            | 36    |
| D40         | 80            | 36    |
| D41         | 80            | 60    |
| D42         | 80            | 30    |
| D49         | 80            | 30    |
| D55         | 80            | 30    |
| TOTAL: 11   |               |       |

A114 - SECOND LEVEL OFFSET NEW DOOR SCHEDULE

| DOOR NUMBER | HEADER HEIGHT | WIDTH |
|-------------|---------------|-------|
| D27         | 80            | 33    |
| D31         | 80            | 30    |
| D32         | 80            | 30    |
| TOTAL: 3    |               |       |

A114 - SECOND LEVEL NEW WINDOW SCHEDULE

| QTY      | LABEL | WIDTH   | HEIGHT  | SILL HEIGHT | HEADER HEIGHT | COMMENTS |
|----------|-------|---------|---------|-------------|---------------|----------|
| 2        | W4    | 30.500" | 61.500" | 24"         | 86"           |          |
| 1        | W7    | 66.000" | 52.000" | 33"         | 85"           | TEMPERED |
| 1        | W8    | 66.000" | 32.000" | 52"         | 84"           |          |
| 1        | W8    | 66.000" | 32.000" | 53"         | 85"           | TEMPERED |
| 2        | W12   | 34.375" | 53.500" | 31"         | 85"           |          |
| TOTAL: 7 |       |         |         |             |               |          |

A114 - SECOND LEVEL OFFSET NEW WINDOW SCHEDULE

| QTY       | LABEL | WIDTH    | HEIGHT  | SILL HEIGHT | HEADER HEIGHT | COMMENTS                |
|-----------|-------|----------|---------|-------------|---------------|-------------------------|
| 2         | W2    | 36.000"  | 24.063" | 48"         | 72"           | PRIMARY BED             |
| 2         | W2    | 36.000"  | 24.063" | 54"         | 78"           | TEMPERED - PRIMARY BATH |
| 4         | W11   | <varies> | 53.500" | <varies>    | <varies>      |                         |
| 3         | W12   | 30.375"  | 53.500" | 31"         | 84"           |                         |
| TOTAL: 11 |       |          |         |             |               |                         |

A114 - SECOND LEVEL NEW FLOORING TAKEOFF

| MATERIAL NAME           | AREA   | COMMENTS |
|-------------------------|--------|----------|
| BATH 4 TILE             | 14 SF  |          |
| FLOOR SHEATHING PLYWOOD | 272 SF |          |
| LAUNDRY FLOOR TILE      | 45 SF  |          |
| MORTAR                  | 59 SF  |          |
| WOOD FINISH FLOOR       | 228 SF |          |

A114 - SECOND LEVEL OFFSET NEW FLOORING TAKEOFF

| MATERIAL NAME           | AREA   | COMMENTS |
|-------------------------|--------|----------|
| FLOOR SHEATHING PLYWOOD | 494 SF |          |
| WOOD FINISH FLOOR       | 494 SF |          |

A114 - SECOND LEVEL NEW WALL TAKEOFF

| MATERIAL NAME               | AREA    | LINEAR FOOTAGE |
|-----------------------------|---------|----------------|
| 1/2" WALL SHEATHING PLYWOOD | 786 SF  | 100.495 LF     |
| 2X4 DIMENSIONAL LUMBER      | 966 SF  | 93.408 LF      |
| 2X6 DIMENSIONAL LUMBER      | 1180 SF | 145.371 LF     |
| AIR FILTRATION BARRIER      | 793 SF  | 100.495 LF     |
| BATH 3 TILE                 | 129 SF  | 15.367 LF      |
| BATH 4 TILE                 | 84 SF   | 12.031 LF      |
| EXTERIOR SIDING             | 786 SF  | 100.495 LF     |
| GYPSON WALL BOARD 1/2"      | 3492 SF | 238.780 LF     |
| MORTAR                      | 213 SF  | 27.399 LF      |
| SHIPLAP 1/2"                | 37 SF   | 7.688 LF       |
| SHIPLAP 1/2" HORIZONTAL     | 26 SF   | 8.677 LF       |
| SHOWER GLASS                | 22 SF   | 5.427 LF       |
| VAPOR RETARDER              | 1006 SF | 127.894 LF     |

A114 - SECOND LEVEL OFFSET NEW WALL TAKEOFF

| MATERIAL NAME               | AREA    | LINEAR FOOTAGE |
|-----------------------------|---------|----------------|
| 1/2" WALL SHEATHING PLYWOOD | 306 SF  | 44.008 LF      |
| 2X4 DIMENSIONAL LUMBER      | 275 SF  | 36.186 LF      |
| 2X6 DIMENSIONAL LUMBER      | 423 SF  | 60.685 LF      |
| AIR FILTRATION BARRIER      | 312 SF  | 44.008 LF      |
| EXTERIOR SIDING             | 306 SF  | 44.008 LF      |
| GYPSON WALL BOARD 1/2"      | 1083 SF | 96.871 LF      |
| SHIPLAP 1/2" HORIZONTAL     | 44 SF   | 9.334 LF       |
| SHOWER GLASS                | 30 SF   | 4.407 LF       |
| VAPOR RETARDER              | 312 SF  | 44.008 LF      |



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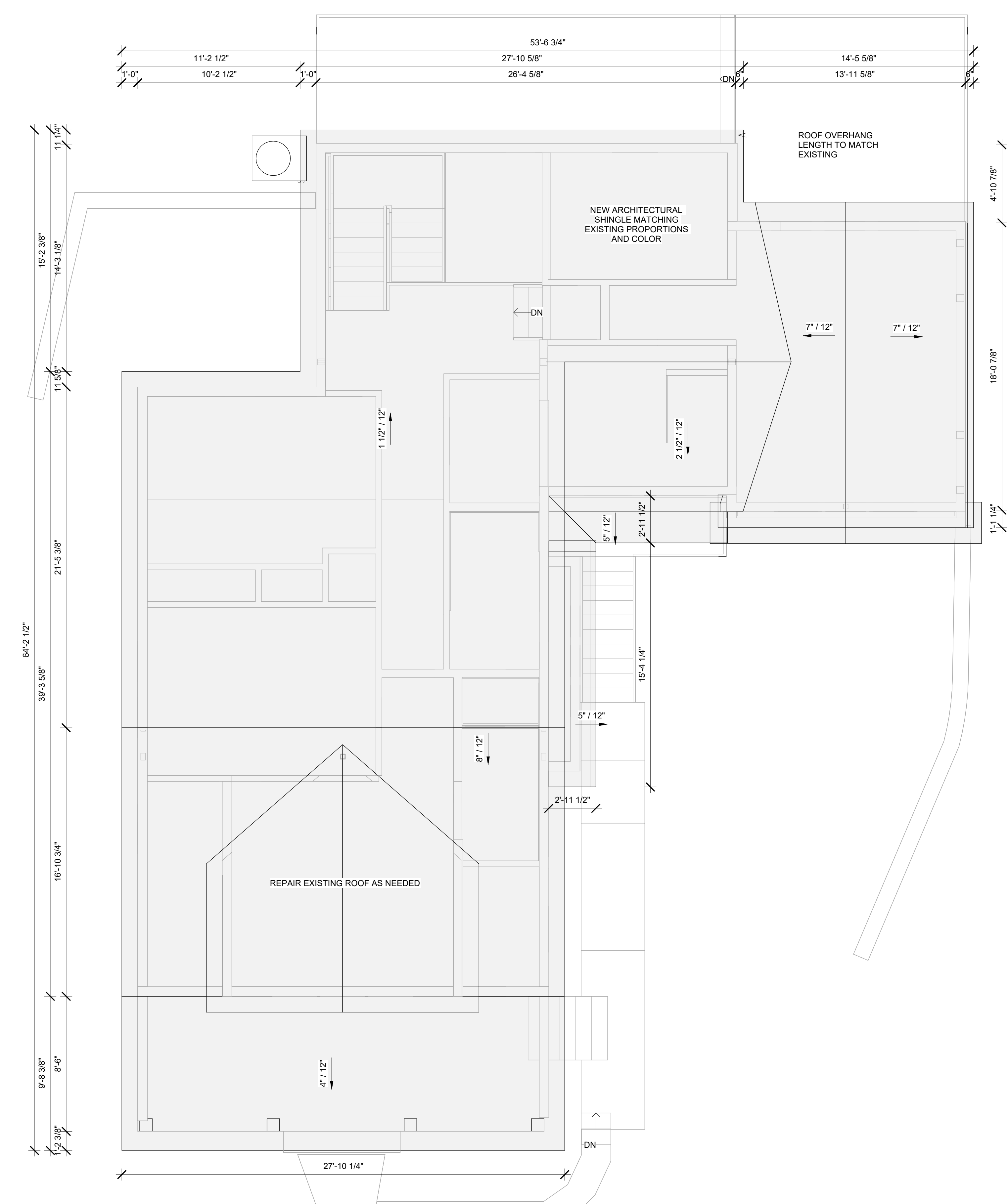
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REVISIONS

| NO. | DESCRIPTION | DATE       |
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| 2   | REVISION 02 | 2024.08.14 |
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SHEET TITLE  
**PROPOSED  
SECOND  
LEVEL PLAN**

SCALE 1/4" = 1'-0"  
DATE 2024.08.22  
SHEET NO.



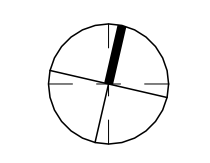
| A115 - NEW ROOF AND CEILING TAKEOFF |         |          |
|-------------------------------------|---------|----------|
| MATERIAL NAME                       | AREA    | COMMENTS |
| 1/2" ROOF SHEATHING PLYWOOD         | 1553 SF |          |
| 2X10 DIMENSIONAL LUMBER             | 1552 SF |          |
| ASPHALT SHINGLES                    | 1555 SF |          |
| GYPSUM WALL BOARD 1/2"              | 1514 SF |          |



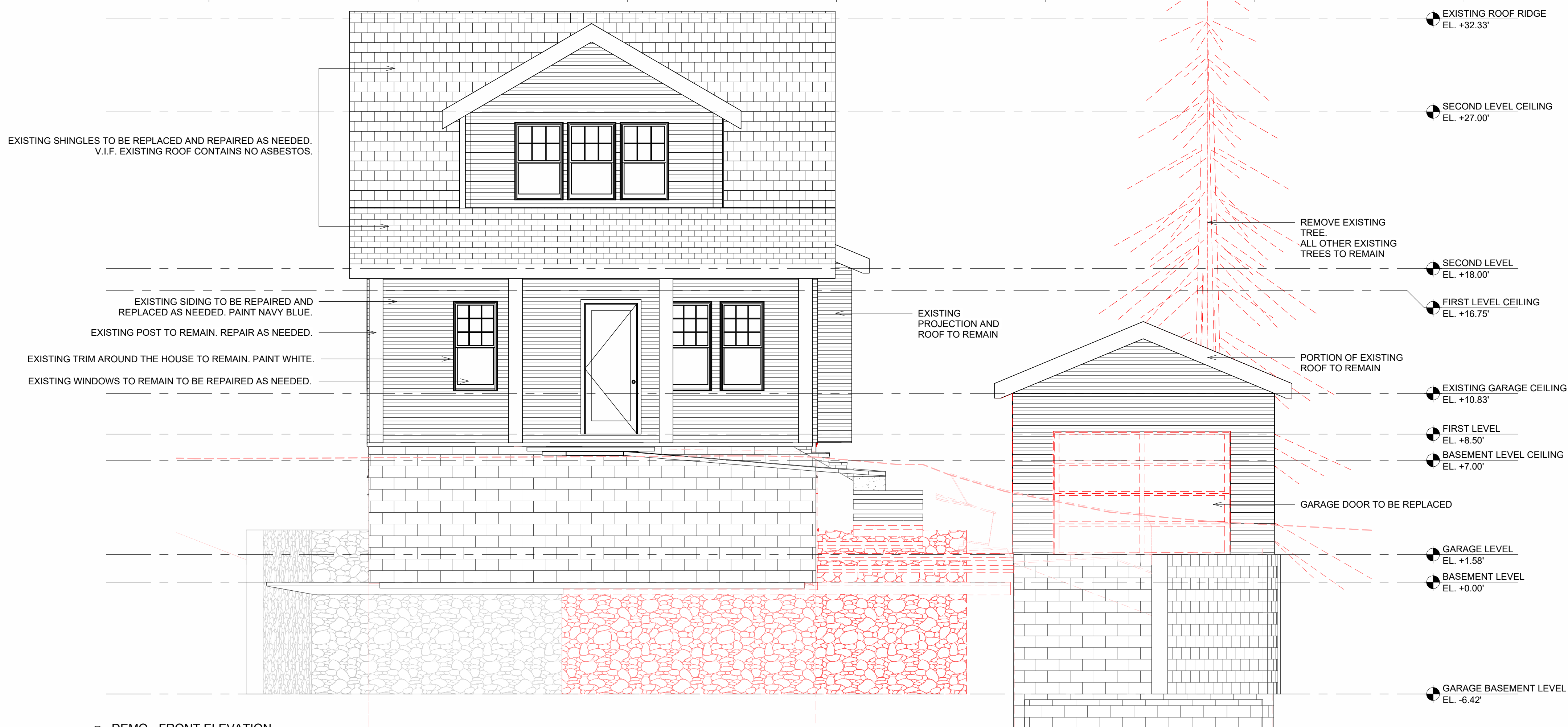
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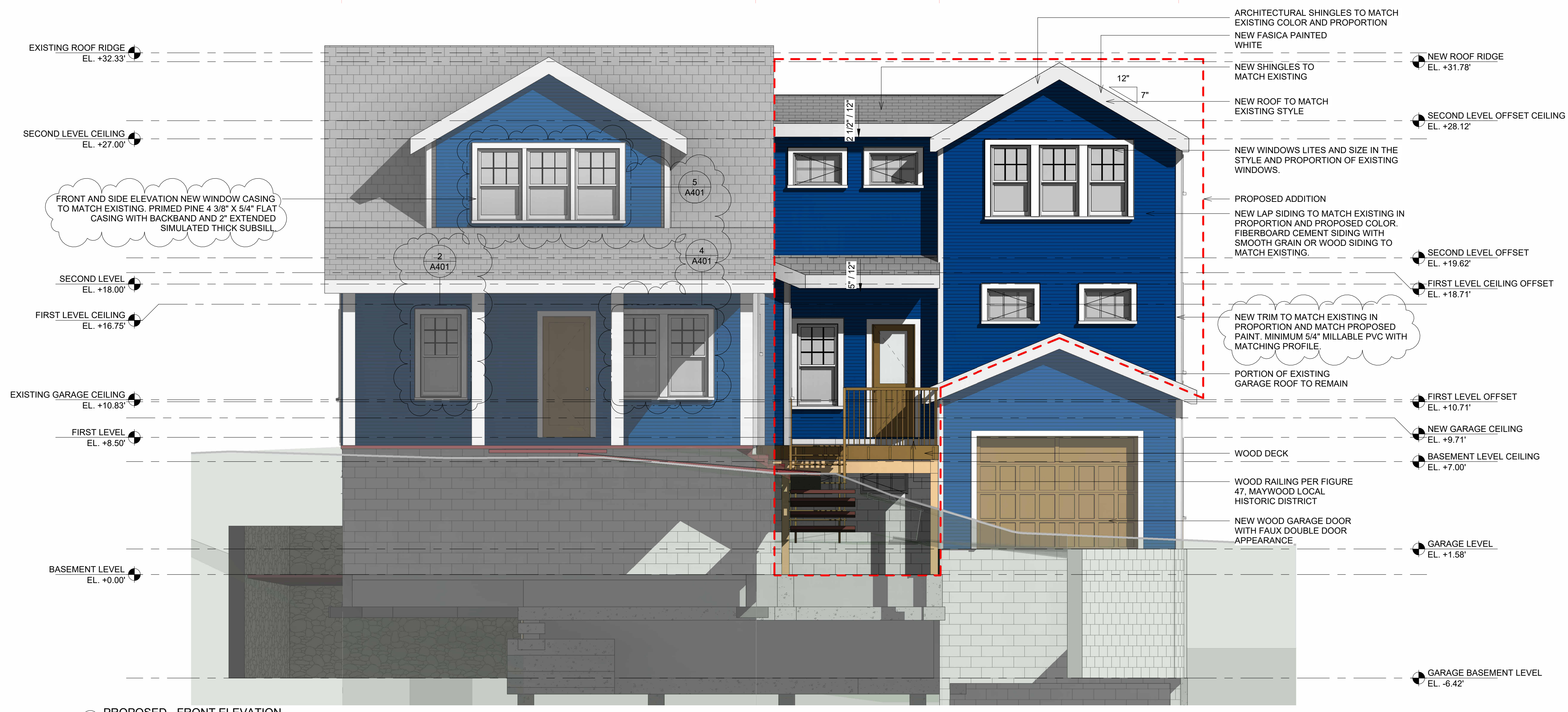
1 04 - PROPOSED ROOF PLAN  
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1 DEMO - FRONT ELEVATION  
1/4" = 1'-0"



2 PROPOSED - FRONT ELEVATION  
1/4" = 1'-0"

MC3 DESIGN



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REVISIONS

| NO. | DESCRIPTION | DATE       |
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| 1   | REVISION 01 | 2024.07.15 |
| 2   | REVISION 02 | 2024.08.14 |
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SHEET TITLE  
**FRONT  
ELEVATION**

SCALE 1/4" = 1'-0"

DATE 2024.08.22

SHEET NO.

**A201**

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2725 23RD RD N  
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REVISIONS

| NO. | DESCRIPTION | DATE       |
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| 1   | REVISION 01 | 2024.07.15 |
| 2   | REVISION 02 | 2024.08.14 |
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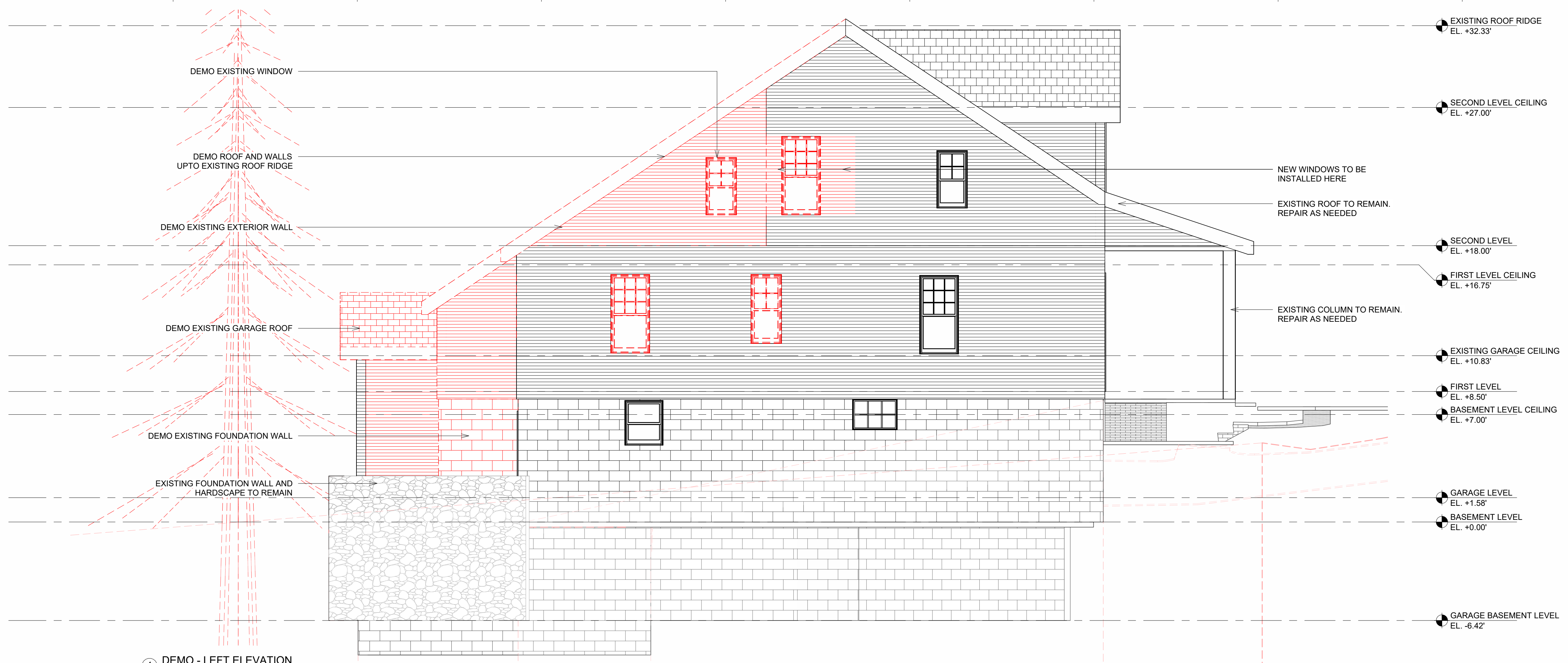
**LEFT  
ELEVATION**

SCALE 1/4" = 1'-0"

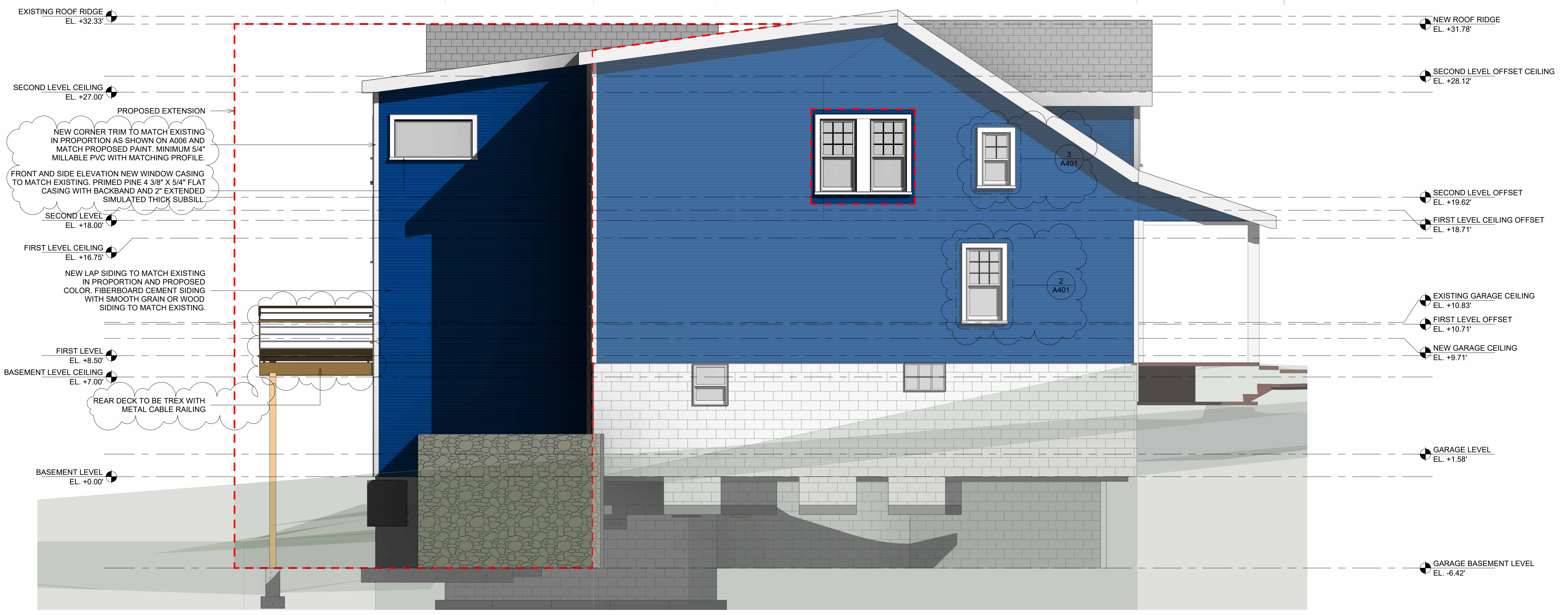
DATE 2024.08.22

SHEET NO.

**A204**



① DEMO - LEFT ELEVATION  
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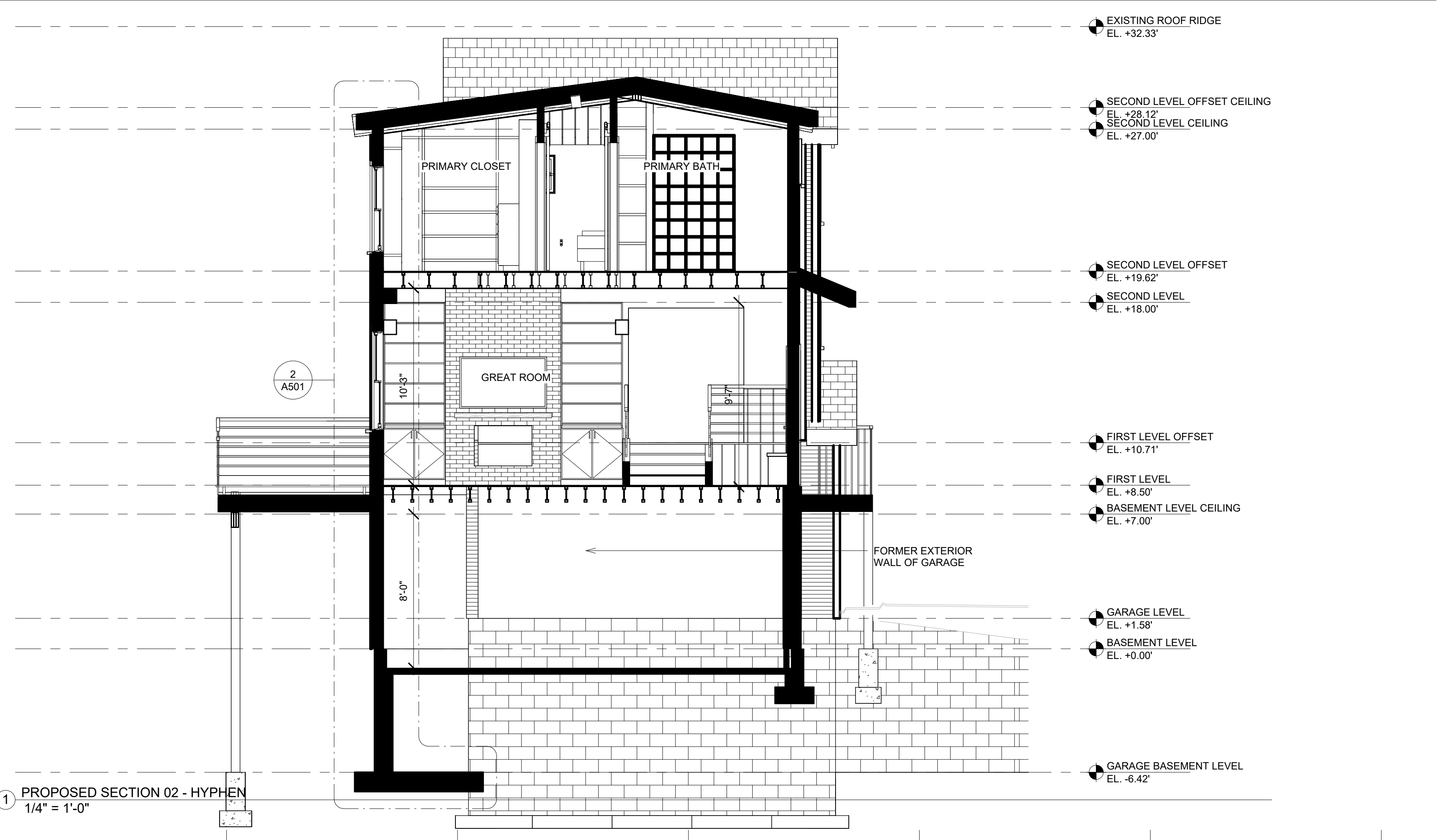


② PROPOSED - LEFT ELEVATION  
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2 PROPOSED SECTION 01  
1/4" = 1'-0"



1 PROPOSED SECTION 02 - HYPHEN  
1/4" = 1'-0"

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REVISIONS

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SHEET TITLE  
**SECTION 01**

SCALE 1/4" = 1'-0"

DATE 2024.08.22

SHEET NO.

A301

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SHEET TITLE  
**WINDOW  
DOOR  
SCHEDULES**

SCALE 1/2" = 1'-0"

DATE 2024.08.22

SHEET NO.

**A401**

A401 - COMPLETE EXISTING TO DEMO DOOR SCHEDULE

| DOOR NUMBER | HEADER HEIGHT | WIDTH | LEVEL          | CREATED  | DEMO             |
|-------------|---------------|-------|----------------|----------|------------------|
| D1          | 80            | 26    | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D2          | 77            | 24    | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D3          | 0             | 84    | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D4          | 0             | 0     | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D5          | 0             | 0     | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D6          | 0             | 0     | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D7          | 77            | 24    | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D8          | 80            | 30    | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D9          | 0             | 0     | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D11         | 0             | 0     | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D12         | 80            | 30    | SECOND LEVEL   | EXISTING | NEW CONSTRUCTION |
| D13         | 80            | 28    | SECOND LEVEL   | EXISTING | NEW CONSTRUCTION |
| D14         | 84            | 60    | SECOND LEVEL   | EXISTING | NEW CONSTRUCTION |
| D15         | 77            | 24    | SECOND LEVEL   | EXISTING | NEW CONSTRUCTION |
| D16         | 77            | 24    | SECOND LEVEL   | EXISTING | NEW CONSTRUCTION |
| D17         | 0             | 0     | SECOND LEVEL   | EXISTING | NEW CONSTRUCTION |
| D19         | 84            | 30    | BASEMENT LEVEL | EXISTING | NEW CONSTRUCTION |
| D25         | 80            | 36    | SECOND LEVEL   | EXISTING | NEW CONSTRUCTION |
| D44         | 77            | 24    | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D45         | 84            | 120   | GARAGE LEVEL   | EXISTING | NEW CONSTRUCTION |
| TOTAL: 20   |               |       |                |          |                  |

A401 - COMPLETE EXISTING TO REMAIN DOOR SCHEDULE

| DOOR NUMBER | HEADER HEIGHT | WIDTH | LEVEL                 | CREATED  | DEMO |
|-------------|---------------|-------|-----------------------|----------|------|
| D10         | 90            | 36    | FIRST LEVEL           | EXISTING | None |
| D20         | 84            | 30    | GARAGE BASEMENT LEVEL | EXISTING | None |
| D21         | 84            | 30    | BASEMENT LEVEL        | EXISTING | None |
| TOTAL: 3    |               |       |                       |          |      |

A401 - COMPLETE NEW DOOR SCHEDULE

| DOOR NUMBER | HEADER HEIGHT | WIDTH | LEVEL               | CREATED          | N/A  |
|-------------|---------------|-------|---------------------|------------------|------|
| D18         | 84            | 120   | GARAGE LEVEL        | NEW CONSTRUCTION | None |
| D22         | 84            | 30    | FIRST LEVEL         | NEW CONSTRUCTION | None |
| D23         | 96            | 96    | FIRST LEVEL         | NEW CONSTRUCTION | None |
| D24         | 68            | 28    | BASEMENT LEVEL      | NEW CONSTRUCTION | None |
| D26         | 80            | 36    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D27         | 80            | 33    | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| D28         | 84            | 30    | FIRST LEVEL         | NEW CONSTRUCTION | None |
| D29         | 80            | 30    | FIRST LEVEL         | NEW CONSTRUCTION | None |
| D30         | 90            | 96    | FIRST LEVEL         | NEW CONSTRUCTION | None |
| D31         | 80            | 30    | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| D32         | 80            | 30    | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| D34         | 80            | 36    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D35         | 80            | 36    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D37         | 84            | 36    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D38         | 80            | 30    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D39         | 80            | 36    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D40         | 80            | 36    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D41         | 80            | 60    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D42         | 80            | 30    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D48         | 80            | 36    | BASEMENT LEVEL      | NEW CONSTRUCTION | None |
| D49         | 80            | 30    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D53         | 68            | 28    | BASEMENT LEVEL      | NEW CONSTRUCTION | None |
| D54         | 84            | 72    | FIRST LEVEL OFFSET  | NEW CONSTRUCTION | None |
| D55         | 80            | 30    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| TOTAL: 24   |               |       |                     |                  |      |

A401 - COMPLETE EXISTING TO DEMO WINDOW SCHEDULE

| QTY       | LAB EL | WIDTH | HEIGHT | SILL HEIGHT | HEADER HEIGHT | LEVEL                 | CREATED  | DEMO             |
|-----------|--------|-------|--------|-------------|---------------|-----------------------|----------|------------------|
| 1         | W4     | 31    | 62     | 30          | 92            | FIRST LEVEL           | EXISTING | NEW CONSTRUCTION |
| 1         | W4     | 31    | 62     | 30          | 92            | FIRST LEVEL           | EXISTING | NEW CONSTRUCTION |
| 1         | W8     | 31    | 45     | 28          | 73            | FIRST LEVEL           | EXISTING | NEW CONSTRUCTION |
| 1         | W8     | 31    | 45     | 28          | 73            | FIRST LEVEL           | EXISTING | NEW CONSTRUCTION |
| 1         | W11    | 31    | 48     | 45          | 93            | FIRST LEVEL           | EXISTING | NEW CONSTRUCTION |
| 1         | W12    | 24    | 24     | 36          | 60            | FIRST LEVEL           | EXISTING | NEW CONSTRUCTION |
| 1         | W13    | 24    | 54     | 38          | 92            | FIRST LEVEL           | EXISTING | NEW CONSTRUCTION |
| 1         | W14    | 31    | 62     | 24          | 86            | SECOND LEVEL          | EXISTING | NEW CONSTRUCTION |
| 1         | W15    | 30    | 35     | 61          | 96            | BASEMENT LEVEL        | EXISTING | NEW CONSTRUCTION |
| 1         | W16    | 31    | 54     | 24          | 78            | GARAGE LEVEL          | EXISTING | NEW CONSTRUCTION |
| 1         | W16    | 44    | 45     | 28          | 73            | FIRST LEVEL           | EXISTING | NEW CONSTRUCTION |
| 1         | W18    | 24    | 45     | 24          | 69            | FIRST LEVEL           | EXISTING | NEW CONSTRUCTION |
| 1         | W18    | 24    | 45     | 24          | 69            | SECOND LEVEL          | EXISTING | NEW CONSTRUCTION |
| 1         | W33    | 35    | 24     | 49          | 73            | GARAGE BASEMENT LEVEL | EXISTING | NEW CONSTRUCTION |
| 1         | W34    | 35    | 24     | 49          | 73            | GARAGE BASEMENT LEVEL | EXISTING | NEW CONSTRUCTION |
| TOTAL: 15 |        |       |        |             |               |                       |          |                  |

A401 - COMPLETE EXISTING TO REMAIN WINDOW SCHEDULE

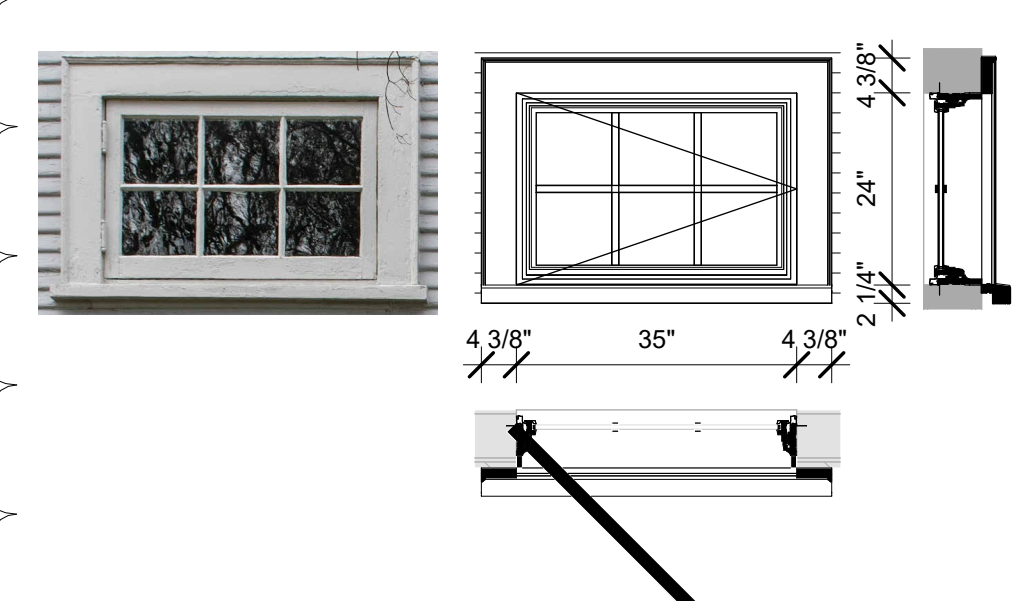
| QTY       | LAB EL | WIDTH | HEIGHT | SILL HEIGHT | HEADER HEIGHT | LEVEL                 | CREATED  | DEMO |
|-----------|--------|-------|--------|-------------|---------------|-----------------------|----------|------|
| 2         | W2     | 35    | 24     | 63          | 87            | FIRST LEVEL           | EXISTING | None |
| 4         | W4     | 31    | 62     | <varies>    | <varies>      | FIRST LEVEL           | EXISTING | None |
| 2         | W4     | 31    | 62     | 34          | 95            | SECOND LEVEL          | EXISTING | None |
| 3         | W10    | 24    | 62     | 30          | 92            | FIRST LEVEL           | EXISTING | None |
| 3         | W12    | 34    | 54     | 47          | 101           | SECOND LEVEL          | EXISTING | None |
| 3         | W14    | 35    | 24     | 72          | 96            | BASEMENT LEVEL        | EXISTING | None |
| 1         | W15    | 30    | 35     | 60          | 95            | BASEMENT LEVEL        | EXISTING | None |
| 2         | W16    | 31    | 54     | 24          | 78            | GARAGE LEVEL          | EXISTING | None |
| 1         | W17    | 35    | 24     | 49          | 73            | GARAGE BASEMENT LEVEL | EXISTING | None |
| 1         | W18    | 24    | 45     | 29          | 74            | SECOND LEVEL          | EXISTING | None |
| TOTAL: 22 |        |       |        |             |               |                       |          |      |

A401 - COMPLETE NEW WINDOW SCHEDULE

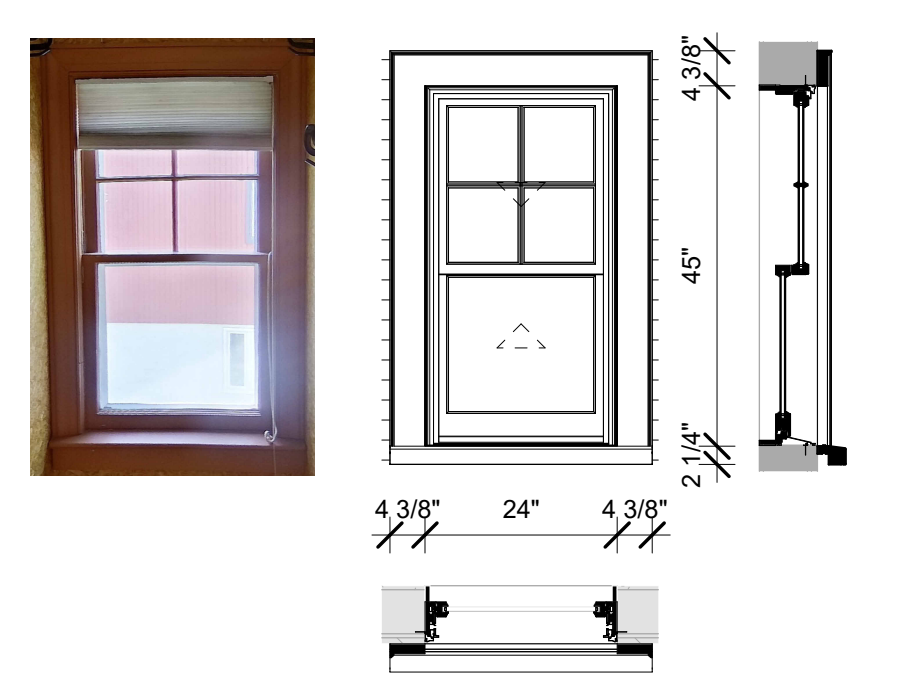
| QTY       | LAB EL | WIDTH    | HEIGHT | SILL HEIGHT | HEADER HEIGHT | LEVEL                 | CREATED          | DEMO |
|-----------|--------|----------|--------|-------------|---------------|-----------------------|------------------|------|
| 2         | W2     | 35       | 24     | 49          | 73            | GARAGE BASEMENT LEVEL | NEW CONSTRUCTION | None |
| 2         | W2     | 36       | 24     | 60          | 84            | FIRST LEVEL OFFSET    | NEW CONSTRUCTION | None |
| 4         | W2     | 36       | 24     | <varies>    | <varies>      | SECOND LEVEL OFFSET   | NEW CONSTRUCTION | None |
| 2         | W3     | 35       | 24     | 60          | 84            | BASEMENT LEVEL        | NEW CONSTRUCTION | None |
| 1         | W4     | 31       | 62     | 23          | 85            | FIRST LEVEL           | NEW CONSTRUCTION | None |
| 3         | W4     | 31       | 62     | 23          | 84            | FIRST LEVEL OFFSET    | NEW CONSTRUCTION | None |
| 2         | W4     | 31       | 62     | 24          | 86            | SECOND LEVEL          | NEW CONSTRUCTION | None |
| 2         | W5     | 31       | 62     | 35          | 96            | FIRST LEVEL           | NEW CONSTRUCTION | None |
| 3         | W5     | 31       | 62     | 23          | 84            | FIRST LEVEL OFFSET    | NEW CONSTRUCTION | None |
| 1         | W7     | 66       | 52     | 80          | 132           | FIRST LEVEL           | NEW CONSTRUCTION | None |
| 1         | W7     | 66       | 52     | 33          | 85            | SECOND LEVEL          | NEW CONSTRUCTION | None |
| 1         | W8     | 66       | 32     | 12          | 44            | FIRST LEVEL           | NEW CONSTRUCTION | None |
| 2         | W8     | 66       | 32     | <varies>    | <varies>      | SECOND LEVEL          | NEW CONSTRUCTION | None |
| 2         | W9     | 34       | 50     | 42          | 92            | FIRST LEVEL           | NEW CONSTRUCTION | None |
| 4         | W11    | <varies> | 54     | <varies>    | <varies>      | SECOND LEVEL OFFSET   | NEW CONSTRUCTION | None |
| 2         | W12    | 34       | 54     | 31          | 85            | SECOND LEVEL          | NEW CONSTRUCTION | None |
| 3         | W12    | 30       | 54     | 31          | 84            | SECOND LEVEL OFFSET   | NEW CONSTRUCTION | None |
| TOTAL: 37 |        |          |        |             |               |                       |                  |      |

NEW WINDOWS TO BE MARVIN SIGNATURE ULTIMATE WOOD WINDOWS. ALL WINDOWS TO BE WOOD.

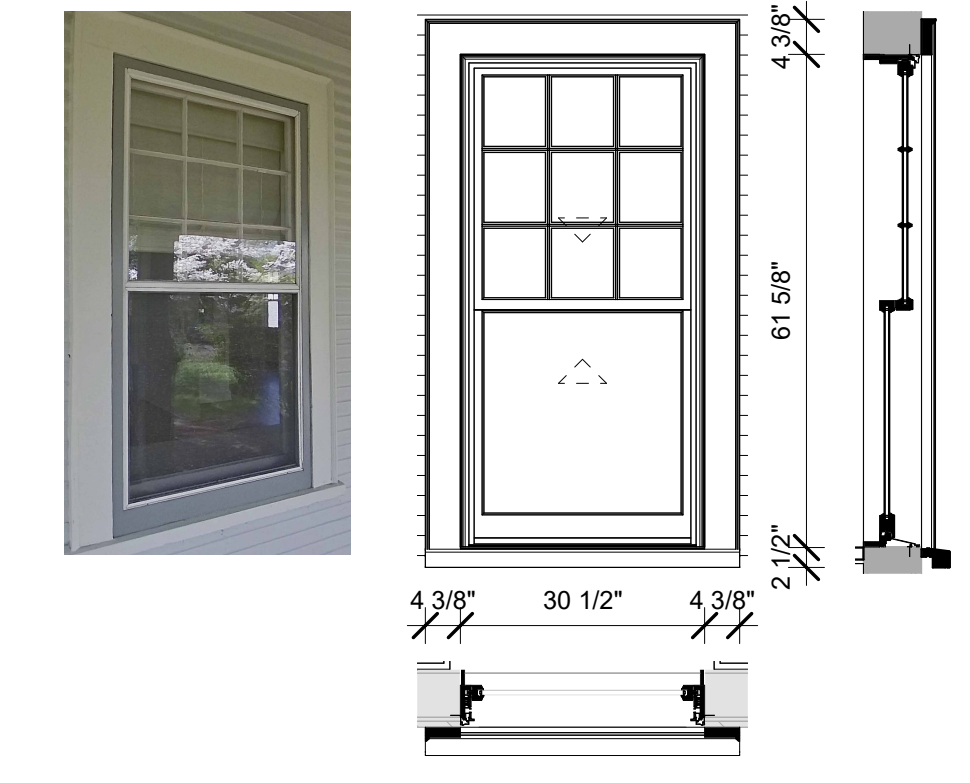
ALL EXISTING WINDOWS TO BE REPLACED WITH MARVIN ULTIMATE WOOD SERIES WINDOWS TO MATCH EXISTING DIMENSIONS AND STYLE.  
FRONT AND SIDE ELEVATION NEW WINDOW CASING TO MATCH EXISTING. PRIMED PINE 4 3/8" X 5/4" FLAT CASING WITH BACKBAND AND 2" EXTENDED SIMULATED THICK SUBSILL.



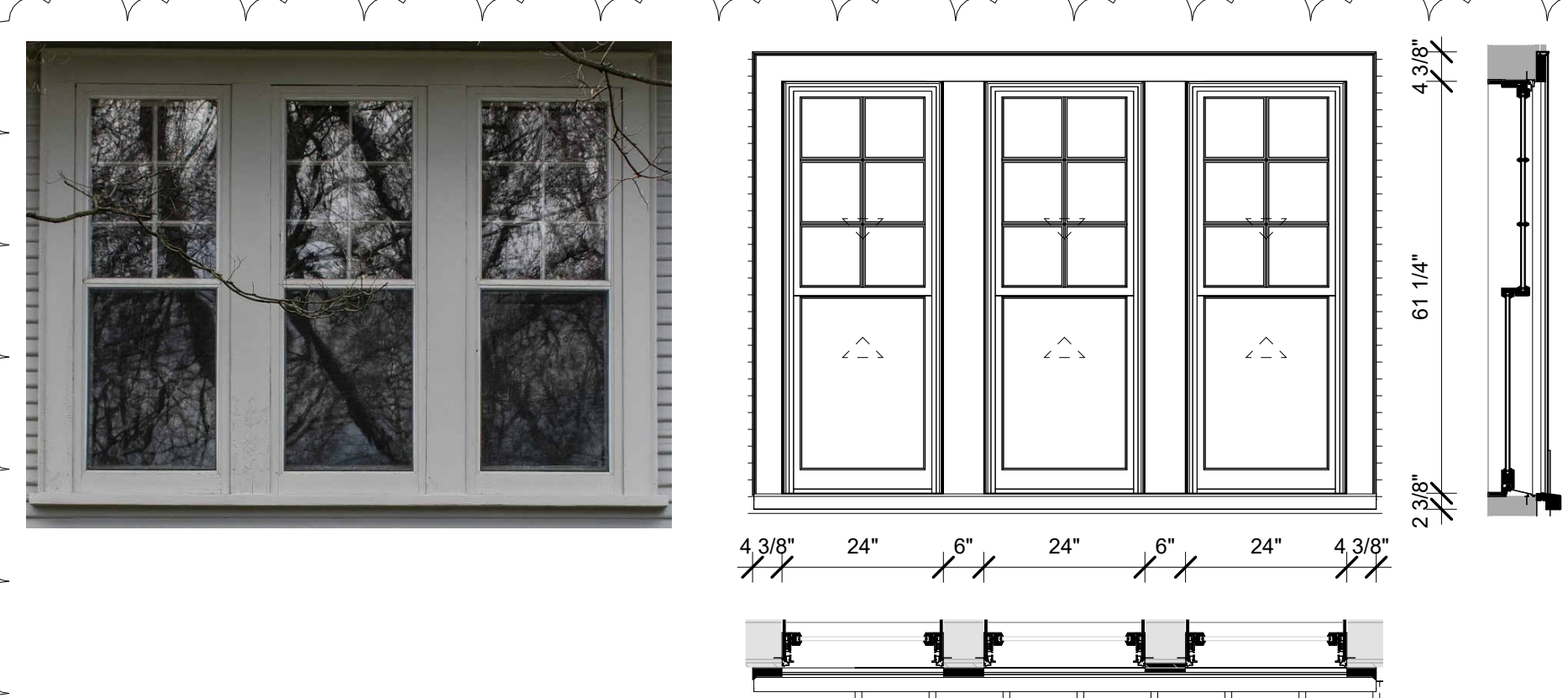
1 (2) W2 HISTORIC WINDOW  
1/2" = 1'-0"



2 (1) W18 HISTORIC WINDOW  
1/2" = 1'-0"



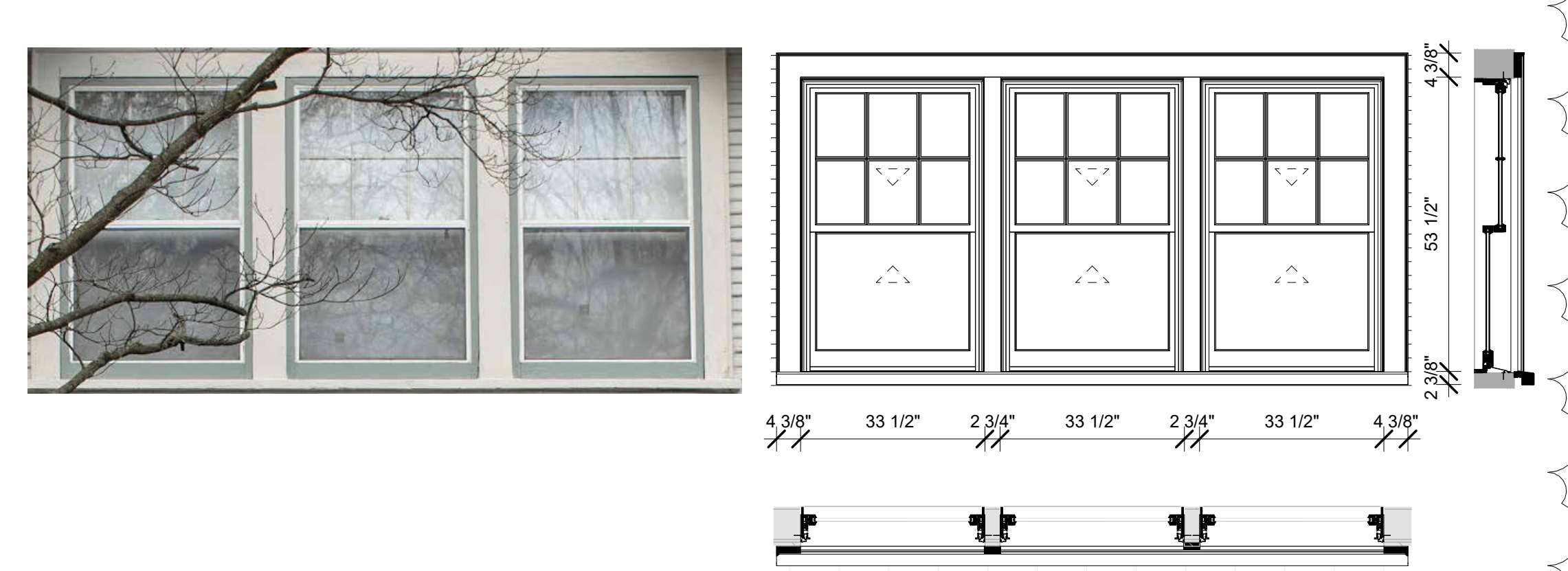
3 (1) W4 HISTORIC WINDOW  
1/2" = 1'-0"



4 (3) W10 HISTORIC WINDOW  
1/2" = 1'-0"



5 (2) W4 HISTORIC WINDOW  
1/2" = 1'-0"



6 (3) W12 HISTORIC WINDOW  
1/2" = 1'-0"

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BETTER



**Trex Select**  
DECKING & RAILING

The perfect pairing of price and minimal maintenance.

\$\$



Scratch Resistance



Trex Select®  
COMPOSITE DECKING



PEBBLE GREY



SADDLE

Trex Select®  
COMPOSITE RAILING

Rail+ Post Color Options  
CLASSIC OR T-RAIL



CLASSIC WHITE

Baluster/Infill Options

Square Composite Balusters  
in Classic White

Round Aluminum Balusters  
in Charcoal Black

GOOD



**Trex Enhance**  
DECKING

Blends the beauty of wood with the ease of composite  
—all at a practical price.

\$



Scratch Resistance



Trex Enhance®  
COMPOSITE DECKING

Naturals



FOGGY WHARF



ROCKY HARBOR



TOASTED SAND



COASTAL BLUFF

Basics



CLAM SHELL

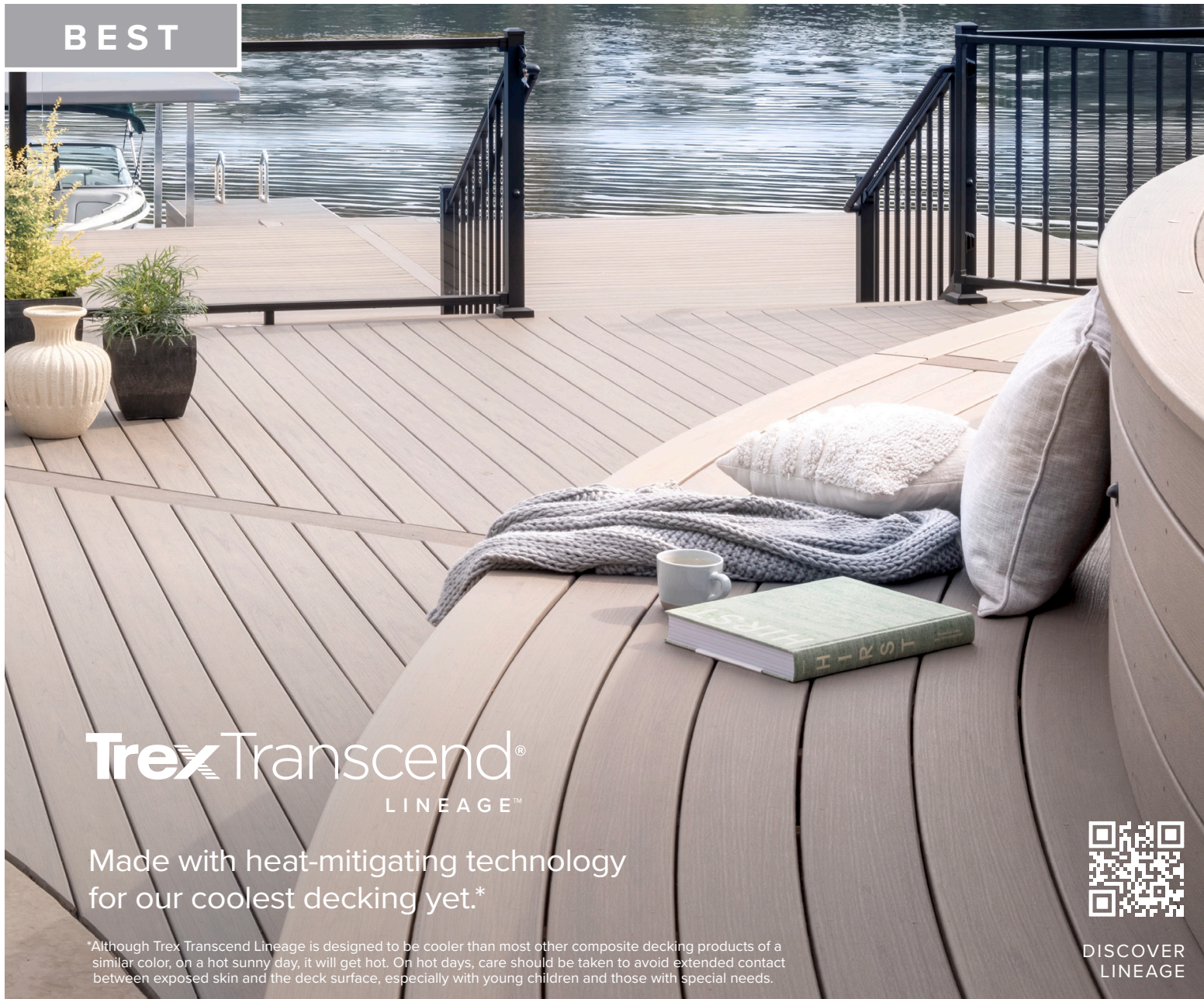


BEACH DUNE



SADDLE

BEST



# Trex Transcend® LINEAGE™

Made with heat-mitigating technology  
for our coolest decking yet.\*

\*Although Trex Transcend Lineage is designed to be cooler than most other composite decking products of a similar color, on a hot sunny day, it will get hot. On hot days, care should be taken to avoid extended contact between exposed skin and the deck surface, especially with young children and those with special needs.



DISCOVER  
LINEAGE



\$\$\$\$

★★★★★  
Scratch Resistance



ISLAND MIST

BISCAYNE

JASPER

RAINIER

CARMEL



# Trex Transcend® DECKING & RAILING

Established looks paired with assured performance.



EXPLORE  
TRANSCEND

\$\$\$

★★★★★  
Scratch Resistance



ISLAND MIST\*\*

HAVANA GOLD

LAVA ROCK

TIKI TORCH

SPICED RUM

ROPE SWING

\*\*Island Mist color in Transcend to be discontinued 12.31.24

# THE MARVIN PORTFOLIO

The Marvin portfolio consists of five product lines organized into three distinct collections defined by the degree of design detail and customization opportunities.

Marvin windows and doors offer exceptional performance, energy efficiency, low maintenance, and quality you can see, feel, and touch to help bring your vision to life.



## ULTIMATE

Most extensive selection of features, options, and product types

### MARVIN SIGNATURE® COLLECTION



## MODERN

Design flexibility in a purely modern aesthetic available exclusively at Marvin Modern dealers



## COASTLINE

Custom windows and doors for high velocity hurricane zones in the coastal Southeast



## ELEVATE

Wide range of options and product types

### MARVIN ELEVATE® COLLECTION



## ESSENTIAL

Curated options and product types

### MARVIN ESSENTIAL™ COLLECTION

|                      |                                                                                            |                                                  |                                                                                              |                                                                            |                                                                           |
|----------------------|--------------------------------------------------------------------------------------------|--------------------------------------------------|----------------------------------------------------------------------------------------------|----------------------------------------------------------------------------|---------------------------------------------------------------------------|
| INTERIORS            | WOOD<br>6 species options + custom<br>2 painted or primed options<br>6 stains + clear coat | EXTRUDED ALUMINUM<br>5 color options             | EXTRUDED ALUMINUM<br>6 solid colors, 4 woodgrain finishes                                    | WOOD<br>Bare pine, painted Designer Black,<br>painted White, or clear coat | FIBERGLASS<br>3 color options                                             |
| EXTERIORS            | EXTRUDED ALUMINUM<br>19 colors + custom<br>OR<br>WOOD<br>3 species + custom                | FIBERGLASS<br>5 color options                    | EXTRUDED ALUMINUM<br>6 solid colors, 4 woodgrain finishes                                    | FIBERGLASS<br>5 color options                                              | FIBERGLASS<br>5 color options                                             |
| SIZING               | Standard + custom sizing for replacement, remodeling, or new construction                  | Custom sizing for remodeling or new construction | Custom sizing for replacement, remodeling, or new construction                               | Standard + custom sizing for replacement, remodeling, or new construction  | Standard + custom sizing for replacement, remodeling, or new construction |
| HARDWARE             | Extensive selection including Marvin Gallery Hardware                                      | Minimalist hardware for modern design aesthetic  | Available in multiple styles, sizes, and finishes to complement the window + door aesthetics | Available in 6 finish options with 2 door handle styles                    | Available in 6 finish options with 1 door handle style                    |
| COASTAL + WATERFRONT | Hurricane Impact Zones 3 and 4, + PG 50 Products                                           |                                                  | All products rated for High Velocity Hurricane Zone (IZ4)                                    | Hurricane Impact Zone 3, + PG 50 Products                                  |                                                                           |

# ULTIMATE DOUBLE HUNG G2

Engineered for performance and designed to inspire, each aspect of the Ultimate Double Hung G2 window was made with purpose. Our engineers consider every detail from the most innovative features to the most minute subtleties, all because the windows in your home help illuminate the most important parts of your life.

## INTERIOR FEATURES AND PERFORMANCE

**RICH WOOD INTERIOR**  
Offers beauty and warmth with six wood species and ten interior finish options.

**NARROW CHECKRAIL**  
Provides a sleek aesthetic at 1 15/16 inches to maximize daylight opening while maintaining historical accuracy.

**TILT WASH MODE**  
Allows easy access to exterior glass for cleaning and maintenance.



**EXCLUSIVE AUTOLOCK**  
Activates when the sashes are closed, locking the window.

**FIRST-RATE ENERGY EFFICIENCY**  
Meets ENERGY STAR® standards in energy efficiency with multiple glass options for various regions, climates, and weather needs.

**SASH BALANCE SYSTEMS**  
Enables smooth operation at the largest sizes.

## EXTERIOR FEATURES AND PERFORMANCE

**DURABLE CLADDING**  
Extruded aluminum exterior cladding with an AAMA verified 2605 finish and backed by a 20-year warranty against chalking and fading.

**EXPANSIVE SIZES**  
Larger than 5 feet wide by 10 feet high.

**TRADITIONAL SILL BEVEL**  
The 14-degree bevel provides optimal water management while maintaining a classic look.



**SUPERIOR WEATHER PERFORMANCE**  
LC-PG50 on most sizes. Optional commercial (CW) performance and IZ3 certified coastal performance on most sizes.

**DESIGN VERSATILITY**  
An array of simulated divided lite patterns, interior and exterior color options, ten hardware finishes, and archtop models.

**ALUMINUM INTER-LOCK**  
Eliminates drafts and improves the window's overall structural integrity.

**HALRB APPROVED**  
**COA ISSUED ON April 17, 2024**

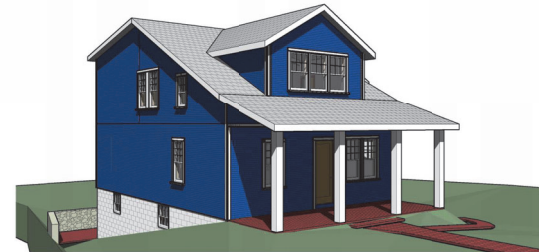
**FIELD CHANGES TO EXTERIOR  
 COMPONENTS OF APPROVED PLANS ARE  
 NOT PERMITTED. FOR INFORMATION CALL  
 703-228-3838.**

PHOTO:



⑦ EXISTING - EXTERIOR VIEW 01

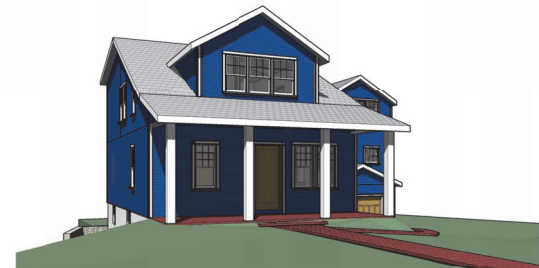
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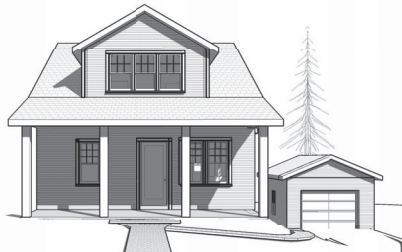
① PROPOSED - EXTERIOR VIEW 01



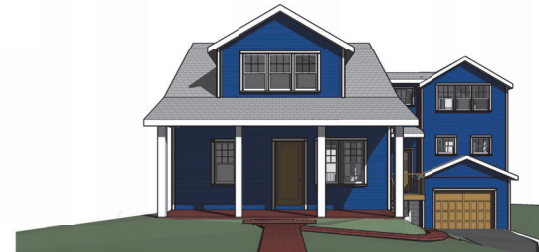
② EXISTING - EXTERIOR VIEW 03



③ PROPOSED - EXTERIOR VIEW 03



⑤ EXISTING - EXTERIOR VIEW 04



④ PROPOSED - EXTERIOR VIEW 04



MC3 DESIGN  
 1308 VINCENT PLACE  
 MCLEAN, VA 22101  
 202.599.7779  
 JMCKENNA@MC3.DESIGN

DRAWN BY:  
 JOHN MCKENNA, AIA,  
 NCARB ARCHITECT  
 1308 VINCENT PLACE  
 MCLEAN, VA 22101  
 SEAL

CODE  
 2018 VIRGINIA RESIDENTIAL  
 CODE (IRC)

PROJECT  
**COE  
 RESIDENCE**  
 2725 23RD RD N  
 ARLINGTON, VA 22201

REVISIONS

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SHEET TITLE  
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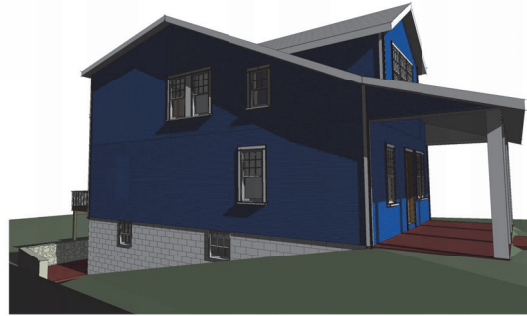
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1 EXTERIOR - FRONT PERSPECTIVE VIEW 01



2 EXTERIOR - LEFT PERSPECTIVE 01



5 EXTERIOR - FRONT PERSPECTIVE 02



3 EXTERIOR - BACK PERSPECTIVE 01



4 EXTERIOR - RIGHT PERSPECTIVE 01



6 EXTERIOR - BACK PERSPECTIVE 02

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MC3 DESIGN



MC3 DESIGN

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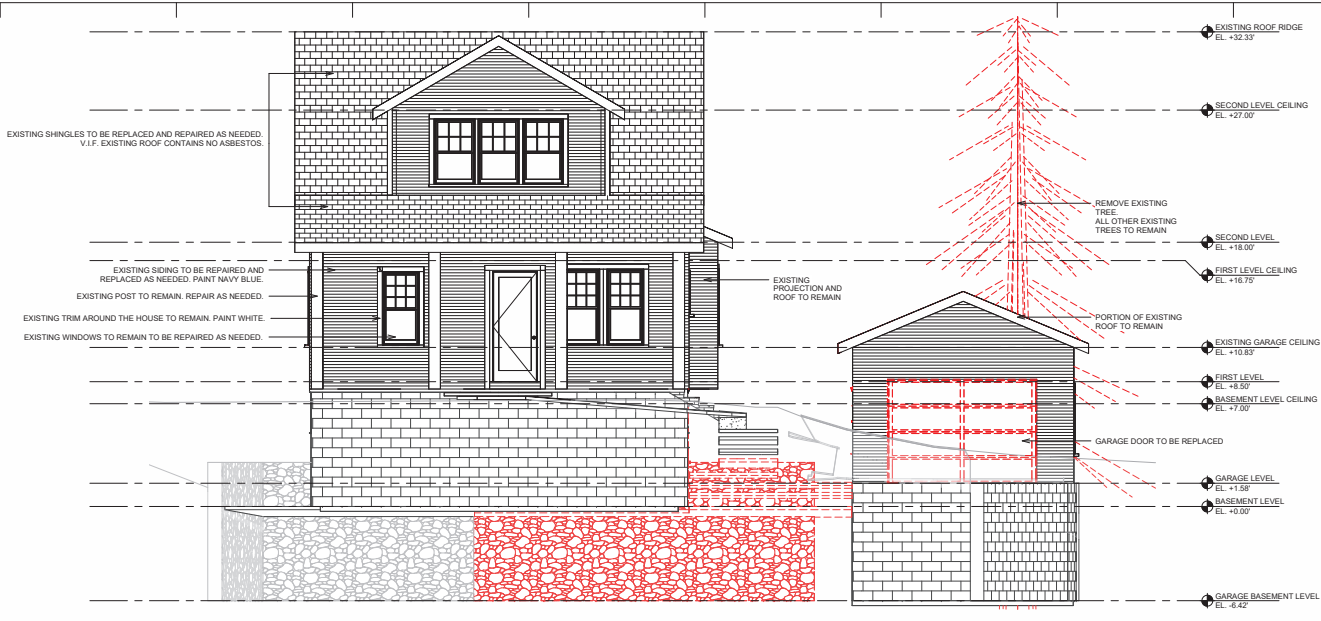
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PERSPECTIVES**

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**A008**



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1 DEMO - FRONT ELEVATION  
 1/4" = 1'-0"



2 PROPOSED - FRONT ELEVATION

**These windows must be casement.**

**These windows must be casement.**

**All windows in the addition must be wood (not clad wood).**

**HALRB APPROVED**

**COA ISSUED ON April 17, 2024**

**FIELD CHANGES TO EXTERIOR**

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SHEET TITLE  
**FRONT  
 ELEVATION**

SCALE 1/4" = 1'-0"

DATE 2024.04.09

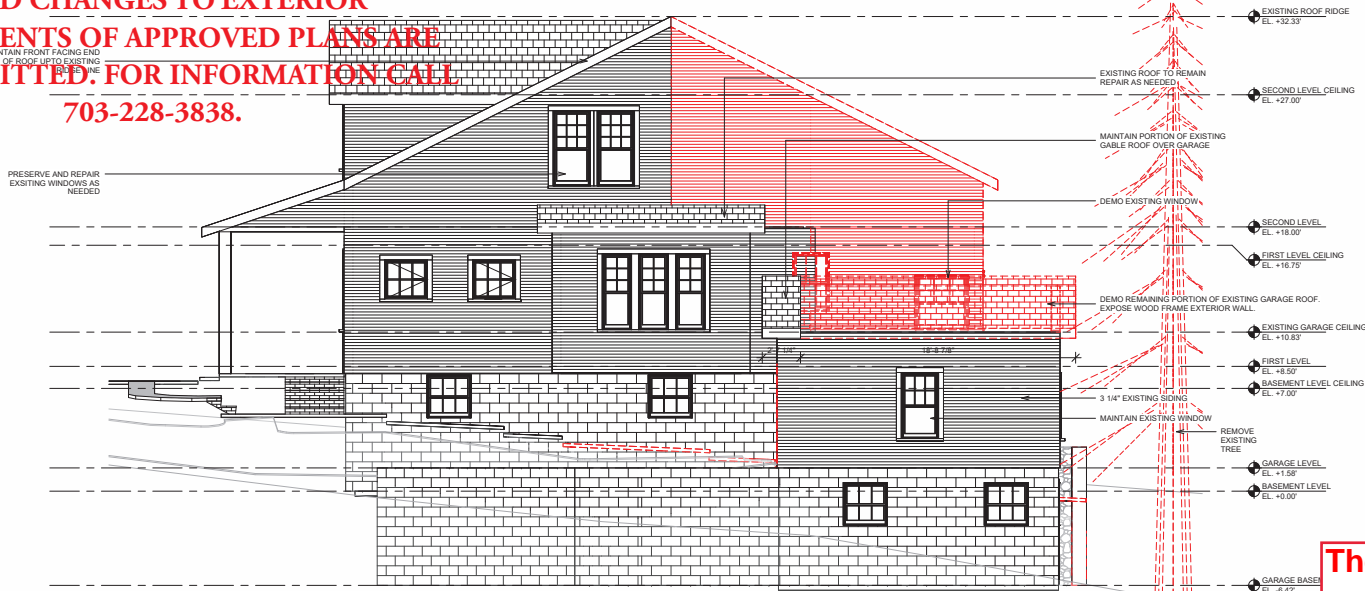
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**A201**

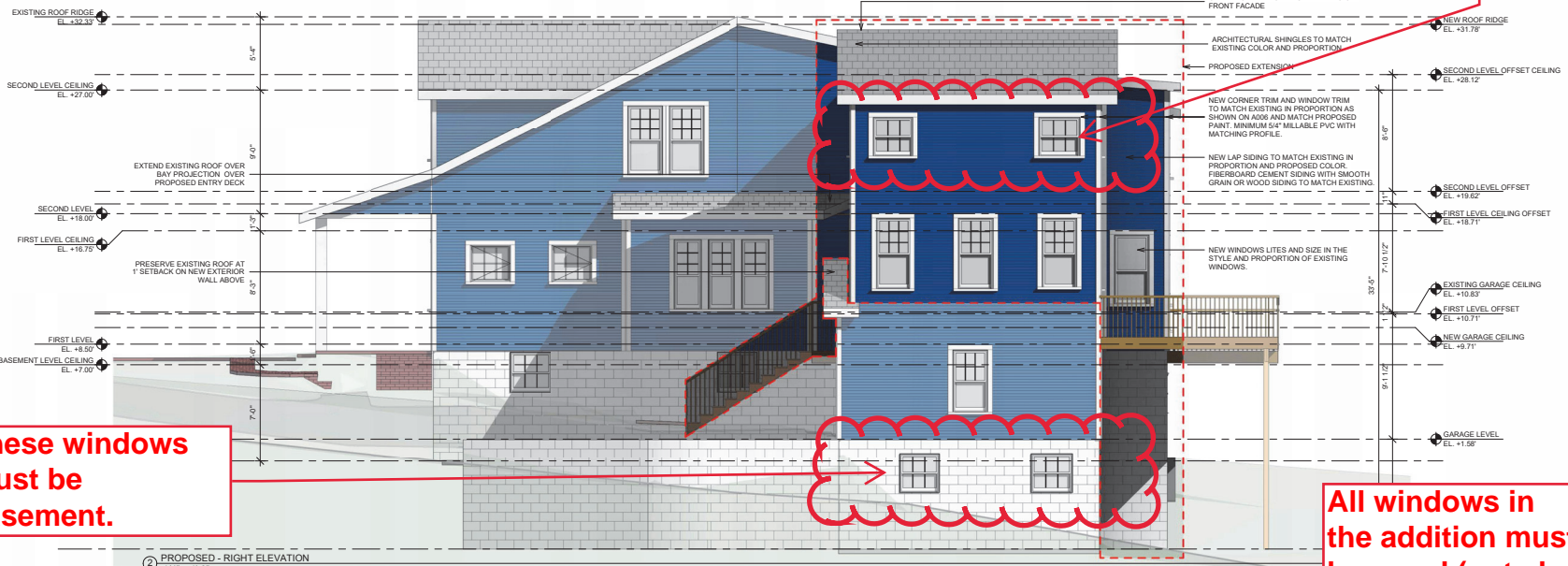
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**FIELD CHANGES TO EXTERIOR COMPONENTS OF APPROVED PLANS ARE NOT PERMITTED. FOR INFORMATION CALL 703-228-3838.**



① DEMO - RIGHT ELEVATION  
1/4" = 1'-0"



② PROPOSED - RIGHT ELEVATION  
1/4" = 1'-0"

**These windows must be casement.**

**All windows in the addition must be wood (not clad wood).**

MC3 DESIGN



MC3 DESIGN  
1308 VINCENT PLACE  
MCLEAN, VA 22101  
202.599.7779  
JMCKENNA@MC3.DESIGN

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SHEET TITLE  
**RIGHT  
ELEVATION**

SCALE 1/4" = 1'-0"

DATE 2024.04.09

SHEET NO.

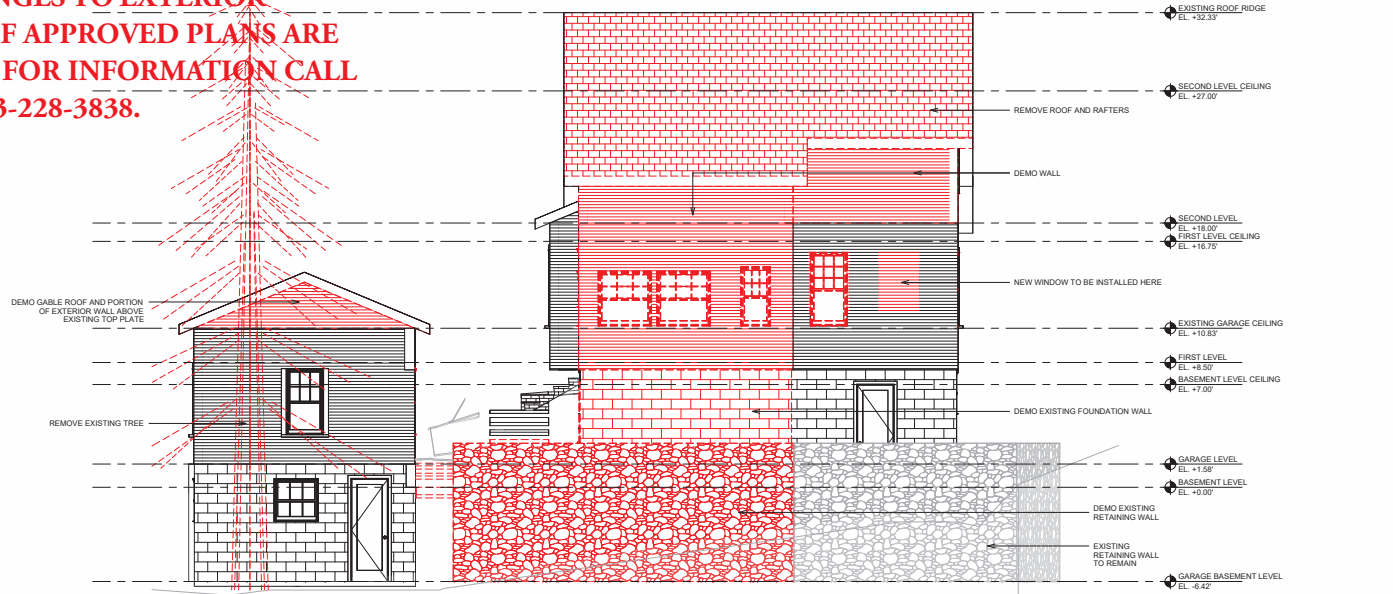
**A202**

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① DEMO - BACK ELEVATION  
1/4" = 1'-0"



② PROPOSED - BACK ELEVATION  
1/4" = 1'-0"

**All windows in the addition must be wood (not clad wood).**



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MCLEAN, VA 22101  
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JMCKENNA@MC3.DESIGN

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NCARB ARCHITECT  
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MCLEAN, VA 22101  
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CODE (IRC)

PROJECT  
**COE  
RESIDENCE**  
2725 23RD RD N  
ARLINGTON, VA 22201

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SHEET TITLE  
**BACK  
ELEVATION**

SCALE 1/4" = 1'-0"  
DATE 2024.04.09

SHEET NO.

**A203**

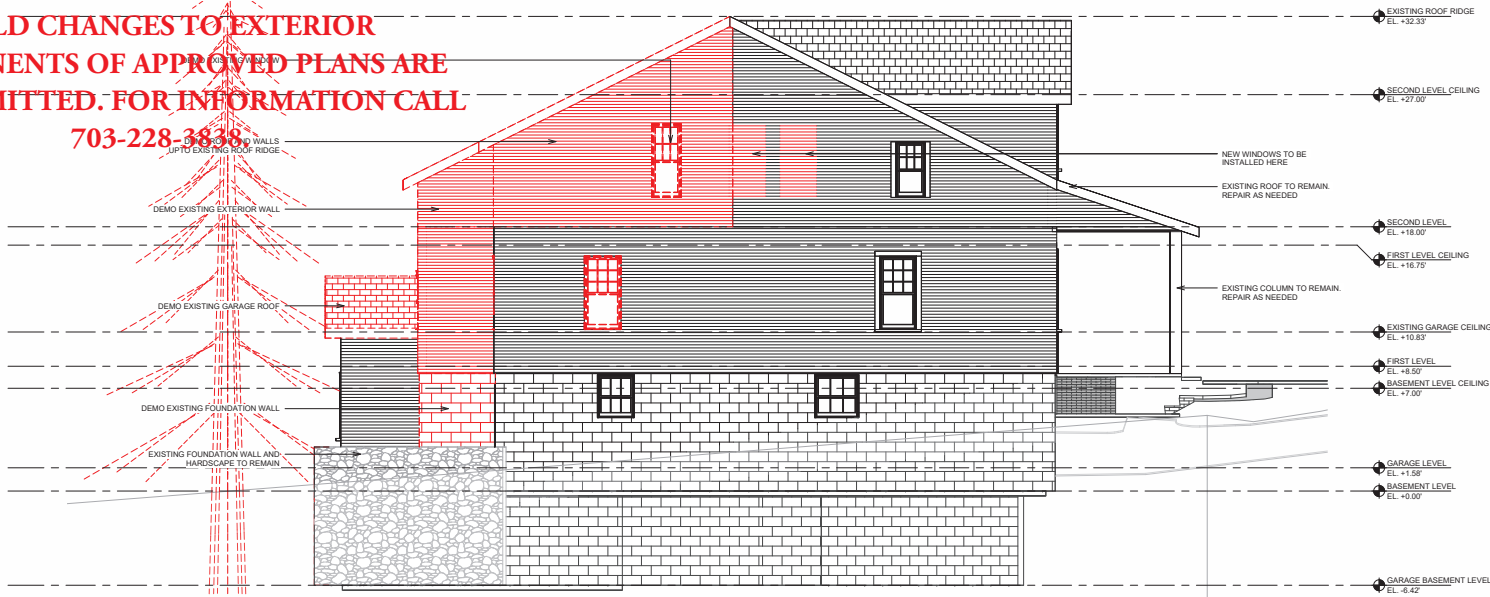
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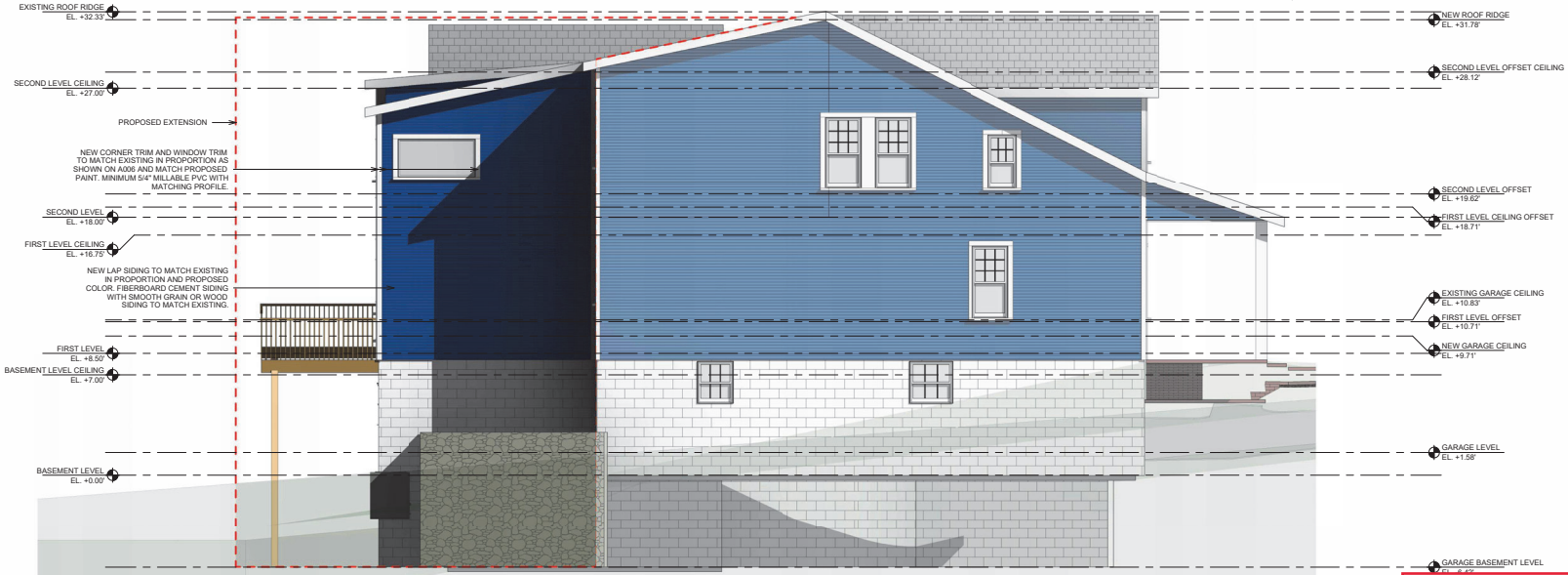
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**703-228-3638**



① DEMO - LEFT ELEVATION  
1/4" = 1'-0"



② PROPOSED - LEFT ELEVATION  
1/4" = 1'-0"

**All windows in the addition must be wood (not clad wood).**

MC3 DESIGN



MC3 DESIGN  
1308 VINCENT PLACE  
MCLEAN, VA 22101  
202-599-7779  
JMCKENNA@MC3.DESIGN

DRAWN BY:  
JOHN MCKENNA, AIA  
NCARB ARCHITECT  
1308 VINCENT PLACE  
MCLEAN, VA 22101  
SEAL

CODE  
2018 VIRGINIA RESIDENTIAL  
CODE (IRC)

PROJECT  
**COE  
RESIDENCE**  
2725 23RD RD N  
ARLINGTON, VA 22201

REVISIONS

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SHEET TITLE  
**LEFT  
ELEVATION**

SCALE 1/4" = 1'-0"  
DATE 2024.04.09

SHEET NO.  
**A204**

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2725 23RD RD N  
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SHEET TITLE  
WINDOW  
DOOR  
SCHEDULES

SCALE  
DATE 2024.04.09  
SHEET NO.

A401

| A401 - COMPLETE EXISTING TO DEMO DOOR SCHEDULE |               |       |                |          |                  |
|------------------------------------------------|---------------|-------|----------------|----------|------------------|
| DOOR NUMBER                                    | HEADER HEIGHT | WIDTH | LEVEL          | CREATED  | DEMO             |
| D1                                             | 80            | 26    | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D2                                             | 77            | 24    | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D3                                             | 0             | 84    | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D5                                             | 0             | 0     | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D6                                             | 0             | 0     | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D7                                             | 77            | 24    | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D8                                             | 80            | 30    | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D9                                             | 0             | 0     | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D11                                            | 0             | 0     | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D12                                            | 80            | 30    | SECOND LEVEL   | EXISTING | NEW CONSTRUCTION |
| D13                                            | 80            | 28    | SECOND LEVEL   | EXISTING | NEW CONSTRUCTION |
| D14                                            | 96            | 60    | SECOND LEVEL   | EXISTING | NEW CONSTRUCTION |
| D15                                            | 77            | 24    | SECOND LEVEL   | EXISTING | NEW CONSTRUCTION |
| D17                                            | 0             | 0     | SECOND LEVEL   | EXISTING | NEW CONSTRUCTION |
| D19                                            | 84            | 30    | BASEMENT LEVEL | EXISTING | NEW CONSTRUCTION |
| D25                                            | 80            | 36    | SECOND LEVEL   | EXISTING | NEW CONSTRUCTION |
| D44                                            | 77            | 24    | FIRST LEVEL    | EXISTING | NEW CONSTRUCTION |
| D45                                            | 84            | 120   | GARAGE LEVEL   | EXISTING | NEW CONSTRUCTION |
| TOTAL: 18                                      |               |       |                |          |                  |

| A401 - COMPLETE EXISTING TO REMAIN DOOR SCHEDULE |               |       |                       |          |      |
|--------------------------------------------------|---------------|-------|-----------------------|----------|------|
| DOOR NUMBER                                      | HEADER HEIGHT | WIDTH | LEVEL                 | CREATED  | DEMO |
| D4                                               | 0             | 0     | FIRST LEVEL           | EXISTING | None |
| D10                                              | 90            | 36    | FIRST LEVEL           | EXISTING | None |
| D16                                              | 77            | 24    | SECOND LEVEL          | EXISTING | None |
| D20                                              | 84            | 30    | GARAGE BASEMENT LEVEL | EXISTING | None |
| D21                                              | 84            | 30    | BASEMENT LEVEL        | EXISTING | None |
| TOTAL: 5                                         |               |       |                       |          |      |

| A401 - COMPLETE NEW DOOR SCHEDULE |               |       |                     |                  |      |
|-----------------------------------|---------------|-------|---------------------|------------------|------|
| DOOR NUMBER                       | HEADER HEIGHT | WIDTH | LEVEL               | CREATED          | N/A  |
| D18                               | 84            | 120   | GARAGE LEVEL        | NEW CONSTRUCTION | None |
| D22                               | 84            | 30    | FIRST LEVEL         | NEW CONSTRUCTION | None |
| D23                               | 96            | 96    | FIRST LEVEL         | NEW CONSTRUCTION | None |
| D24                               | 80            | 28    | BASEMENT LEVEL      | NEW CONSTRUCTION | None |
| D26                               | 80            | 36    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D27                               | 80            | 33    | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| D28                               | 84            | 30    | FIRST LEVEL         | NEW CONSTRUCTION | None |
| D29                               | 80            | 30    | FIRST LEVEL         | NEW CONSTRUCTION | None |
| D30                               | 96            | 90    | FIRST LEVEL         | NEW CONSTRUCTION | None |
| D31                               | 80            | 30    | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| D32                               | 80            | 30    | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| D33                               | 84            | 30    | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| D34                               | 64            | 36    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D35                               | 80            | 36    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D36                               | 80            | 28    | BASEMENT LEVEL      | NEW CONSTRUCTION | None |
| D37                               | 80            | 30    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D38                               | 80            | 30    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D39                               | 80            | 36    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D40                               | 80            | 36    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D41                               | 80            | 60    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| D42                               | 80            | 60    | SECOND LEVEL        | NEW CONSTRUCTION | None |
| TOTAL: 21                         |               |       |                     |                  |      |

| A401 - COMPLETE EXISTING TO DEMO WINDOW SCHEDULE |       |        |             |               |              |          |                  |
|--------------------------------------------------|-------|--------|-------------|---------------|--------------|----------|------------------|
| LABEL                                            | WIDTH | HEIGHT | SILL HEIGHT | HEADER HEIGHT | LEVEL        | CREATED  | DEMO             |
| W1                                               | 30    | 60     | 30          | 90            | FIRST LEVEL  | EXISTING | NEW CONSTRUCTION |
| W7                                               | 30    | 60     | 30          | 90            | FIRST LEVEL  | EXISTING | NEW CONSTRUCTION |
| W8                                               | 44    | 45     | 30          | 75            | FIRST LEVEL  | EXISTING | NEW CONSTRUCTION |
| W9                                               | 44    | 45     | 30          | 75            | FIRST LEVEL  | EXISTING | NEW CONSTRUCTION |
| W10                                              | 24    | 48     | 30          | 78            | FIRST LEVEL  | EXISTING | NEW CONSTRUCTION |
| W11                                              | 30    | 48     | 45          | 93            | FIRST LEVEL  | EXISTING | NEW CONSTRUCTION |
| W12                                              | 24    | 24     | 36          | 60            | FIRST LEVEL  | EXISTING | NEW CONSTRUCTION |
| W16                                              | 44    | 45     | 30          | 75            | FIRST LEVEL  | EXISTING | NEW CONSTRUCTION |
| W22                                              | 24    | 60     | 24          | 84            | SECOND LEVEL | EXISTING | NEW CONSTRUCTION |
| W25                                              | 31    | 54     | 24          | 78            | GARAGE LEVEL | EXISTING | NEW CONSTRUCTION |
| TOTAL: 10                                        |       |        |             |               |              |          |                  |

| A401 - COMPLETE EXISTING TO REMAIN WINDOW SCHEDULE |       |        |             |               |                       |          |      |
|----------------------------------------------------|-------|--------|-------------|---------------|-----------------------|----------|------|
| LABEL                                              | WIDTH | HEIGHT | SILL HEIGHT | HEADER HEIGHT | LEVEL                 | CREATED  | DEMO |
| W2                                                 | 35    | 32     | 55          | 87            | FIRST LEVEL           | EXISTING | None |
| W3                                                 | 30    | 60     | 30          | 90            | FIRST LEVEL           | EXISTING | None |
| W4                                                 | 30    | 62     | 30          | 92            | FIRST LEVEL           | EXISTING | None |
| W5                                                 | 30    | 62     | 30          | 92            | FIRST LEVEL           | EXISTING | None |
| W6                                                 | 30    | 60     | 30          | 90            | FIRST LEVEL           | EXISTING | None |
| W13                                                | 24    | 62     | 30          | 92            | FIRST LEVEL           | EXISTING | None |
| W14                                                | 24    | 62     | 30          | 92            | FIRST LEVEL           | EXISTING | None |
| W15                                                | 24    | 62     | 30          | 92            | FIRST LEVEL           | EXISTING | None |
| W17                                                | 34    | 54     | 47          | 101           | SECOND LEVEL          | EXISTING | None |
| W18                                                | 34    | 54     | 47          | 101           | SECOND LEVEL          | EXISTING | None |
| W19                                                | 34    | 54     | 47          | 101           | SECOND LEVEL          | EXISTING | None |
| W20                                                | 31    | 62     | 34          | 95            | SECOND LEVEL          | EXISTING | None |
| W21                                                | 31    | 62     | 34          | 95            | SECOND LEVEL          | EXISTING | None |
| W23                                                | 24    | 46     | 24          | 70            | SECOND LEVEL          | EXISTING | None |
| W26                                                | 31    | 54     | 24          | 78            | GARAGE LEVEL          | EXISTING | None |
| W27                                                | 36    | 35     | 60          | 95            | BASEMENT LEVEL        | EXISTING | None |
| W28                                                | 36    | 35     | 60          | 95            | BASEMENT LEVEL        | EXISTING | None |
| W29                                                | 36    | 35     | 60          | 95            | BASEMENT LEVEL        | EXISTING | None |
| W30                                                | 30    | 35     | 60          | 95            | BASEMENT LEVEL        | EXISTING | None |
| W31                                                | 30    | 35     | 48          | 83            | BASEMENT LEVEL        | EXISTING | None |
| W32                                                | 36    | 35     | 49          | 84            | GARAGE BASEMENT LEVEL | EXISTING | None |
| W33                                                | 36    | 35     | 49          | 84            | GARAGE BASEMENT LEVEL | EXISTING | None |
| W34                                                | 36    | 35     | 49          | 84            | GARAGE BASEMENT LEVEL | EXISTING | None |
| W42                                                | 35    | 32     | 65          | 87            | FIRST LEVEL           | EXISTING | None |
| W87                                                | 31    | 54     | 24          | 78            | GARAGE LEVEL          | EXISTING | None |
| TOTAL: 25                                          |       |        |             |               |                       |          |      |

| A401 - COMPLETE NEW WINDOW SCHEDULE |       |        |             |               |                     |                  |      |
|-------------------------------------|-------|--------|-------------|---------------|---------------------|------------------|------|
| LABEL                               | WIDTH | HEIGHT | SILL HEIGHT | HEADER HEIGHT | LEVEL               | CREATED          | DEMO |
| W24                                 | 31    | 62     | 23          | 84            | FIRST LEVEL OFFSET  | NEW CONSTRUCTION | None |
| W35                                 | 31    | 62     | 35          | 96            | FIRST LEVEL         | NEW CONSTRUCTION | None |
| W36                                 | 31    | 62     | 35          | 96            | FIRST LEVEL         | NEW CONSTRUCTION | None |
| W37                                 | 30    | 62     | 23          | 85            | FIRST LEVEL         | NEW CONSTRUCTION | None |
| W39                                 | 36    | 35     | 49          | 84            | BASEMENT LEVEL      | NEW CONSTRUCTION | None |
| W40                                 | 36    | 35     | 49          | 84            | BASEMENT LEVEL      | NEW CONSTRUCTION | None |
| W41                                 | 35    | 35     | 42          | 77            | BASEMENT LEVEL      | NEW CONSTRUCTION | None |
| W43                                 | 35    | 35     | 42          | 77            | BASEMENT LEVEL      | NEW CONSTRUCTION | None |
| W45                                 | 34    | 54     | 31          | 84            | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| W46                                 | 34    | 54     | 31          | 84            | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| W47                                 | 34    | 54     | 31          | 84            | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| W49                                 | 36    | 35     | 31          | 66            | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| W50                                 | 36    | 35     | 31          | 66            | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| W51                                 | 31    | 62     | 35          | 96            | FIRST LEVEL         | NEW CONSTRUCTION | None |
| W52                                 | 35    | 35     | 43          | 78            | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| W54                                 | 35    | 35     | 43          | 78            | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| W55                                 | 34    | 54     | 43          | 96            | SECOND LEVEL        | NEW CONSTRUCTION | None |
| W56                                 | 34    | 54     | 43          | 96            | SECOND LEVEL        | NEW CONSTRUCTION | None |
| W59                                 | 66    | 32     | 34          | 66            | SECOND LEVEL        | NEW CONSTRUCTION | None |
| W62                                 | 66    | 32     | 34          | 66            | SECOND LEVEL        | NEW CONSTRUCTION | None |
| W63                                 | 66    | 52     | 78          | 130           | FIRST LEVEL         | NEW CONSTRUCTION | None |
| W66                                 | 66    | 32     | 12          | 44            | FIRST LEVEL         | NEW CONSTRUCTION | None |
| W67                                 | 34    | 54     | 12          | 66            | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| W68                                 | 30    | 60     | 24          | 84            | SECOND LEVEL        | NEW CONSTRUCTION | None |
| W69                                 | 30    | 60     | 24          | 84            | SECOND LEVEL        | NEW CONSTRUCTION | None |
| W70                                 | 31    | 62     | 23          | 84            | FIRST LEVEL OFFSET  | NEW CONSTRUCTION | None |
| W71                                 | 31    | 62     | 23          | 84            | FIRST LEVEL OFFSET  | NEW CONSTRUCTION | None |
| W73                                 | 31    | 62     | 23          | 84            | FIRST LEVEL OFFSET  | NEW CONSTRUCTION | None |
| W74                                 | 31    | 62     | 23          | 84            | FIRST LEVEL OFFSET  | NEW CONSTRUCTION | None |
| W75                                 | 31    | 62     | 23          | 84            | FIRST LEVEL OFFSET  | NEW CONSTRUCTION | None |
| W77                                 | 35    | 35     | 49          | 84            | FIRST LEVEL OFFSET  | NEW CONSTRUCTION | None |
| W79                                 | 35    | 35     | 49          | 84            | FIRST LEVEL OFFSET  | NEW CONSTRUCTION | None |
| W80                                 | 66    | 32     | 34          | 66            | SECOND LEVEL        | NEW CONSTRUCTION | None |
| W81                                 | 34    | 54     | 31          | 84            | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| W82                                 | 34    | 54     | 31          | 84            | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| W83                                 | 34    | 54     | 31          | 84            | SECOND LEVEL OFFSET | NEW CONSTRUCTION | None |
| W84                                 | 35    | 35     | 42          | 77            | BASEMENT LEVEL      | NEW CONSTRUCTION | None |
| W85                                 | 35    | 35     | 42          | 77            | BASEMENT LEVEL      | NEW CONSTRUCTION | None |
| W86                                 | 34    | 48     | 42          | 90            | FIRST LEVEL         | NEW CONSTRUCTION | None |
| W88                                 | 36    | 35     | 49          | 84            | FIRST LEVEL         | NEW CONSTRUCTION | None |
| TOTAL: 40                           |       |        |             |               |                     |                  |      |

NEW WINDOWS TO BE ANDERSON 400 SERIES WOOD WINDOWS OR PELLA WOOD WINDOW SERIES. WINDOW STYLE TO MATCH ELEVATIONS AND NOTES.

All windows in the addition must be wood (not clad wood).

**HALRB APPROVED**  
**COA ISSUED ON April 17, 2024**  
**FIELD CHANGES TO EXTERIOR COMPONENTS OF APPROVED PLANS ARE NOT PERMITTED. FOR INFORMATION CALL 703-228-3838.**

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| 02 - COMPLETE DEMOLITION FLOORING MATERIAL TAKEOFF |         |                |
|----------------------------------------------------|---------|----------------|
| MATERIAL NAME                                      | AREA    | COMMENTS       |
| BRICK PAVER HERRINGBONE                            | 382 SF  |                |
| CONCRETE                                           | 60 SF   |                |
| 02 - COMPLETE DEMOLITION WALL MATERIAL TAKEOFFS    |         |                |
| MATERIAL NAME                                      | AREA    | LINEAR FOOTAGE |
| 1/2" WALL SHEATHING PLYWOOD                        | 796 SF  | 114.378 LF     |
| 2X4 DIMENSIONAL LUMBER                             | 1073 SF | 150.523 LF     |
| 2X6 DIMENSIONAL LUMBER                             | 1238 SF | 170.714 LF     |
| AIR FILTRATION BARRIER                             | 802 SF  | 114.378 LF     |
| EXISTING RETAINING WALL                            | 219 SF  | 23.208 LF      |
| EXTERIOR SIDING                                    | 795 SF  | 114.378 LF     |
| GYPSUM WALL BOARD 1/2"                             | 3809 SF | 321.237 LF     |
| TEXTURED 8" CMU                                    | 187 SF  | 24.623 LF      |
| VAPOR RETARDER                                     | 802 SF  | 114.378 LF     |
| 02 - COMPLETE DEMOLITION CEILING MATERIAL TAKEOFF  |         |                |
| MATERIAL NAME                                      | AREA    | COMMENT        |
| GYPSUM WALL BOARD 1/2"                             | 60 SF   |                |
| 02 - COMPLETE DEMOLITION ROOF MATERIAL TAKEOFF     |         |                |
| MATERIAL NAME                                      | AREA    | COMMENTS       |
| ASPHALT SHINGLES                                   | 975 SF  |                |
| GYPSUM WALL BOARD 1/2"                             | 975 SF  |                |

| 03 - COMPLETE NEW FLOORING MATERIAL TAKEOFF |         |                |
|---------------------------------------------|---------|----------------|
| MATERIAL NAME                               | AREA    | COMMENTS       |
| BRICK PAVER HERRINGBONE                     | 15 SF   |                |
| CONCRETE                                    | 434 SF  |                |
| DECK FRAMING VOLUME                         | 446 SF  |                |
| DECKING FINISH                              | 446 SF  |                |
| FLOOR SHEATHING PLYWOOD                     | 1352 SF |                |
| WOOD FINISH FLOOR                           | 1352 SF |                |
| 03 - COMPLETE NEW WALL MATERIAL TAKEOFFS    |         |                |
| MATERIAL NAME                               | AREA    | LINEAR FOOTAGE |
| 1/2" WALL SHEATHING PLYWOOD                 | 1860 SF | 267.003 LF     |
| 2X4 DIMENSIONAL LUMBER                      | 1825 SF | 275.276 LF     |
| 2X6 DIMENSIONAL LUMBER                      | 2236 SF | 312.776 LF     |
| AIR FILTRATION BARRIER                      | 1876 SF | 267.003 LF     |
| EXTERIOR SIDING                             | 1860 SF | 267.003 LF     |
| GYPSUM WALL BOARD 1/2"                      | 5905 SF | 648.759 LF     |
| SHOWER GLASS                                | 92 SF   | 17.073 LF      |
| STONE 01                                    | 112 SF  | 11.969 LF      |
| TEXTURED 8" CMU                             | 704 SF  | 103.592 LF     |
| VAPOR RETARDER                              | 1876 SF | 267.003 LF     |
| 03 - COMPLETE NEW CEILING MATERIAL TAKEOFF  |         |                |
| MATERIAL NAME                               | AREA    | COMMENT        |
| GYPSUM WALL BOARD 1/2"                      | 1785 SF |                |
| 03 - COMPLETE NEW ROOF MATERIAL TAKEOFF     |         |                |
| MATERIAL NAME                               | AREA    | COMMENTS       |
| ASPHALT SHINGLES                            | 1433 SF |                |
| GYPSUM WALL BOARD 1/2"                      | 1431 SF |                |

**HALRB APPROVED**  
**COA ISSUED ON April 17, 2024**

**FIELD CHANGES TO EXTERIOR  
 COMPONENTS OF APPROVED PLANS ARE  
 NOT PERMITTED. FOR INFORMATION CALL  
 703-228-3838.**



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**COE  
 RESIDENCE**  
 2725 23RD RD N  
 ARLINGTON, VA 22101

REVISIONS

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SHEET TITLE  
**MATERIAL  
 TAKEOFFS**

SCALE  
 DATE 2024.04.09  
 SHEET NO.

**A402**

# Pella® Reserve™

## Traditional Wood & Clad/Wood



**All windows in the addition must be wood (not clad wood).**

**HALRB APPROVED**  
**COA ISSUED ON April 17, 2024**

**FIELD CHANGES TO EXTERIOR COMPONENTS OF APPROVED PLANS ARE NOT PERMITTED. FOR INFORMATION CALL 703-228-3838.**

Exquisitely designed windows and doors with unparalleled historical detailing.

Double-Hung Interior



Double-Hung Exterior



- Historical details**  
 Our most historically authentic line of wood windows and patio doors. Featuring through-stile construction, deliberate proportions and intricate profiles. Pella Reserve - Traditional products are the ideal choice for historical renovations and traditional building projects.
- Authentic hardware**  
 Complement your project with historically authentic spoon-lock window hardware. Our Antiek casement window hardware is inspired by period furniture to deliver authentic traditional style.
- Architectural interest**  
 Featuring the industry's only foam spacer solution, Pella's Integral Light Technology® grille helps capture the look of true-divided-light without sacrificing energy performance. Further your aesthetic with the putty profile, recreated with historically accurate angles – providing meaningful depth and a realistic shadow. Pella Reserve products offer the industry's deepest sash dimension.
- Virtually unlimited customization**  
 If you can dream it, we can build it with our most customizable product line. From extra tall to extra wide, Pella can craft unique windows that complement your aesthetic. Custom sizes, grille patterns and designs, finishes, wood types and glass options are available.
- Tailor-made solutions**  
 From preliminary drawings to installation, Pella's expert team of architects, engineers, drafters and consultants can work to deliver custom window and door solutions for your project. Partner with Pella to achieve your unique vision without concessions.
- Intentional innovation**  
 Winner of the 2019 Most Innovative Window from Window and Door Magazine, the Integrated Rolscreen® retractable screen preserves aesthetics and the view. It is a double- and single-hung screen that appears when you open the window, and rolls away, out of sight, when you close it.
- Durable interiors and extruded aluminum exteriors**  
 To help save you time on the jobsite, interior finish options are available in a variety of paints and stains, or primed and ready-to-paint. To complement your exterior aesthetic, choose from our carefully curated color palette or define your own custom color for your project.
- ENERGY STAR® certified<sup>1</sup>**  
 Pella wood products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Reserve products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2021.<sup>1</sup>
- Testing beyond requirements**  
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.
- Best limited lifetime warranty<sup>2</sup>**  
 Pella Reserve products are covered by the best limited lifetime warranty in the business for wood windows and patio doors.<sup>2</sup>

Available in these window and patio door styles:



Special shape windows also available.

<sup>1,2</sup> See back cover for disclosures.

# Product Specifications

| Window & Patio Door Styles                  | Min. Width | Min. Height | Max. Width | Max. Height | Performance Class & Grade | Performance Values |             |       | Frame / Install                                                  |
|---------------------------------------------|------------|-------------|------------|-------------|---------------------------|--------------------|-------------|-------|------------------------------------------------------------------|
|                                             |            |             |            |             |                           | U-Factor           | SHGC        | STC   |                                                                  |
| <b>Awning</b>                               | 13-3/4"    | 13-3/4"     | 59"        | 59"         | LC40-CW50                 | 0.25-0.29          | 0.18-0.47   | 27-35 | Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould |
| <b>Precision Fit Awning</b>                 | 17"        | 17"         | 53"        | 29"         | R45-CW50                  | 0.28-0.32          | 0.18-0.47   | 27-30 | Pocket Replacement                                               |
| <b>Casement</b>                             | 13-3/4"    | 13-3/4"     | 47"        | 108"        | R35-CW50                  | 0.25-0.29          | 0.18-0.47   | 27-34 | Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould |
| <b>Precision Fit Casement</b>               | 17"        | 17"         | 35"        | 73"         | R35-CW50                  | 0.28-0.33          | 0.18-0.47   | 27-30 | Pocket Replacement                                               |
| <b>Fixed Casement</b>                       | 10"        | 10"         | 144"       | 144"        | R35-CW50                  | 0.25-0.29          | 0.18-0.47   | 27-35 | Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould |
| <b>Precision Fit Fixed Casement</b>         | 17"        | 17"         | 59"        | 73"         | R45-CW50                  | 0.28-0.33          | 0.18-0.47   | 27-30 | Pocket Replacement                                               |
| <b>Double-Hung</b>                          | 14"        | 24-3/8"     | 48"        | 96"         | CW30-CW50                 | 0.25-0.30          | 0.19-0.53   | 28-35 | Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould |
| <b>Precision Fit Double-Hung</b>            | 13-1/2"    | 23-3/4"     | 48"        | 84"         | CW40-CW50                 | 0.25-0.31          | 0.19-0.53   | 26-30 | Pocket Replacement                                               |
| <b>Monumental Hung</b>                      | 13-3/4"    | 24"         | 72"        | 144"        | LC25-CW50                 | 0.25-0.30          | 0.17-0.47   | 29-34 | Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould |
| <b>In-Swing Hinged Patio Door (Single)</b>  | 18"        | 36"         | 48"        | 199-1/2"    | LC40-LC55                 | 0.25-0.29          | 0.14-0.40   | 31-35 |                                                                  |
| <b>In-Swing Hinged Patio Door (Double)</b>  | 36"        | 36"         | 96"        | 119-1/2"    | LC40-LC55                 | 0.25-0.29          | 0.14-0.40   | 31-35 |                                                                  |
| <b>Out-Swing Hinged Patio Door (Single)</b> | 18"        | 36"         | 48"        | 119-1/2"    | R50-LC70                  | 0.25-0.30          | 0.14-0.39   | 30-36 |                                                                  |
| <b>Out-Swing Hinged Patio Door (Double)</b> | 36"        | 36"         | 96"        | 119-1/2"    | R50-LC70                  | 0.25-0.30          | 0.14-0.39   | 30-36 |                                                                  |
| <b>Sliding Patio Door (O)</b>               | 30-3/4"    | 74"         | 60-3/4"    | 119-1/2"    | LC40-LC70                 | 0.29-0.32          | 0.15-0.42   | -     |                                                                  |
| <b>Sliding Patio Door (OX, XO)</b>          | 59-1/4"    | 74"         | 119-1/2"   | 119-1/2"    | LC35-LC65                 | 0.29-0.32          | 0.15-0.42   | 29-35 |                                                                  |
| <b>Sliding Patio Door (OXO)</b>             | 90"        | 74"         | 180"       | 119-1/2"    | LC30-LC45                 | 0.29-0.32          | 0.15-0.42   | -     |                                                                  |
| <b>Sliding Patio Door (OXXO)</b>            | 116-1/8"   | 74"         | 236-1/8"   | 119-1/2"    | LC25-LC40                 | 0.29-0.32          | 0.15-0.42   | -     |                                                                  |
| <b>Multi-Slide Patio Door</b>               | 40-1/4"    | 50-1/2"     | 701-5/8"   | 119-1/2"    | R15-LC25 <sup>3</sup>     | 0.30 - 0.36        | 0.15 - 0.46 | 31    |                                                                  |
| <b>Bifold Patio Door</b>                    | 31-3/4"    | 55-1/2"     | 312"       | 119-1/2"    | R15-LC25 <sup>3</sup>     | 0.26-0.44          | 0.13-0.45   | -     | For more info visit PellaADM.com                                 |

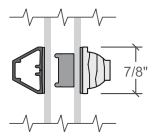
Window sizes available in 1/8" increments

Special sizes available. For more information regarding performance, visit [pella.com/performance](http://pella.com/performance). For more information regarding frame and installation types, visit [PellaADM.com](http://PellaADM.com).

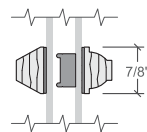
## Grilles

### Integral Light Technology®

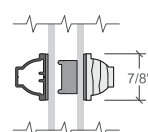
Choose the look of true divided light featuring the industry's only foam spacer.



**Putty Glaze Exterior with Ogee Interior<sup>4</sup>**  
7/8", 1-1/4" or 2"



**Putty Glaze Exterior with Ogee Interior<sup>4</sup>**  
7/8", 1-1/4" or 2"



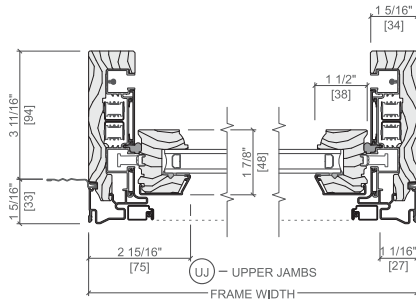
**Ogee Exterior with Ogee Interior<sup>4</sup>**  
7/8", 1-1/4" or 2"

**HALRB APPROVED**

**COA ISSUED ON April 17, 2024**

## Cross Sections

### Cross Sections



**Optional Fold-out Installation Fin**

The double-hung components of approved plans are putty exterior profile and traditional, beveled Ogee interior that add architectural interest to your project.

**FIELD CHANGES TO EXTERIOR**

**COMPONENTS OF APPROVED PLANS ARE NOT PERMITTED. FOR INFORMATION CALL**

**703-228-3838.**

**All windows in the addition must be wood (not clad wood).**

<sup>3,4</sup> See back cover for disclosures.



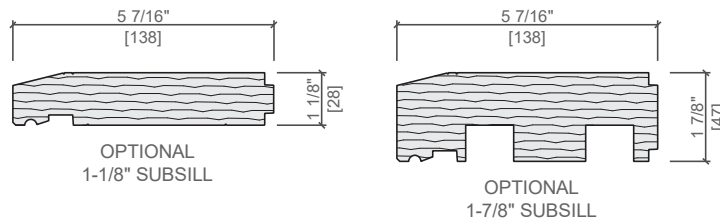
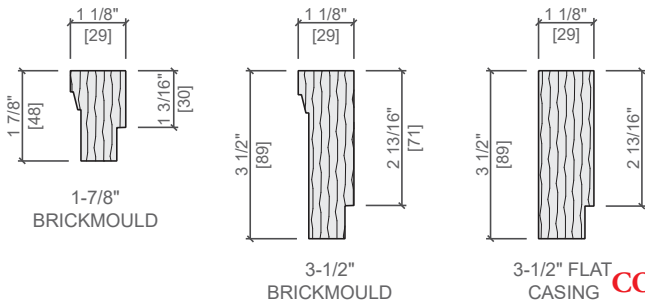
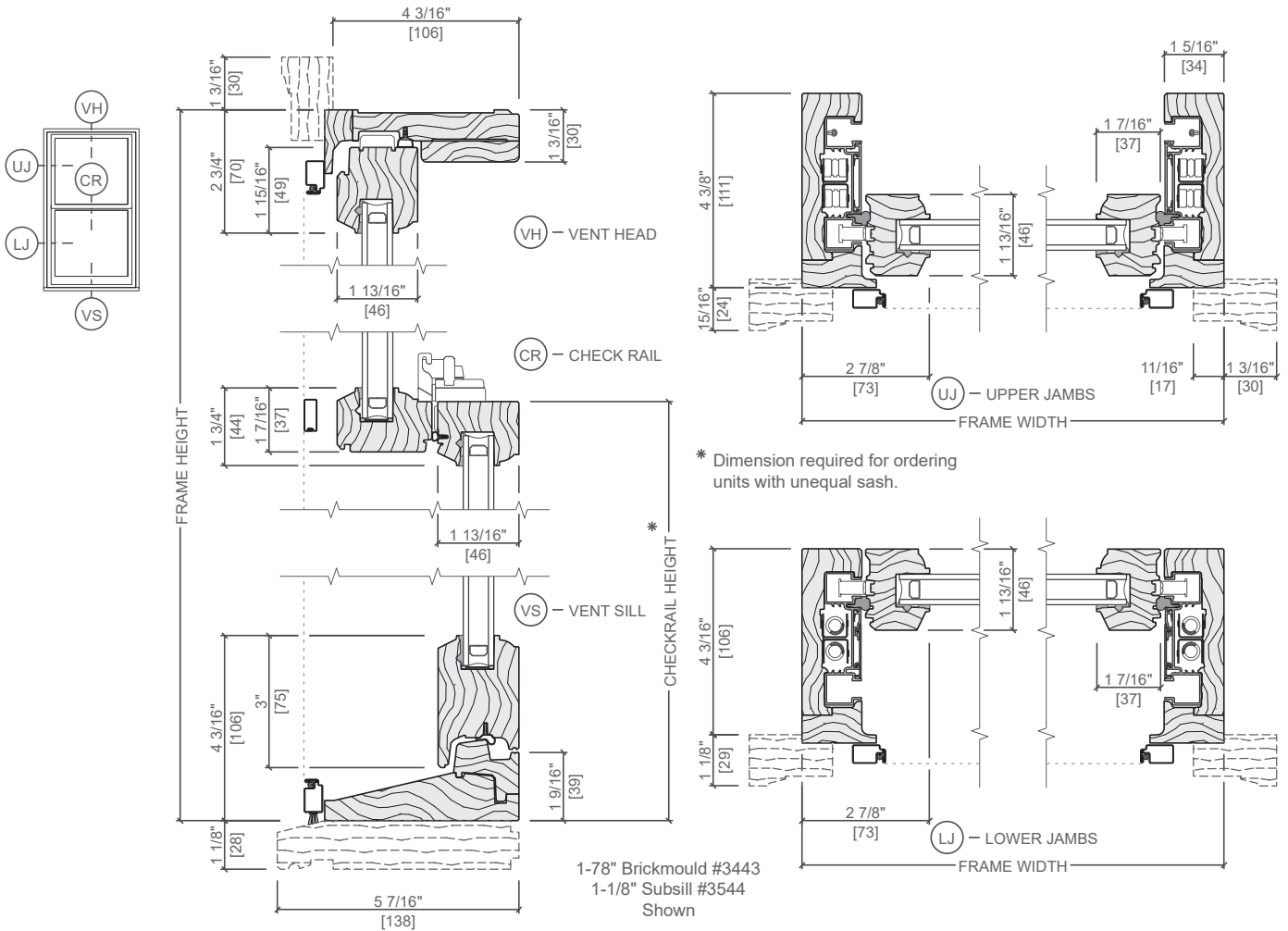


HUNG

UNIT SECTIONS

Wood Exterior

Vent - Putty Glaze Exterior Profile



**HALRB APPROVED**  
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**FIELD CHANGES TO EXTERIOR COMPONENTS OF APPROVED PLANS ARE NOT PERMITTED. FOR INFORMATION CALL 703-228-3838.**



All windows in the addition must be wood (not clad wood).

## 400 SERIES



THE WINDOWS  
CONTRACTORS  
TRUST THE MOST.\*

\*2020 Andersen brand survey of U.S. contractors.

**All windows in the addition must be wood (not clad wood).**

## RELIABLE & ENERGY EFFICIENT

As our best-selling products, the 400 Series product line offers a distinct blend of design, reliability and trade confidence. Designed for easy installation for replacement, remodel or new construction projects, 400 Series products feature our Perma-Shield® exterior cladding that revolutionized the window industry. They're also backed by our renowned limited warranty and the largest service network in the industry.

### ENERGY-SAVING GLASS FOR ANY CLIMATE

Andersen makes windows and patio doors with options that make them ENERGY STAR® v. 6.0 certified throughout the United States.

Visit [andersenwindows.com/energystar](http://andersenwindows.com/energystar) for more information and to verify that the product with your glass option is certified in your area.



### RIGOROUSLY TESTED

The exclusive Andersen Perma-Shield system gives our windows and doors a tough, protective shell that safeguards the wood inside. It repels water, resists dents\* and stays beautiful for years.

### LOW MAINTENANCE, NEVER NEEDS PAINTING

The Perma-Shield exteriors on Andersen 400 Series windows and doors offer superior weather resistance and are virtually maintenance free.



### OPTIONS FOR THE HARSHTEST WEATHER

400 Series windows with Stormwatch® Protection meet building code requirements in coastal areas.\*\* Products with Stormwatch Protection are energy efficient, resist the effects of salt water, and stand up to hurricane-force winds and wind-borne debris.\*\* For details, visit [andersenwindows.com/coastal](http://andersenwindows.com/coastal).



### QUALITY SO SOLID, THE WARRANTY IS TRANSFERABLE\*

Many other window and door warranties end when a home is sold, but our coverage – 20 years on glass, 10 years on non-glass parts – transfers from each owner to the next. And because it's not prorated, the coverage offers full benefits year after year, owner after owner. So it can add real value when you decide to sell your home.

### OWNER2OWNER® LIMITED WARRANTY

### BUILT FOR YEARS TO COME\*

Our products are built strong to last long.\* We use the right materials in the right places, including solid wood, fiberglass and our own Fibrex® composite material. These give our windows and doors superior strength, stability and long-term beauty.

### KEEPS THE WEATHER OUT

Our weather-resistant construction and careful selection of weatherstrip by product type seals out drafts, wind and water whatever the weather.

\*Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.

\*\*See your local code official for code requirements in your area.

"ENERGY STAR" is a registered trademark of the U.S. Environmental Protection Agency.

**All windows in the addition must be wood (not clad wood).**

# REPLACEMENT SOLUTIONS

Homeowners and realtors agree that Andersen products increase the value of a home by at least 10%\*. So you're not just replacing their windows, you're upgrading their home.

## INSERT WINDOWS



### 400 Series Woodwright® Double-Hung Insert Windows

The classic, traditional style of Woodwright full-frame windows in a time-saving insert.



### 400 Series Tilt-Wash Double-Hung Insert Windows

Our best-selling double-hung windows in an insert for easy replacement.

## REPLACEMENT WINDOWS



### 400 Series Replacement Casement & Awning Windows

Available without an installation flange for easy window replacement from inside or outside. Feature predrilled, through-the-jamb installation holes for quick installation.

Our insert and replacement windows include flat self-hanging shims, backer rod, installation screws and complete instructions.



## CUSTOM-SIZE FULL-FRAME WINDOWS

When the existing window frame is rotted or deteriorated, or you're modifying the size or shape of the existing window opening, our full-frame double-hung, casement, awning and specialty windows are available in custom sizes to fit your project.



## CUSTOM-SIZE PATIO DOORS

Whether you need a hinged or gliding patio door for replacement, Andersen has a number of custom-size options to fit your project.



\*2020 Andersen brand surveys of U.S. realtors and homeowners.