



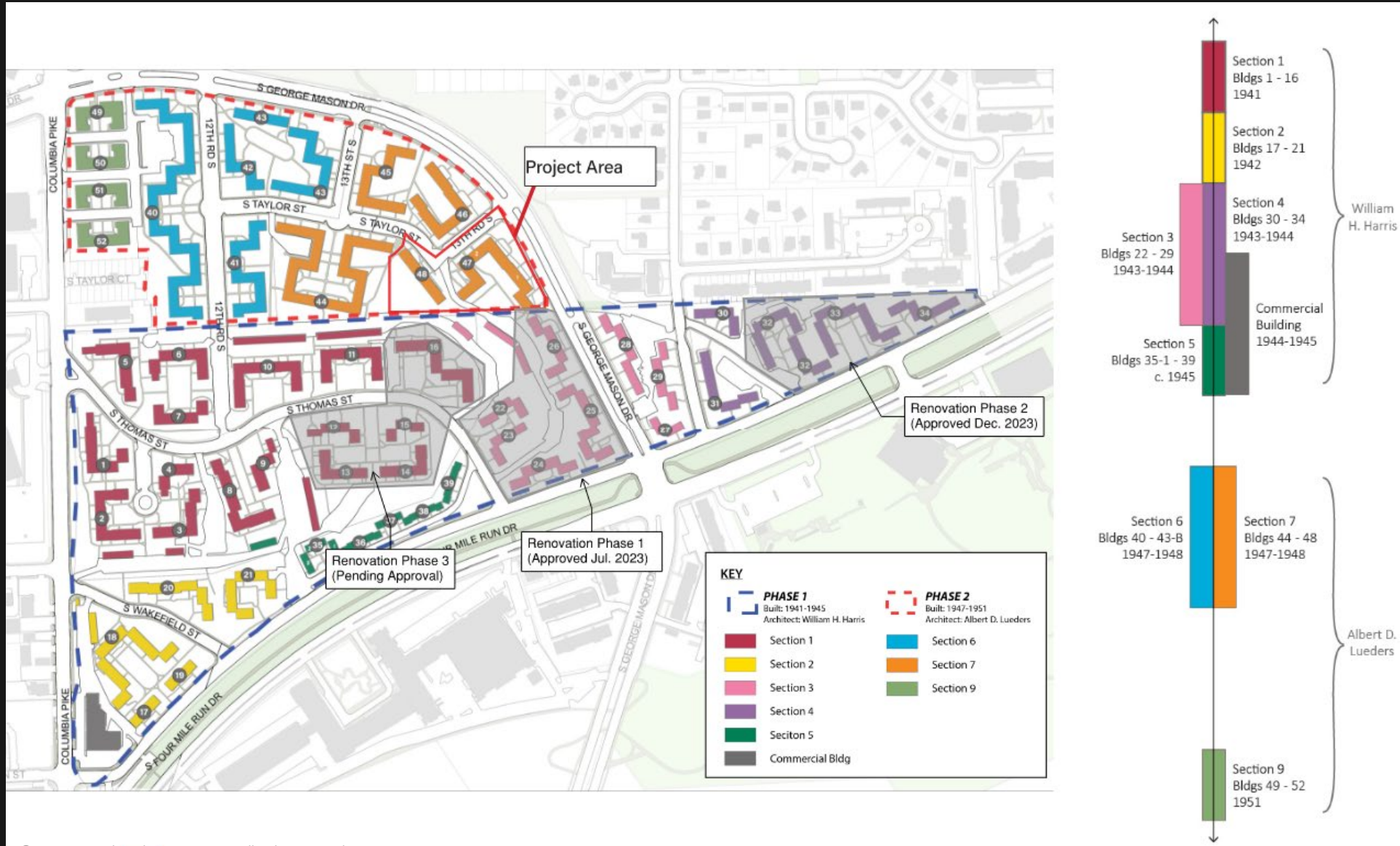
# Barcroft Apartments Phase 4 Rehabilitation Overview

Presented to: FBC Advisory Working Group

May 1, 2024

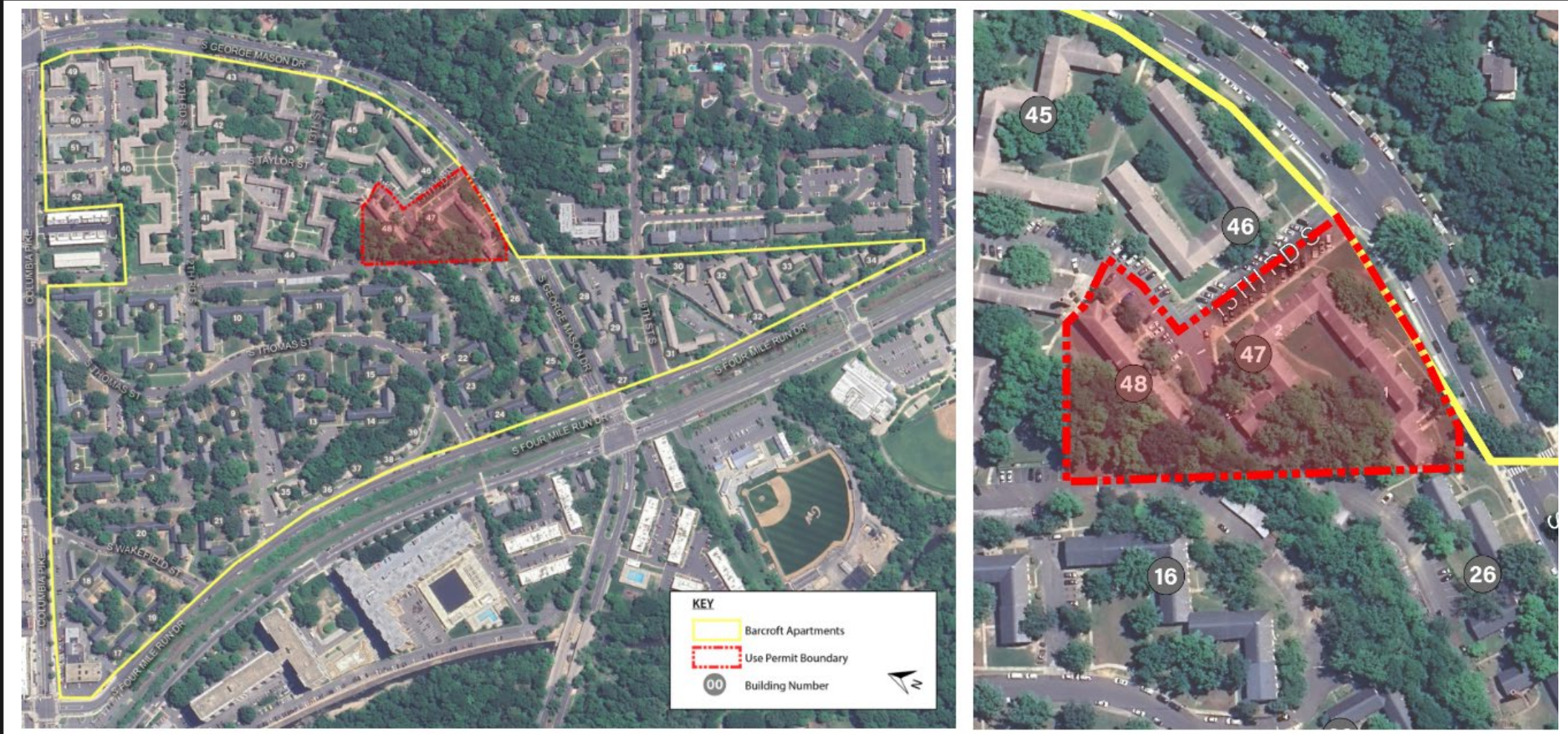


# Fourth Renovation Phase





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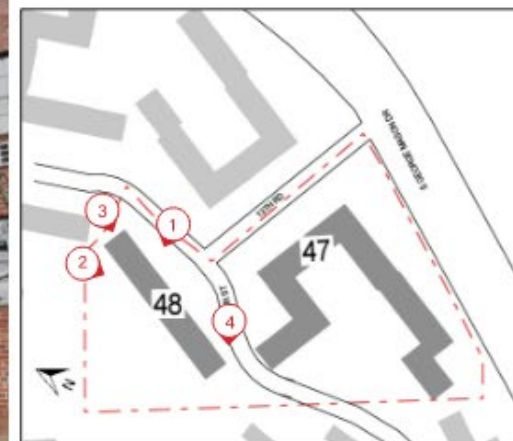


# Existing Photos – Building 47





# Existing Photos – Building 48





# Proposed Renovations

- Clean & repair exterior masonry
- Replace non-original light fixtures with compatible fixtures
- Replace existing mechanical systems, including through-wall mechanical system openings and patch brick to match existing
- Replace asphalt shingle roofs
- Repair and paint existing metal railings, non-original shutters, and corroded metal lintels
- Remove & replace steel-sash windows with aluminum to match existing
- Add new penetrations on front and rear elevations for exhaust/venting
- Convert two units within Building 47 to accessible units and create two accessible units in Building 48
- Add accessible ramps/entrances, and revise parking configuration to create ADA parking spaces
- Add a new exterior resident amenity area



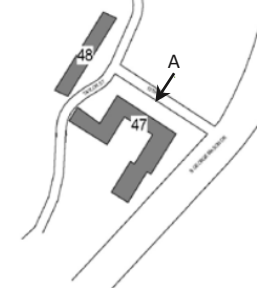
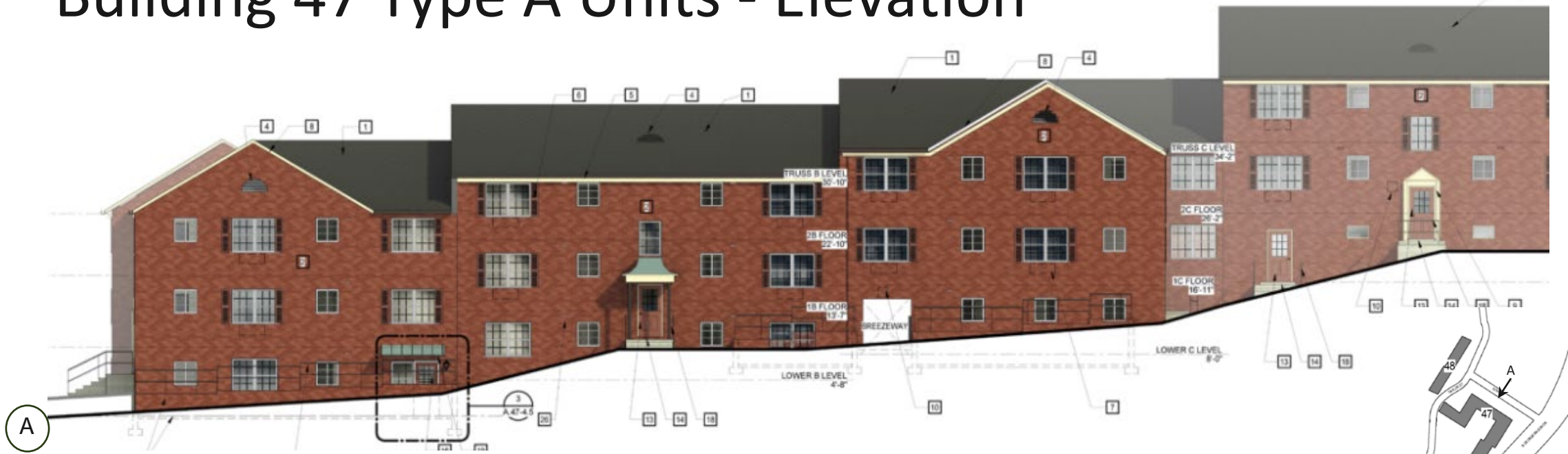


# Proposed Landscape Improvements

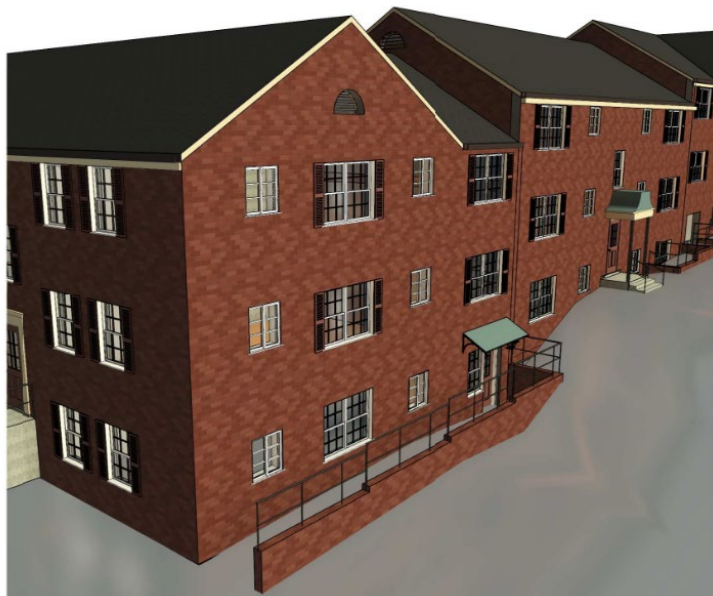




# Building 47 Type A Units - Elevation



KEY PLAN







# Building 47 Type A Units - Elevation

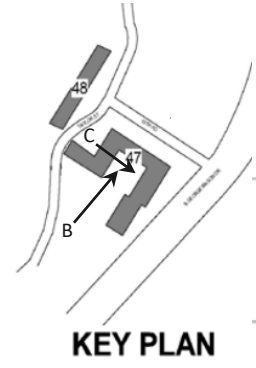
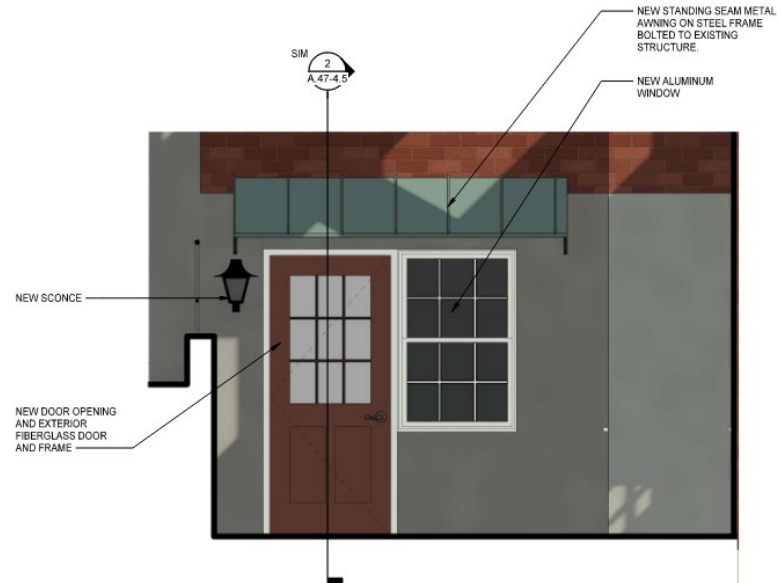


**B** SOUTH INTERIOR ELEVATION

**C** EAST INTERIOR ELEVATION



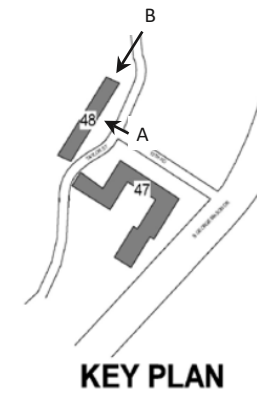
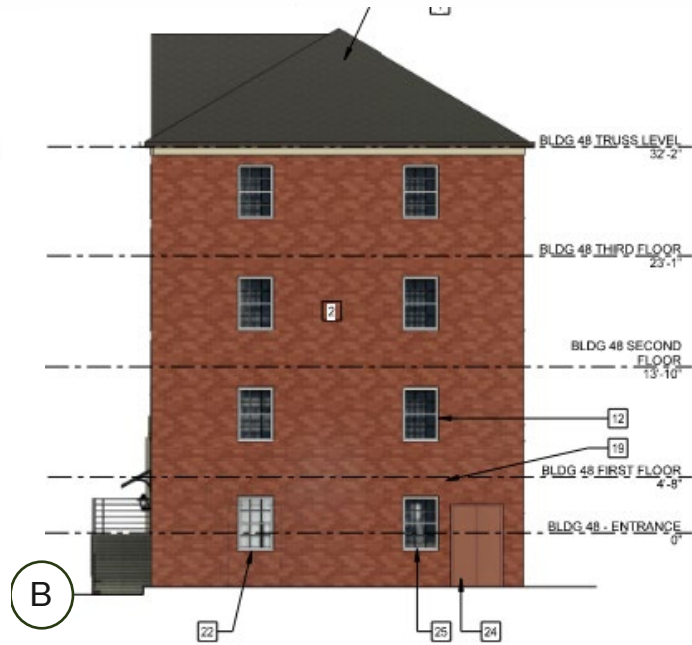
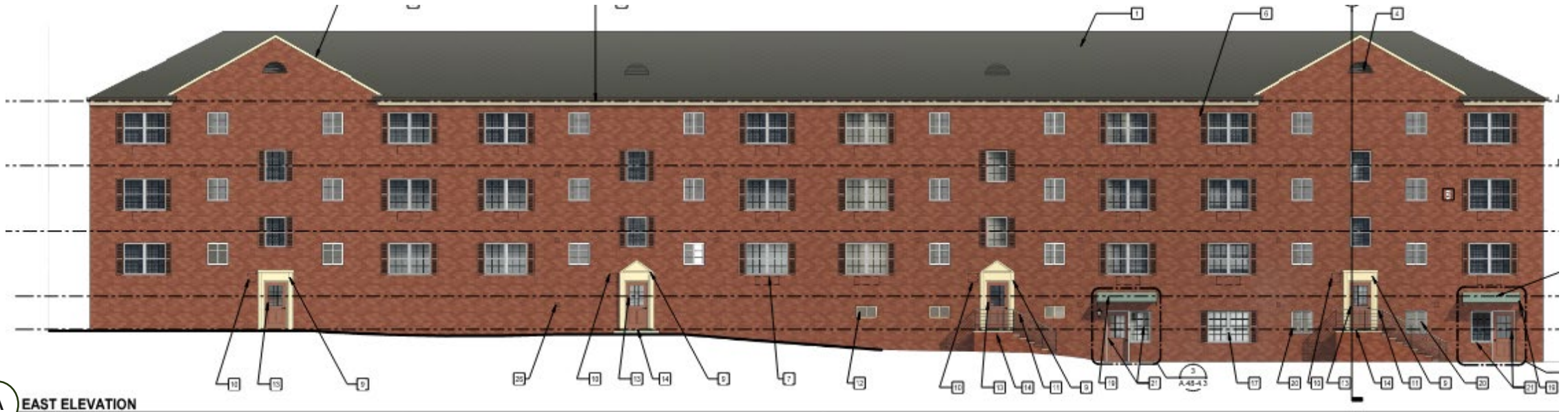
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**KEY PLAN**



# Building 48 Future Type A Units - Elevation





# VHDA Minimum Design and Construction Requirements- New Exterior Doors



- FIBERGLASS FRAME PER VHDA REQUIREMENTS
- 9 LITE DUAL-PANE INSULATED GLAZING
- COLONIAL STYLE
- WHITE COLOR
- SIMULATED DIVIDED LITE



**\*BASIS OF DESIGN JELD-WEN SMOOTH-PRO  
1/2 VIEW BLINDS 9-LIGHT 2-PANEL\***

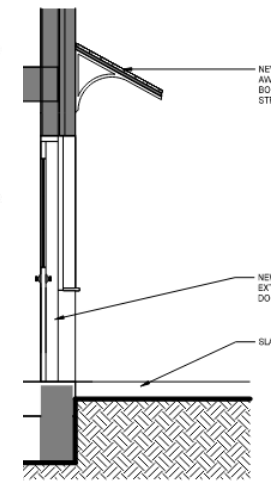
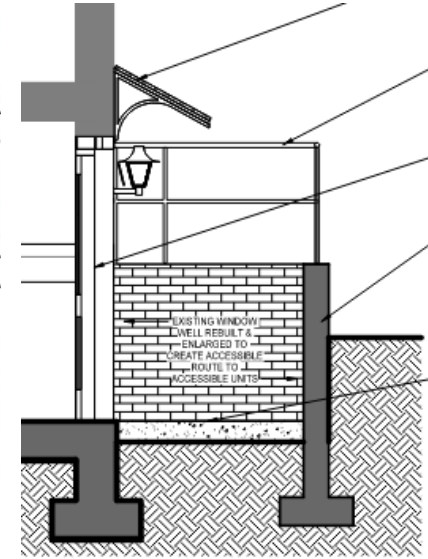
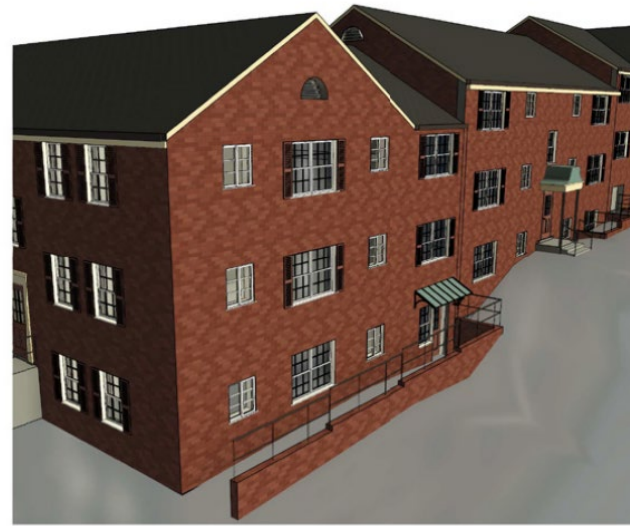


# VHDA Minimum Design and Construction Requirements- Entrance Canopy

Provide roofs/overhangs over entrance doors.

Provide a minimum 30 inches of overhang along the front and 12 inches along each side of the door; or the door may be setback a minimum of 24 inches from the face of the exterior wall.

\*Waiver to be requested, with exception of entrances to Type A units.





# Proposed Application Overview

- N-FBC 4.1.2 Use Permit to allow building renovations and landscaped open space renovations within the Conservation Area, with modifications of:
  - Required setbacks and parking to permit existing conditions to remain;
  - Conservation Area standards for new openings for ventilation and accessible unit entrances, and fiberglass material for new doors; and
  - Conservation Area standards to permit canopies and vinyl/aluminum cladding of wood trim to comply with the Virginia Housing Minimum Design & Construction Standards, if necessary. Waiver from these Virginia Housing requirements will be requested.



Thank You