

## 4.1.2 USE PERMIT APPLICATION - APRIL 18, 2023

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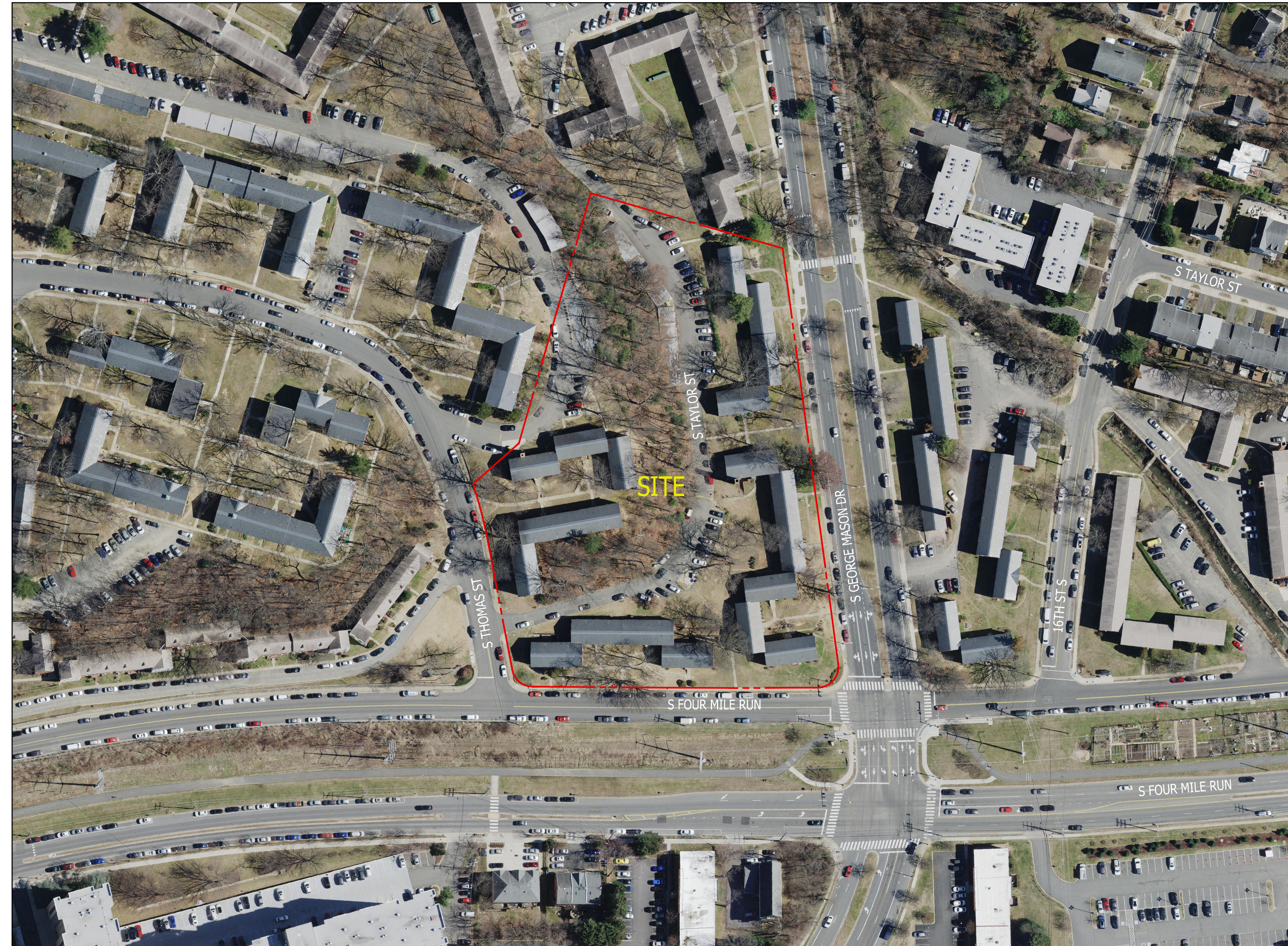
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# BARCROFT - PHASE 1

ARLINGTON COUNTY, VIRGINIA

#### OWNER CONSULTANT

JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH ST. NW, SUITE 430  
WASHINGTON, D.C. 20036

#### ARCHITECTURAL

BONSTRA | HARESIGN ARCHITECTS  
1728 14TH ST. NW, SUITE 300  
WASHINGTON, D.C. 20009

#### CIVIL ENGINEER

VIKA VIRGINIA, LLC.  
8180 GREENSBORO DRIVE, SUITE 200  
TYSONS, VIRGINIA 22102

#### LANDSCAPE ARCHITECT

VIKA VIRGINIA, LLC.  
8180 GREENSBORO DRIVE, SUITE 200  
TYSONS, VIRGINIA 22102

#### LAND USE ATTORNEY

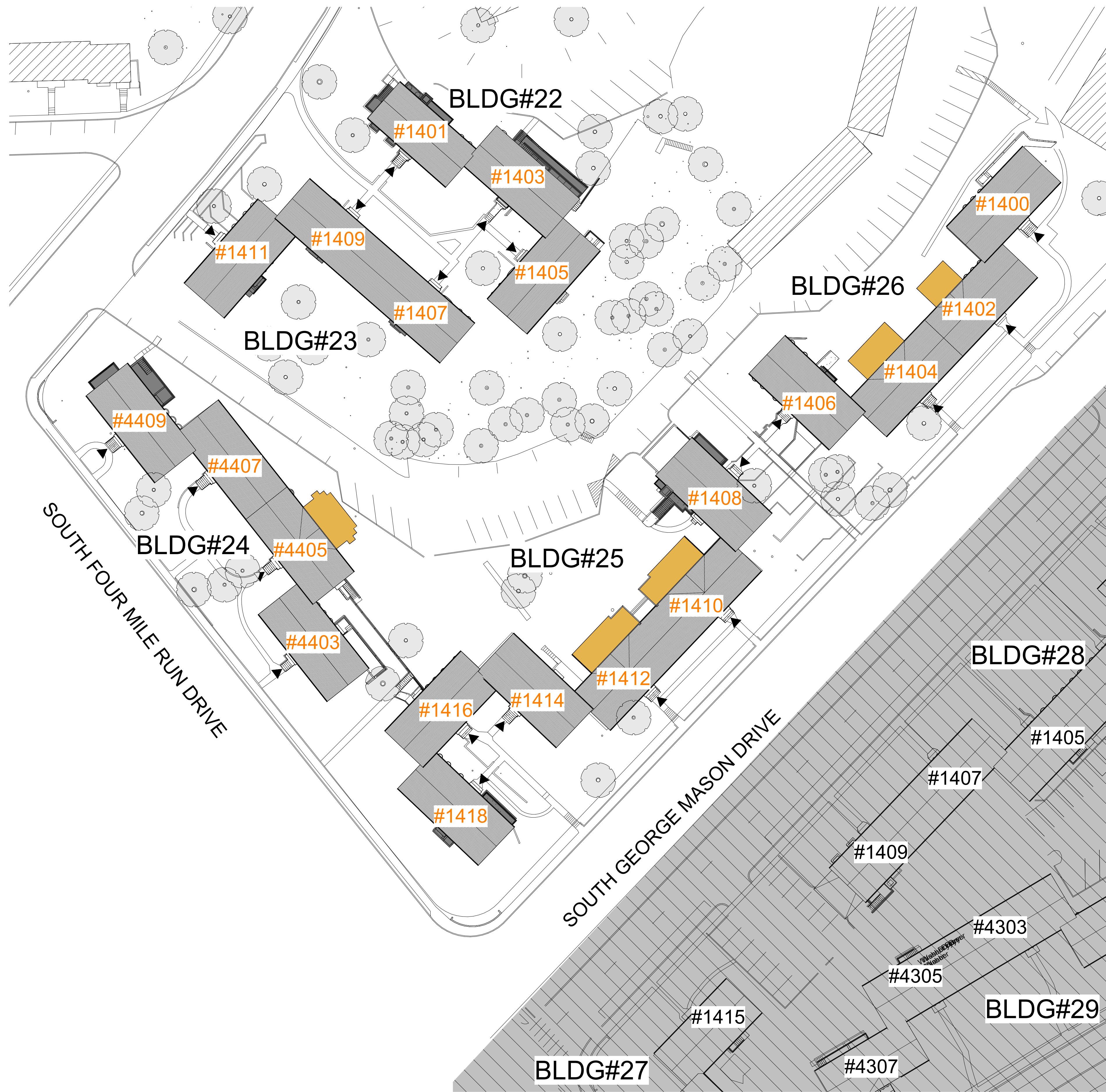
WALSH COLUCCI LUBELEY & WALSH P.C.  
2200 CLARENDON BOULEVARD, SUITE 1300  
ARLINGTON, VIRGINIA 22201

#### TRANSPORTATION ENGINEER

VIKA VIRGINIA, LLC.  
8180 GREENSBORO DRIVE, SUITE 200  
TYSONS, VIRGINIA 22102



VIKA NUMBER VV8340K  
SHEET A-0



EXISTING & PROPOSED UNIT MIX			
BUILDING	UNIT TYPE	EXISTING	PROPOSED
22	1BR	4	4
	2BR	10	10
	3BR	—	—
	4BR	—	—
	TOTAL	14	14
23	1BR	—	—
	2BR	15	15
	3BR	—	—
	4BR	—	—
	TOTAL	15	15
24	1BR	—	—
	2BR	18	14
	3BR	—	4
	4BR	—	—
	TOTAL	18	18
25	1BR	—	—
	2BR	28	20
	3BR	—	4
	4BR	—	4
	TOTAL	28	28
26	1BR	—	—
	2BR	18	12
	3BR	—	6
	4BR	—	—
	TOTAL	18	18
<b>TOTAL (BLDG#S 22-26)</b>		<b>93</b>	<b>93</b>

UNIT TYPE TOTALS (SUMMARY)		
22-26	1BR	4
	2BR	71
	3BR	14
	4BR	4
	<b>TOTAL</b>	<b>93</b>

PROPOSED NEW UNIT SQUARE FOOTAGES		
BUILDING	UNIT TYPE	TYPICAL SQUARE FOOTAGE
22	3BR	—
	4BR	—
23	3BR	—
	4BR	—
24	3BR	966 SF
	4BR	—
25	3BR	978 SF
	4BR	1104 SF
26	3BR	978 SF
	4BR	—

**Bonstra | Haresign**  
ARCHITECTS

1728 Fourteenth Street, NW, Suite 300  
Washington, DC 20009-4309

www.bonstra.com 202 588 9373 T

- CLIENT: JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036
- CONTRACTOR: VIKI VIRGINIA, LLC  
8180 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800
- STRUCTURAL: SILMAN & ASSOCIATES  
1063 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6200
- MEP: SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-55-93

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	USE PERMIT	04/25/23

DATE: 04/07/23  
PROJECT NO: 2022-054  
DRAWN BY: AL/EP  
CHECKED BY: MF

1 SITE PLAN - BUILDING 22-26  
A1 1/32" = 1'-0"

DRAWING SET  
NOT FOR CONSTRUCTION

SITE PLAN AND TABULATIONS

**A1**

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONV  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1053 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

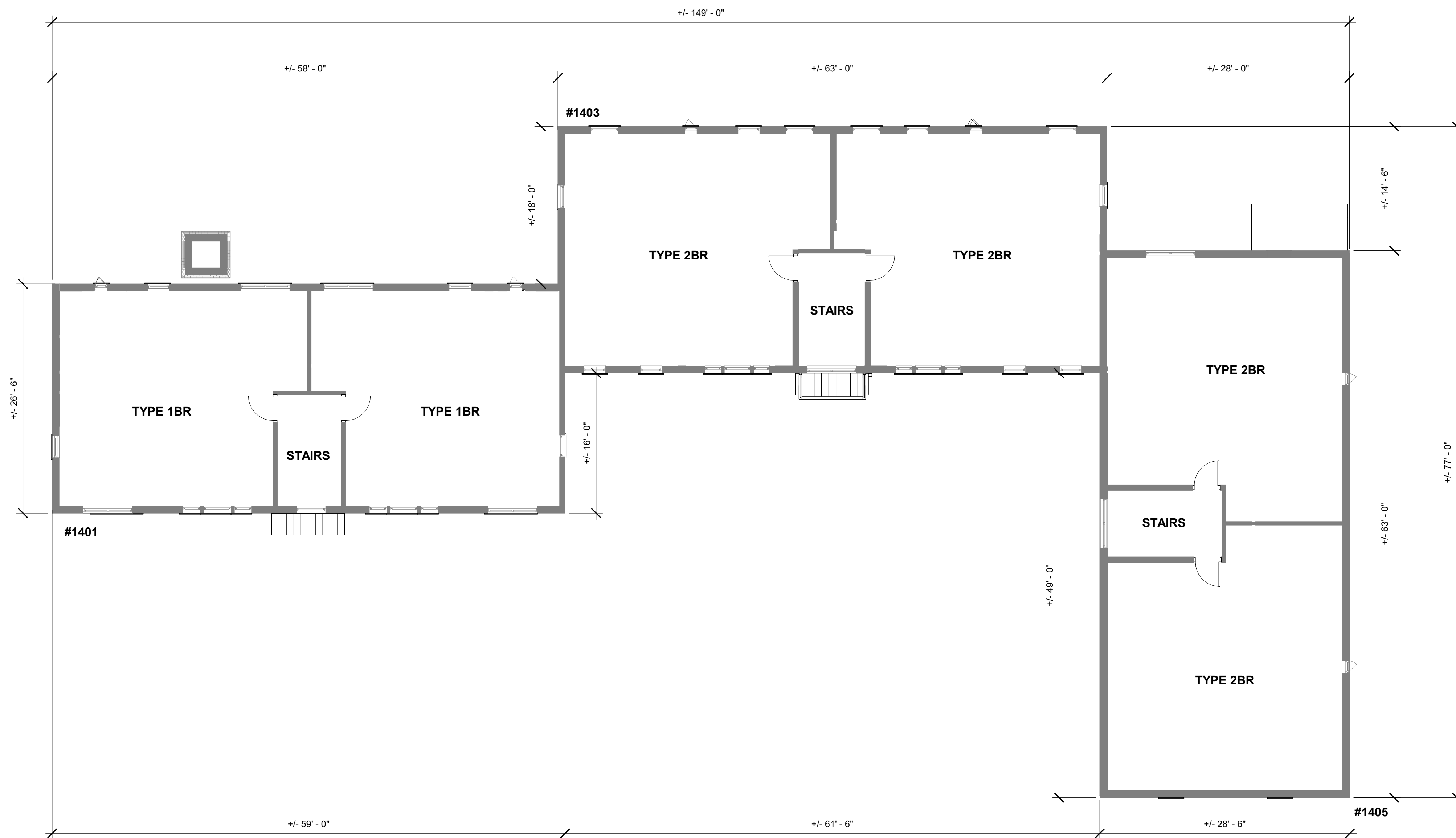
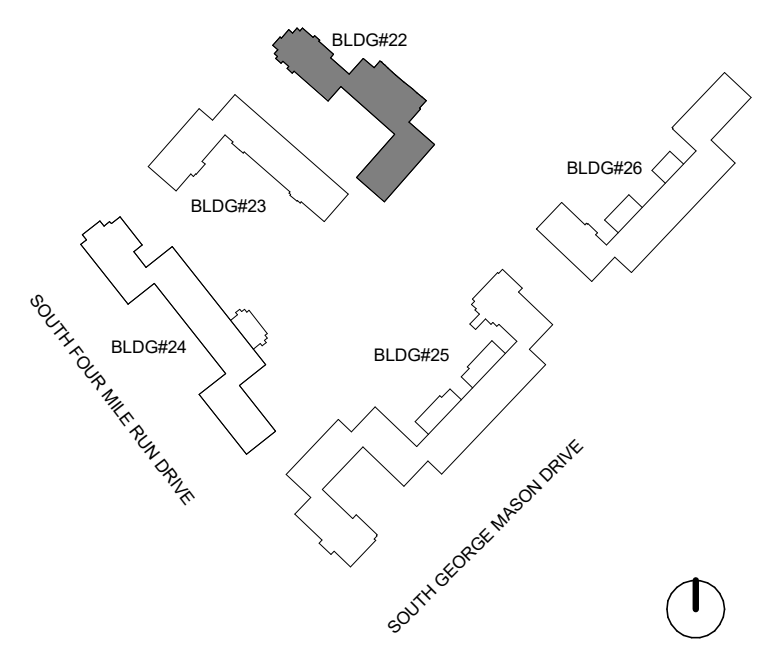
MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORFT - PHASE 1  
USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1 USE PERMIT 04/25/23

DATE: 04/10/23  
PROJECT NO.: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF

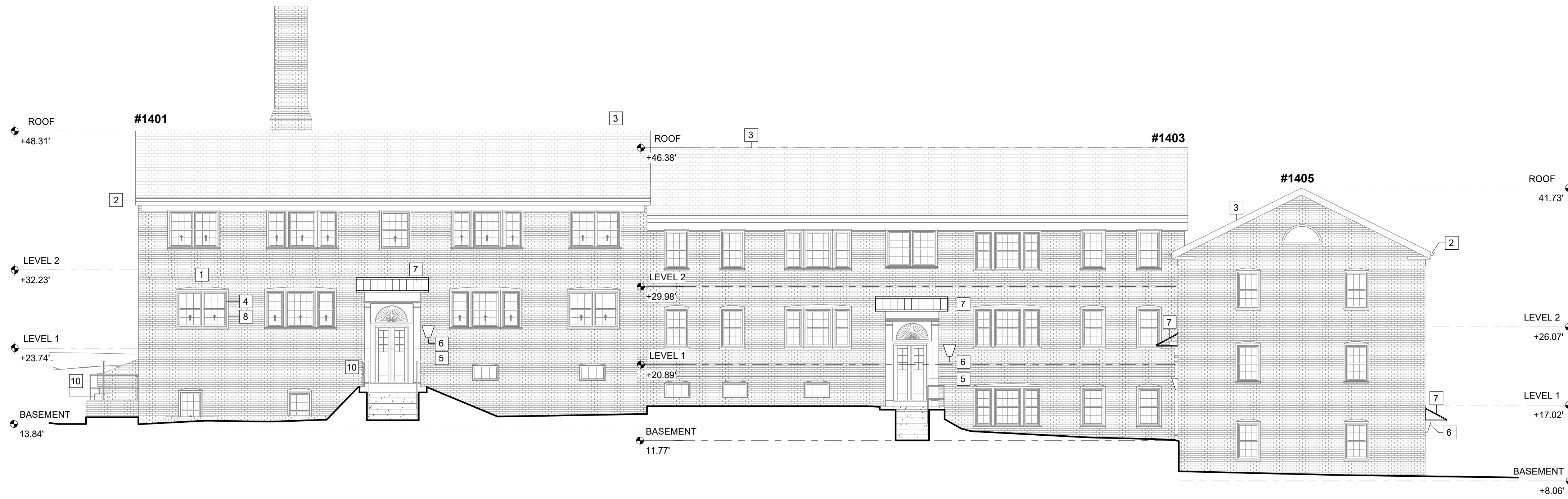


1 BLDG 22 - OVERALL PLAN  
A2 1/8" = 1'-0"

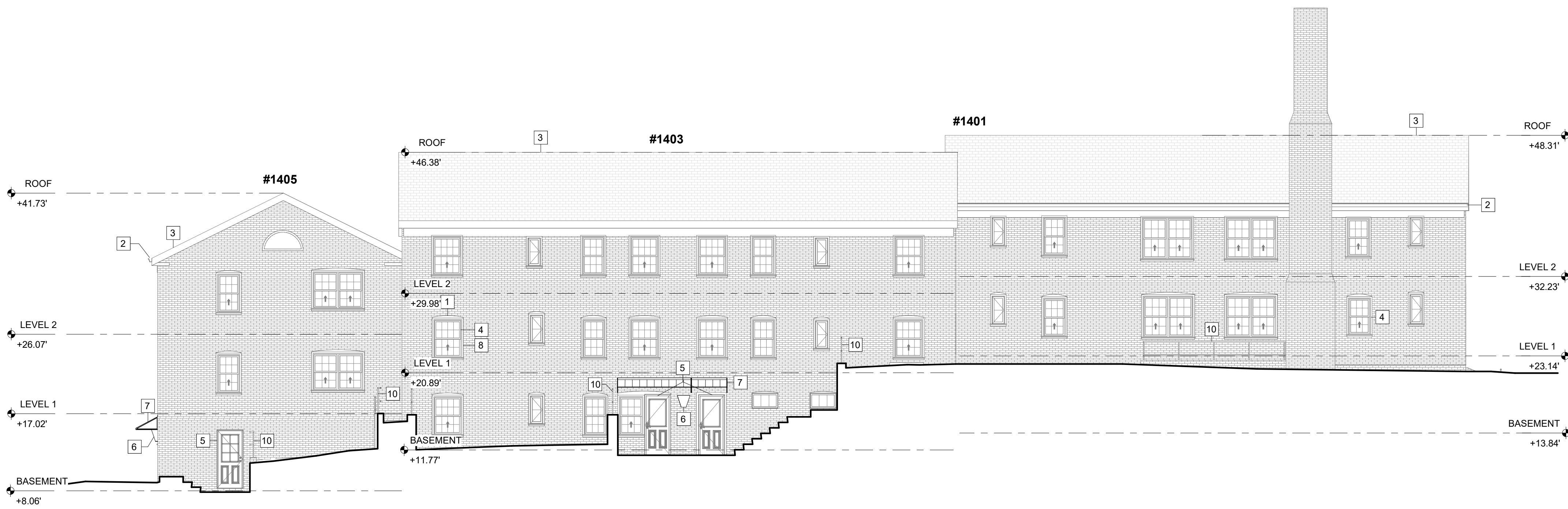
DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 22 - TYPICAL PLAN

A2



1 BLDG 22 - ELEVATION A  
A3 1/8" = 1'-0"  
ASE: 154.37'



2 BLDG 22 - ELEVATION B  
A3 1/8" = 1'-0"  
ASE: 154.37'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS, POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**KEYED NEW WORK ELEVATION NOTES**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
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| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTERNS; SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD;</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;</li> <li>10. PAINT EXISTING RAILING;</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD. SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;</li> </ol> |
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**\*NOTE:**  
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

CLIENT  
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CONTRACTOR  
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**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 22 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A3

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
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CONV  
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TYSONS, VA 22102  
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**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

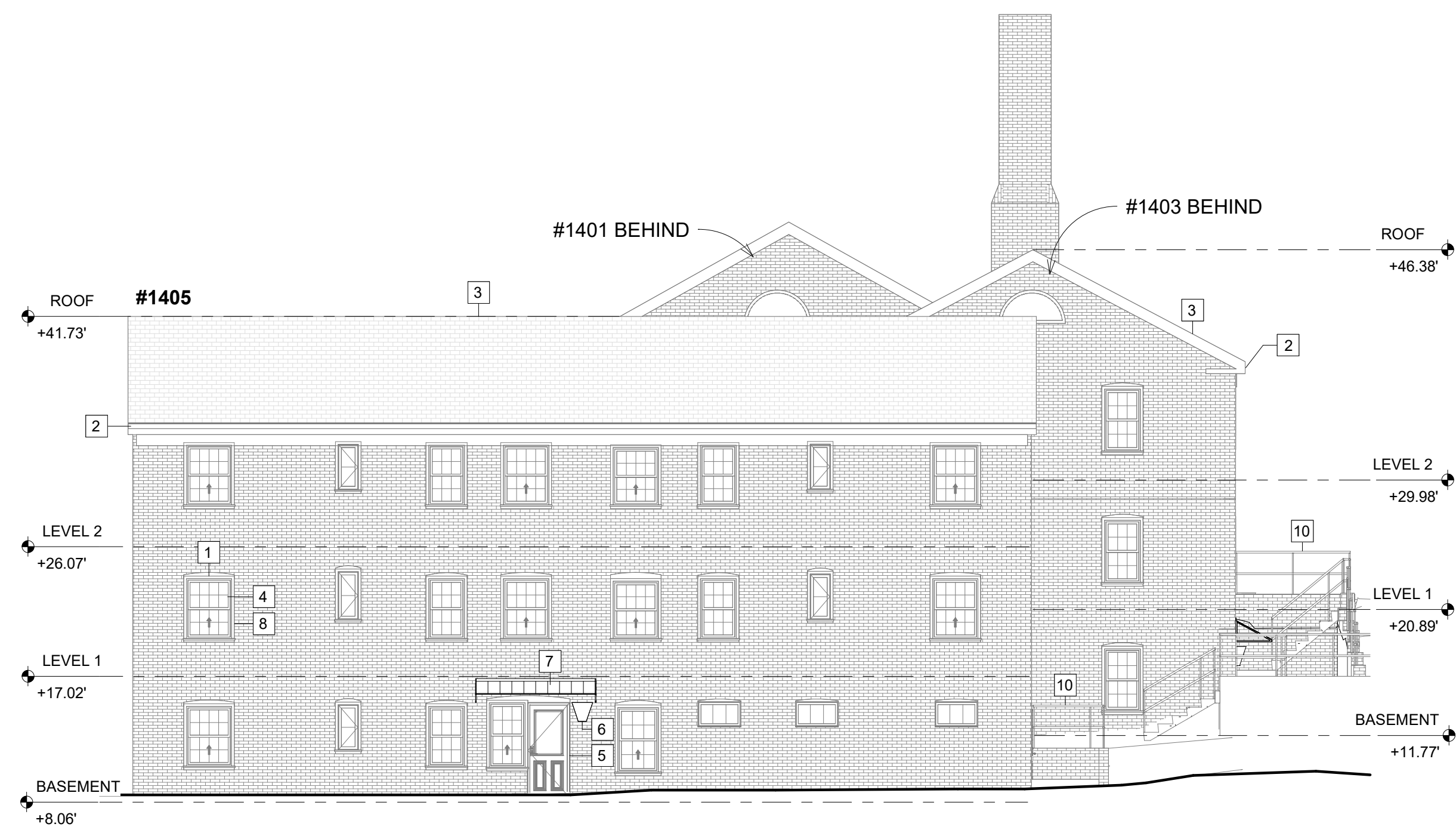
1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

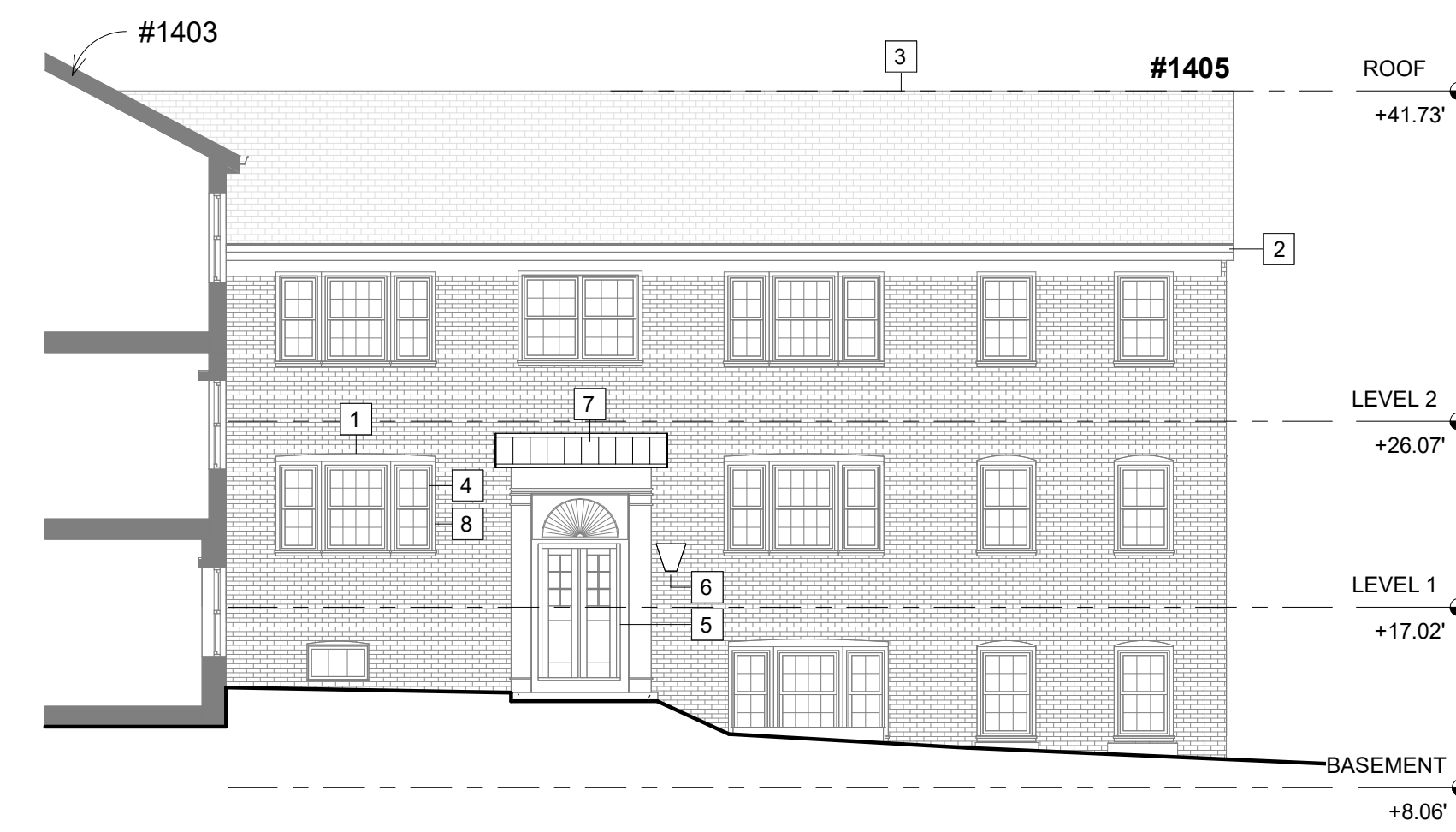
BUILDING 22 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A4



1 BLDG 22 - ELEVATION C  
A4 1/8" = 1'-0"  
ASE: 154.37'



2 BLDG 22 - ELEVATION D  
A4 1/8" = 1'-0"  
ASE: 154.37'

**GENERAL NEW WORK ELEVATION NOTES**

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**KEYED NEW WORK ELEVATION NOTES**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
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**BARCORFT - PHASE 1  
USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

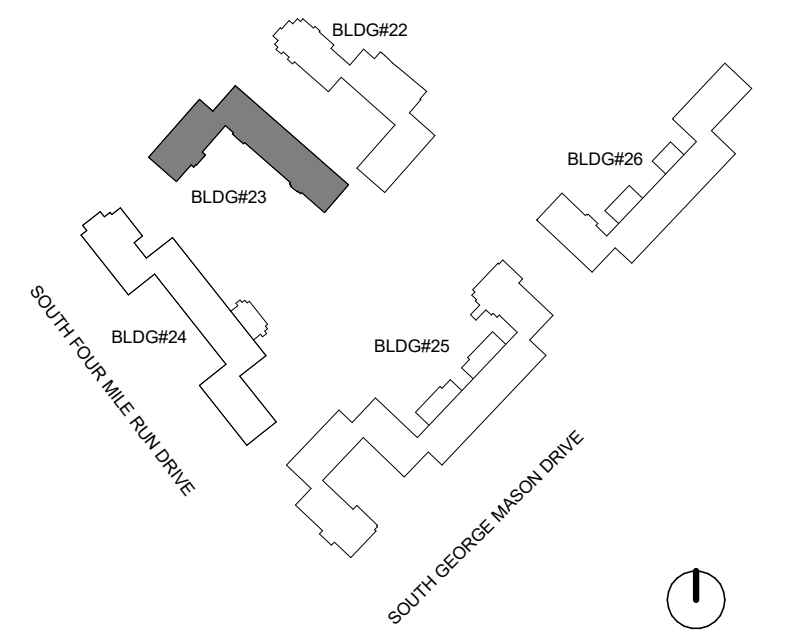
1 USE PERMIT 04/25/23

DATE: 04/10/23

PROJECT NO: 2022-054

DRAWN BY: EOP / AL

CHECKED BY: MF



**1 BLDG 23 - OVERALL PLAN**  
A5 1/8" = 1'-0"

DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 23 - TYPICAL PLAN

**A5**

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONTRACTOR  
VIKA VIRGINIA, LLC  
8180 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1063 31ST STREET NW  
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(202) 336-6230

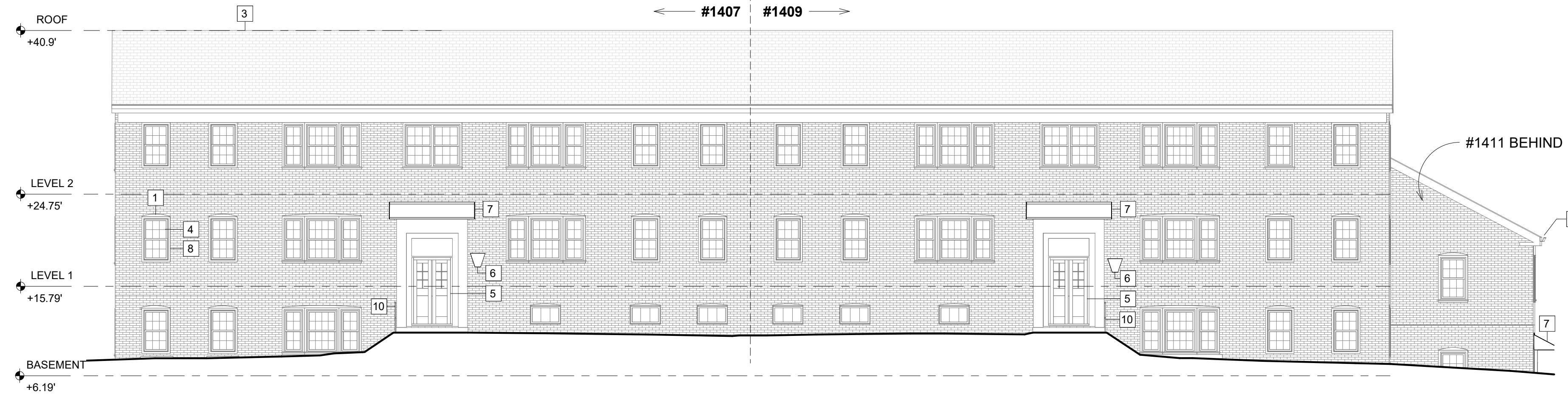
MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-55-93

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

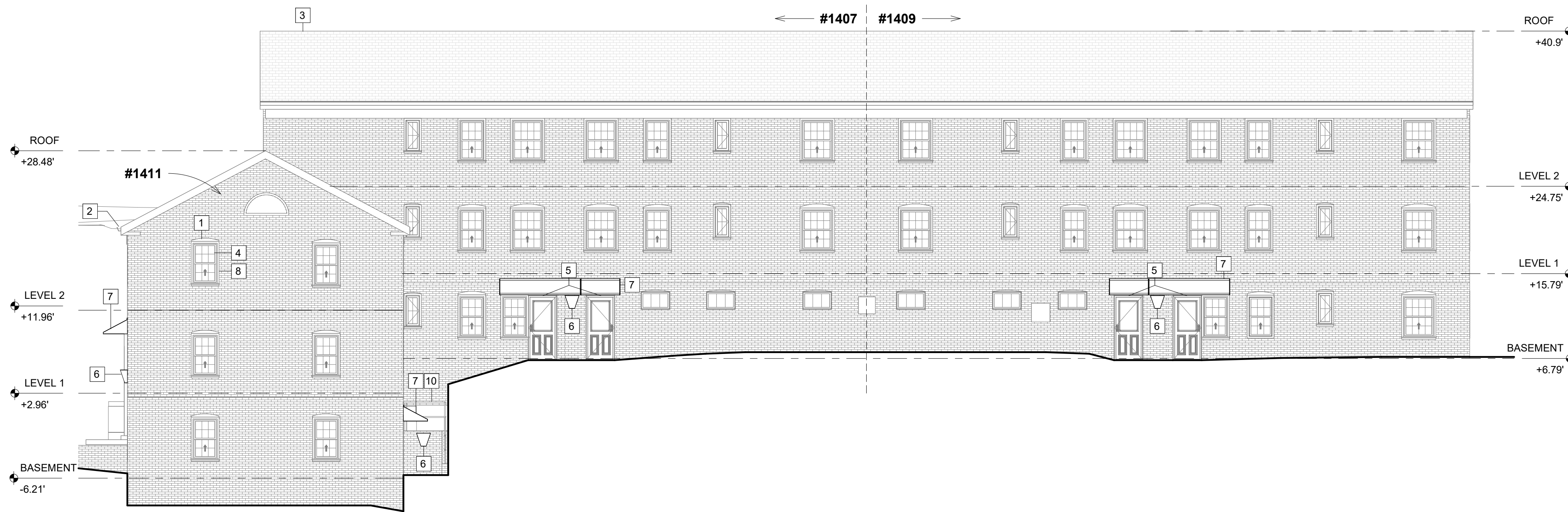
REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF



**1** BLDG 23 - ELEVATION A  
A6  
1/8" = 1'-0"  
ASE: 154.37'



**2** BLDG 23 - ELEVATION B  
A6  
1/8" = 1'-0"  
ASE: 154.37'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
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6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**KEYED NEW WORK ELEVATION NOTES**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
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| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTER; SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD;</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;</li> <li>10. PAINT EXISTING RAILING;</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;</li> </ol> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**\*NOTE:**  
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

DRAWING SET  
NOT FOR CONSTRUCTION

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

OWNER  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1053 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

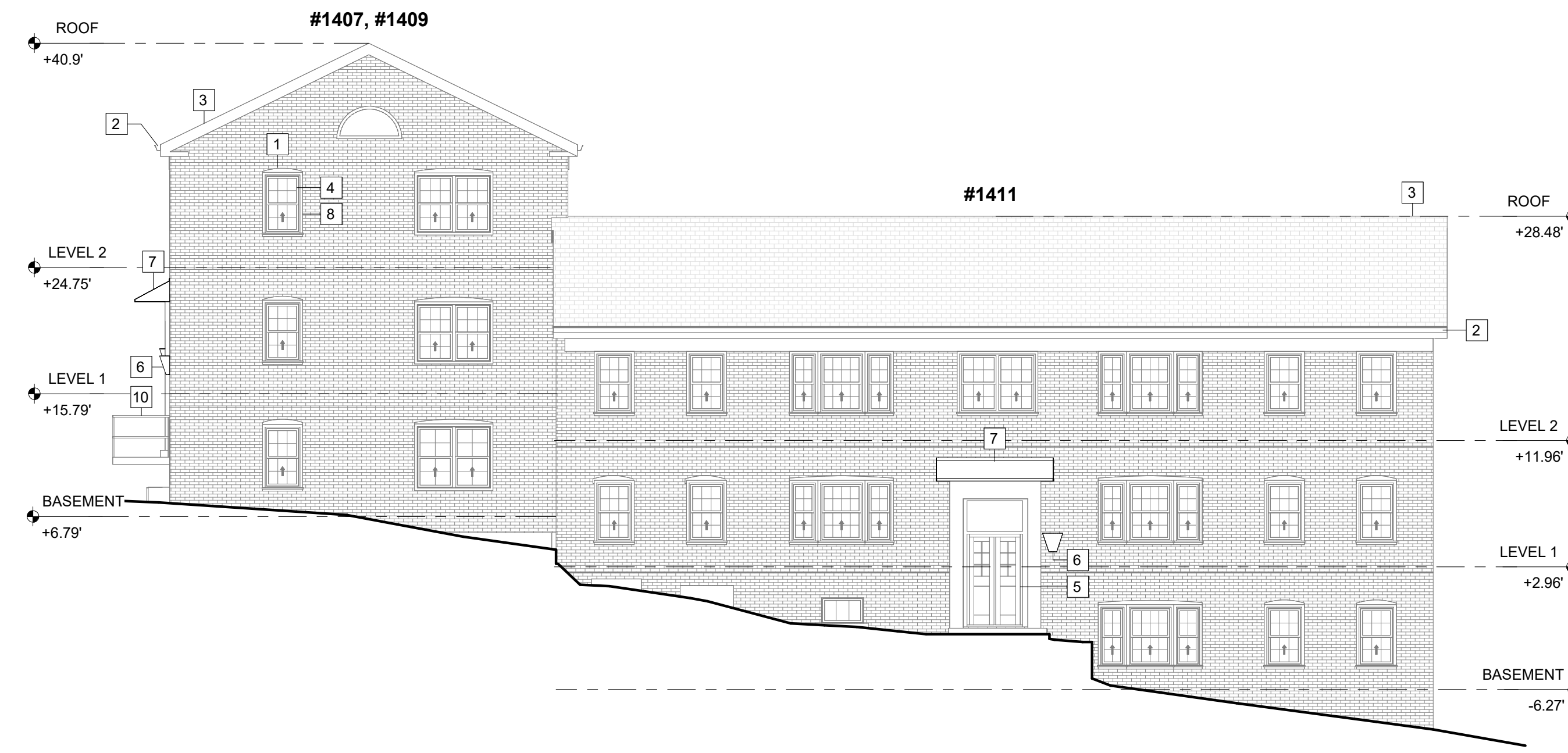
1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 23 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A7



1 BLDG 23 - ELEVATION C  
A7  
1/8" = 1'-0"  
ASE: 154.37'

2 BLDG 23 - ELEVATION D  
A7  
1/8" = 1'-0"  
ASE: 154.37'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS; POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**KEYED NEW WORK ELEVATION NOTES**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
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|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

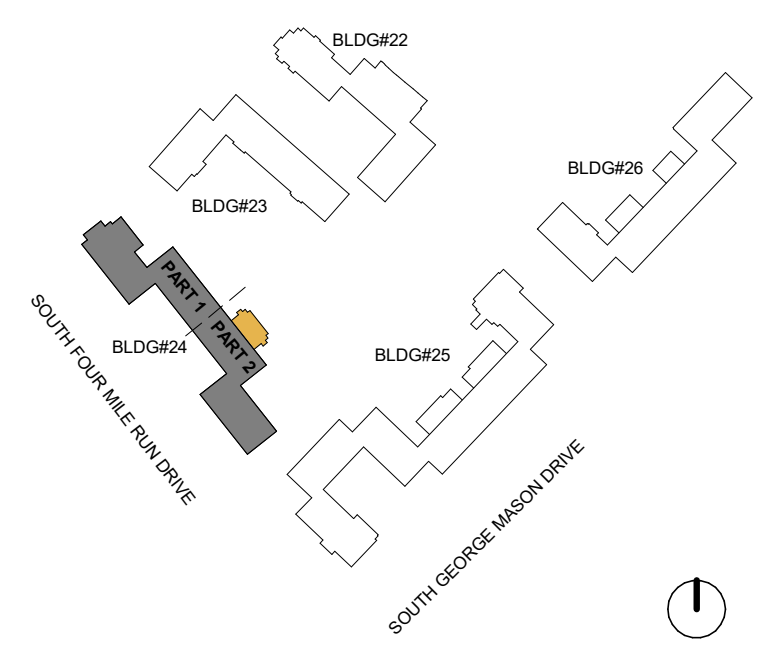
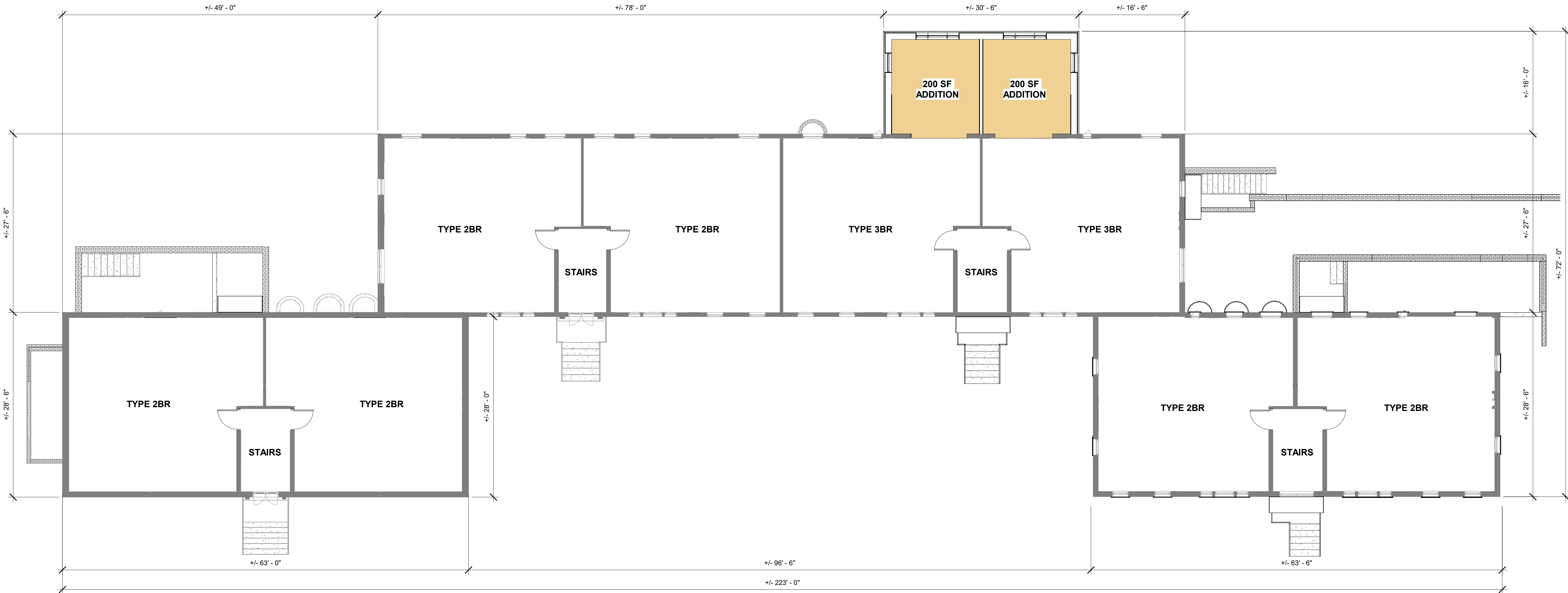
**\*NOTE:**  
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ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.



REVISIONS

1 USE PERMIT 04/25/23

DATE: 04/10/23  
PROJECT NO.: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF



1 BLDG 24 - OVERALL PLAN  
A8 1/8" = 1'-0"

DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 24 - TYPICAL PLAN

A8

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONV  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1063 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

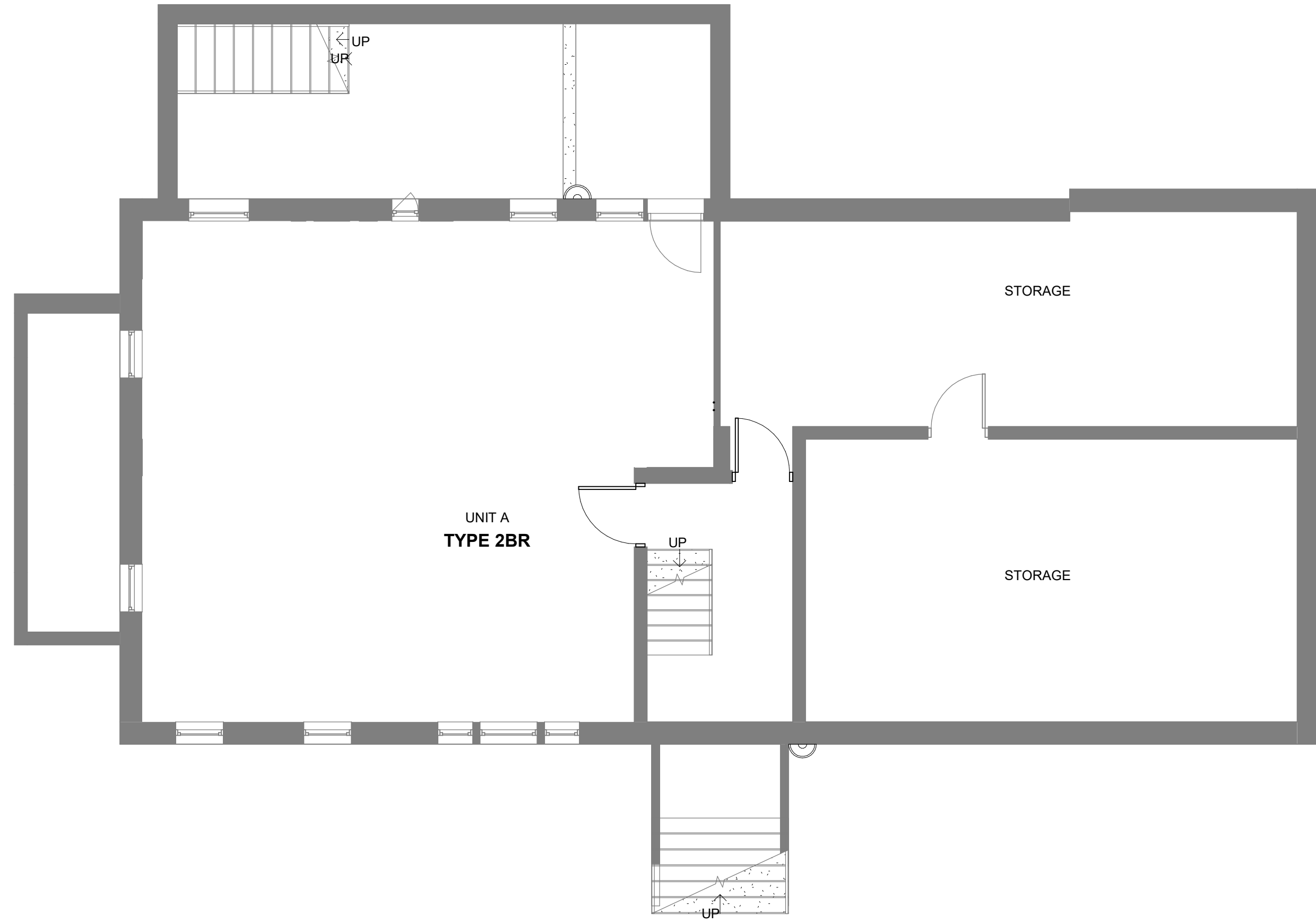
1	SD SUBMISSION	03/15/23
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3	USE PERMIT	04/25/23

DATE: 03/01/23  
PROJECT NO: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF

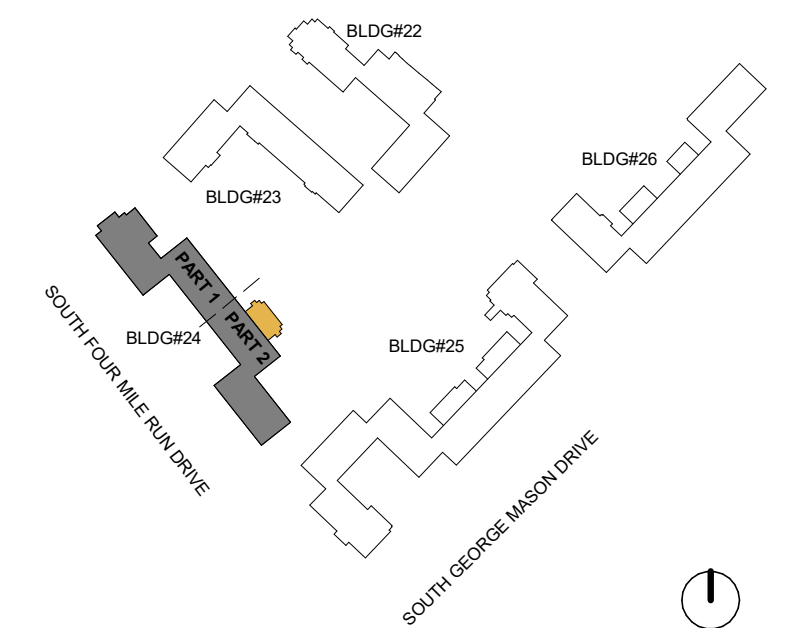
BUILDING 24 - BASEMENT PLAN

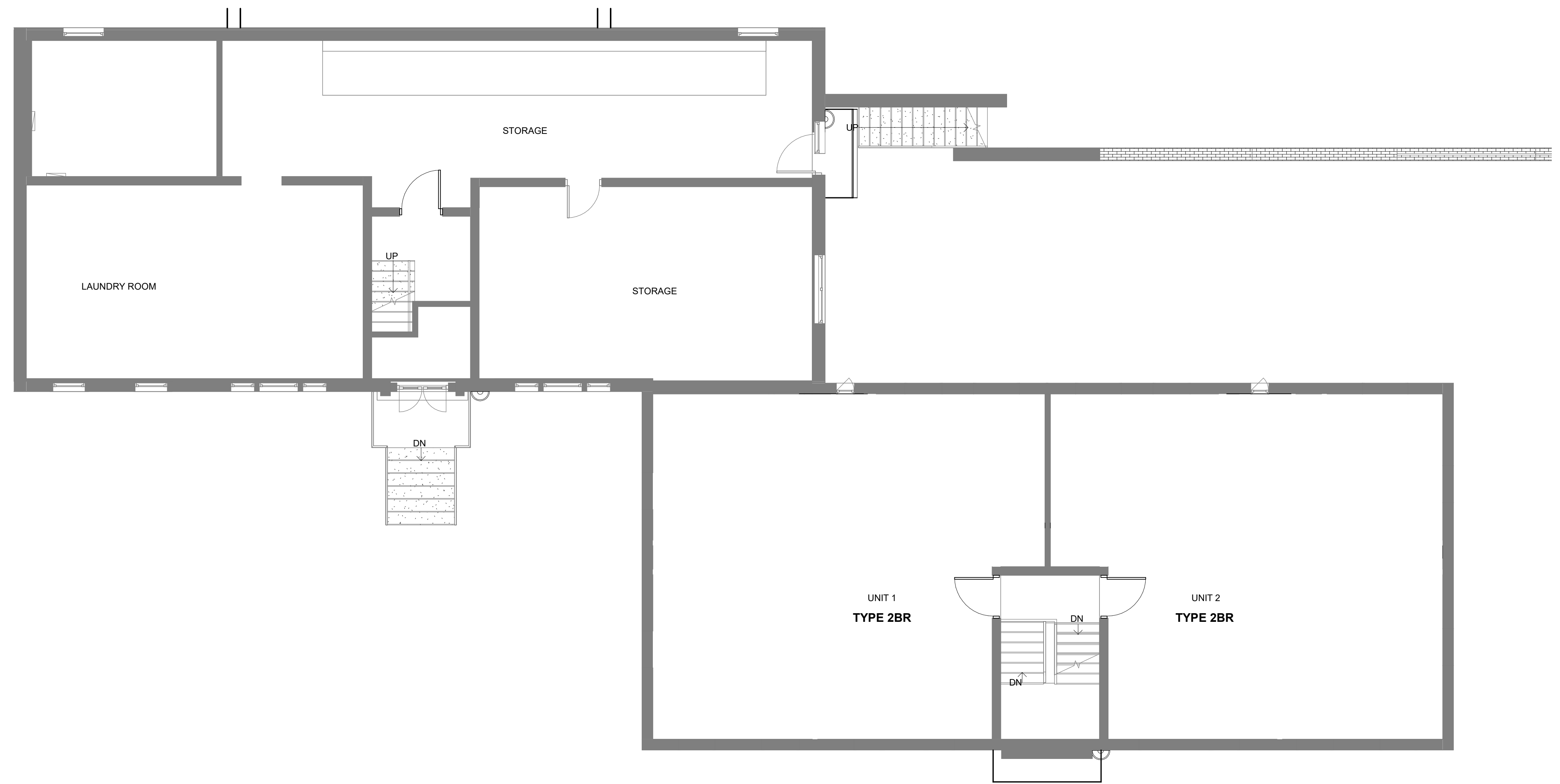
DRAWING SET  
NOT FOR CONSTRUCTION

A9

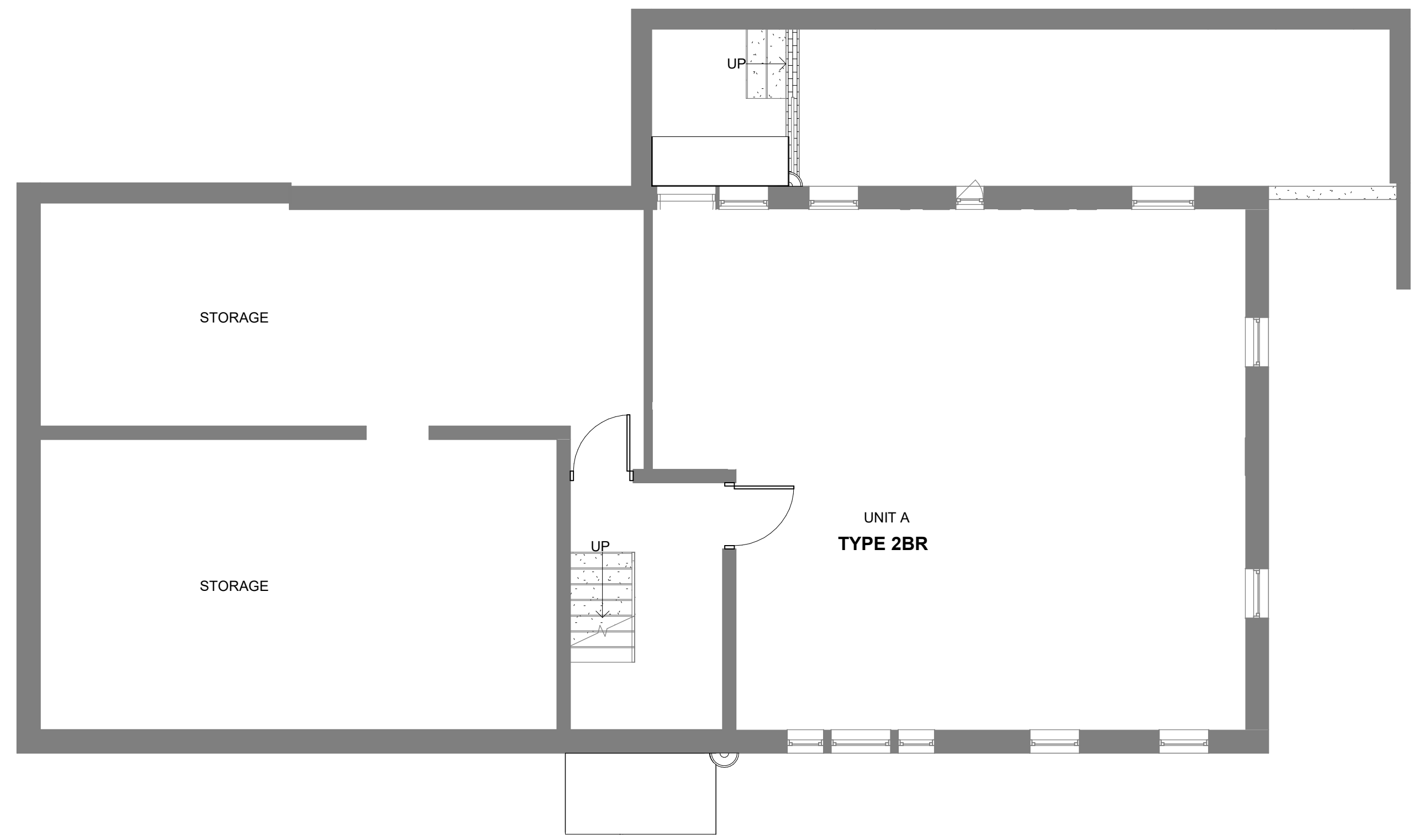


1 BLDG 24 - BASEMENT - PART 1  
A9 3/16" = 1'-0"

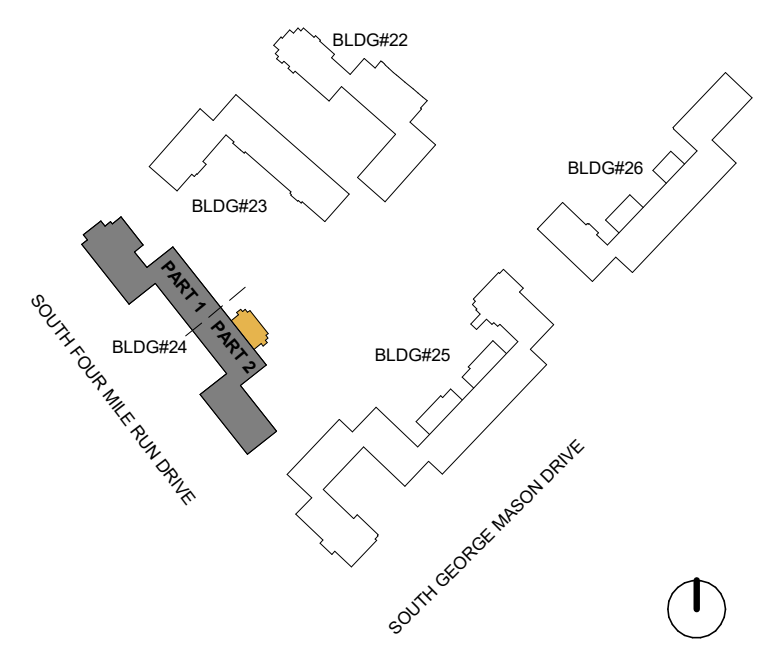




1 BLDG 24 - BASEMENT - PART 2  
A10 3/16" = 1'-0"



2 BLDG 24 - BASEMENT 2  
A10 3/16" = 1'-0"



CLIENT  
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1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

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VIKA VIRGINIA, LLC  
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SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1053 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

M/E/P  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE: 03/01/23  
PROJECT NO.: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF

BUILDING 24 - BASEMENT PLAN

DRAWING SET  
NOT FOR CONSTRUCTION

A10

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONV  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1053 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

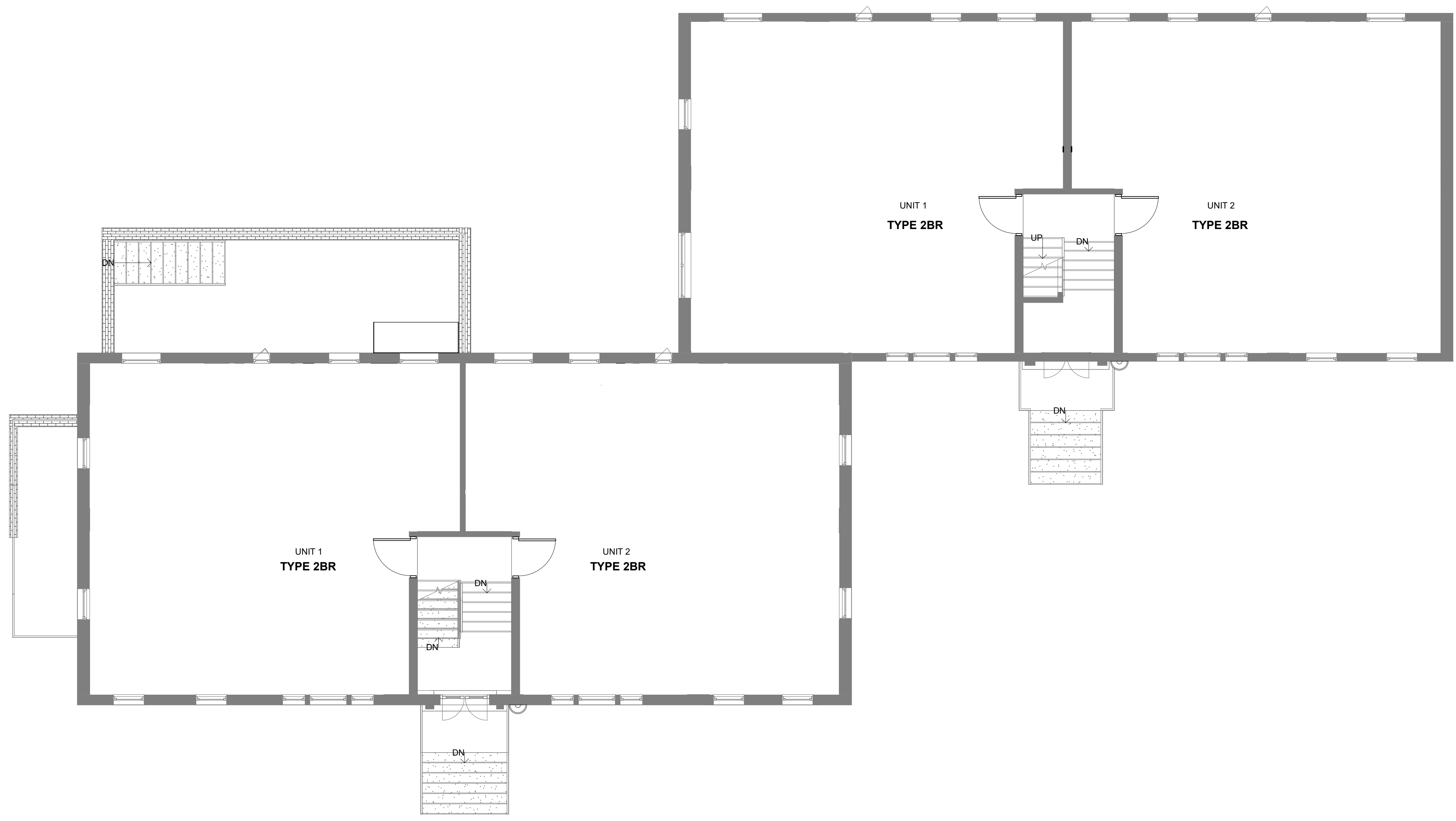
MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

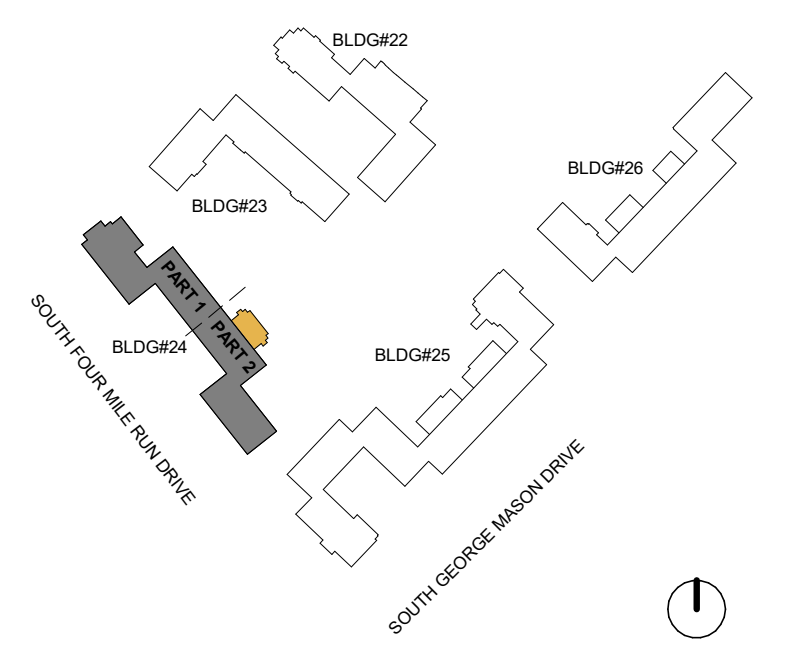
REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE: 03/01/23  
PROJECT NO: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF



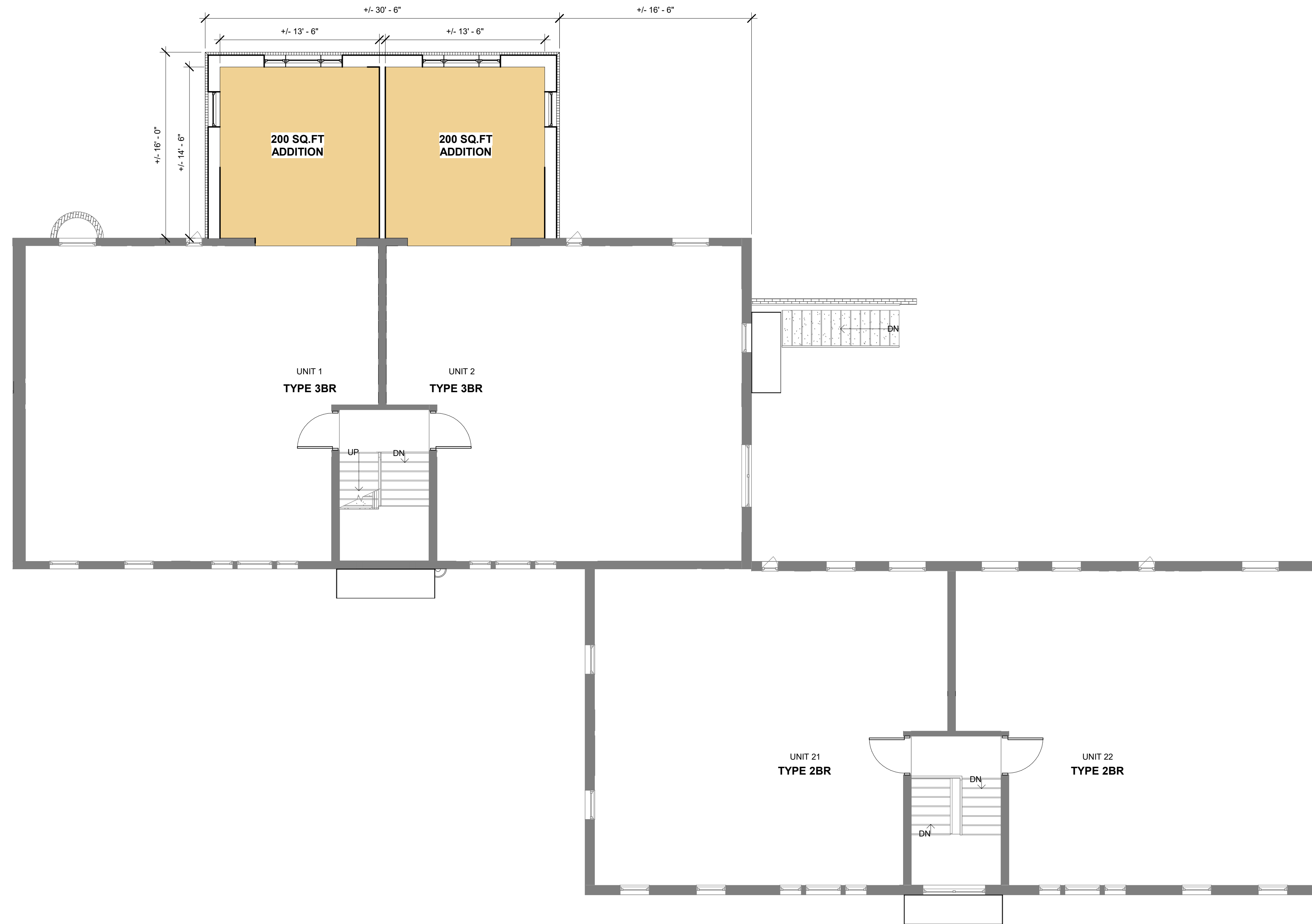
1 BLDG 24 - FIRST FLOOR PLAN - PART 1  
A11 3/16" = 1'-0"



DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 24 - FIRST FLOOR PLAN

**A11**



CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONTRACTOR  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

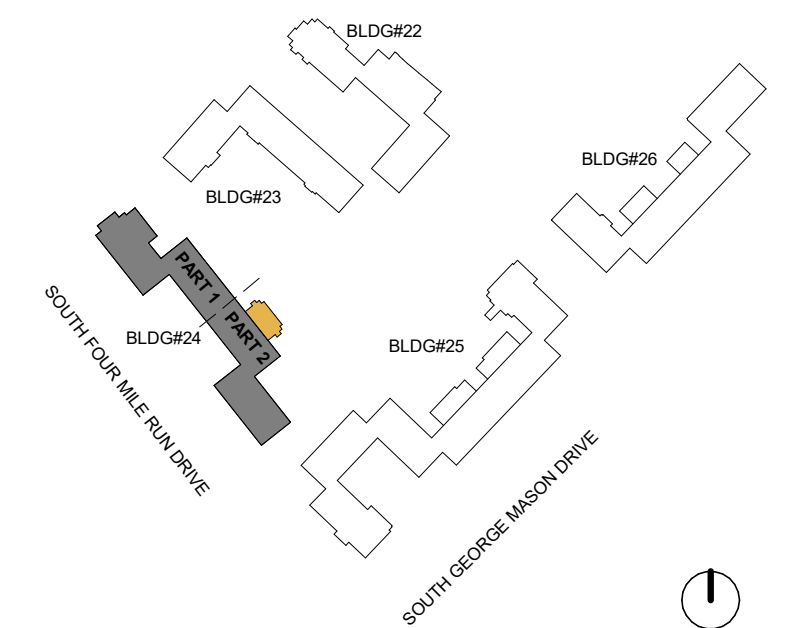
STRUCTURAL  
SILMAN & ASSOCIATES  
1053 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6200

MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

1 BLDG 24 - FIRST FLOOR PLAN - PART 2  
A12 3/16" = 1'-0"

REVISIONS		
1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

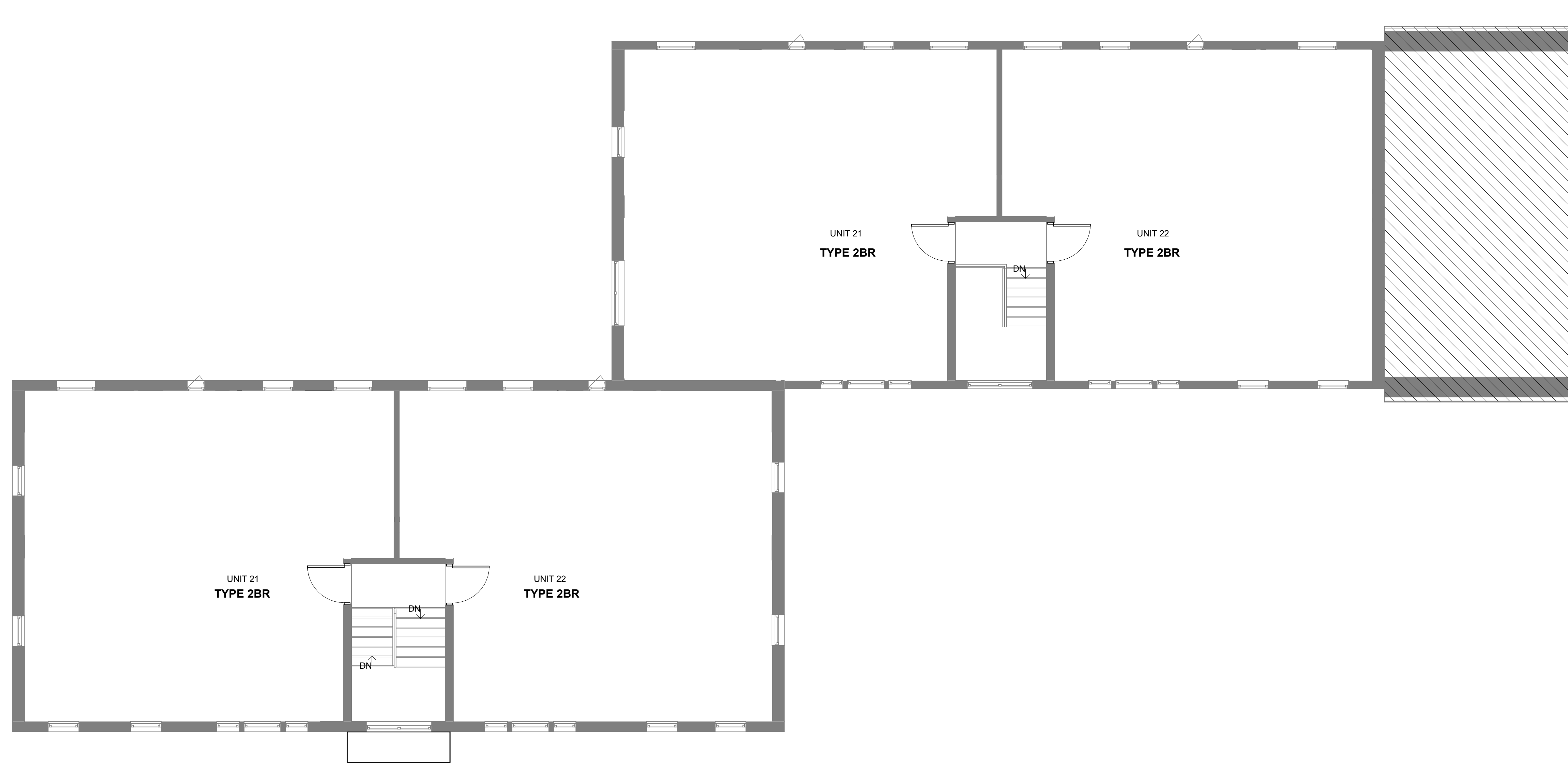


DATE: 03/01/23  
PROJECT NO.: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF

BUILDING 24 - FIRST FLOOR PLAN

DRAWING SET  
NOT FOR CONSTRUCTION

A12



1 BLDG 24 - SECOND FLOOR PLAN - PART 1  
A13 3/16" = 1'-0"

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONV  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

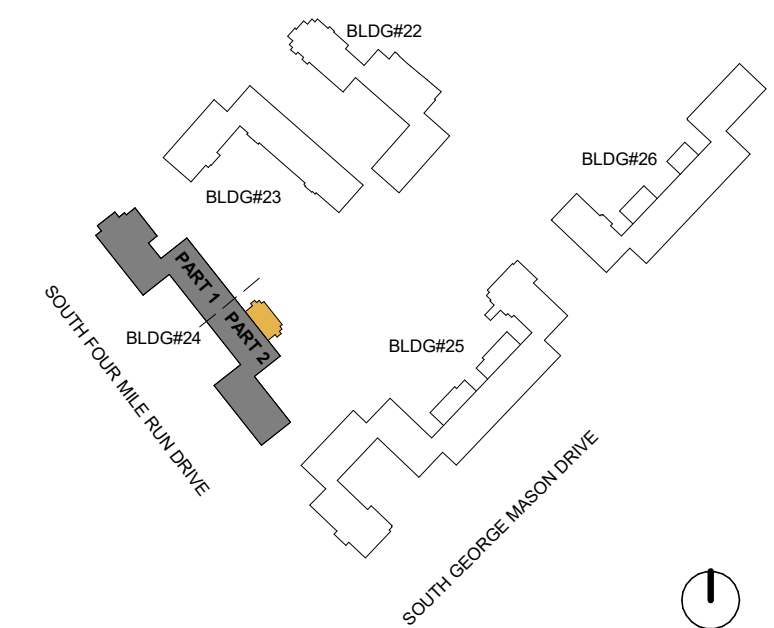
STRUCTURAL  
SILMAN & ASSOCIATES  
1053 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6200

MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

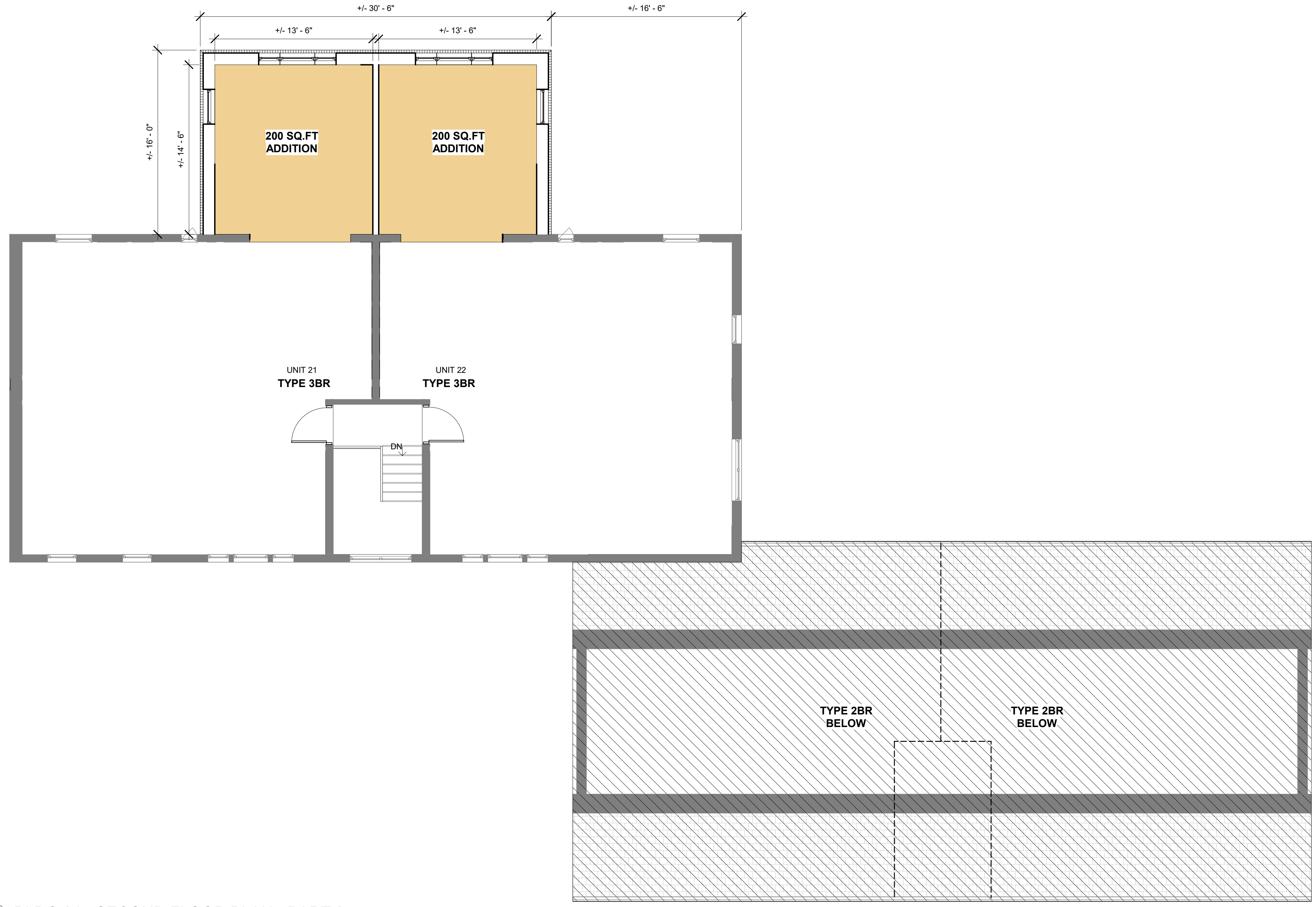
REVISIONS		
1	SD SUBMISSION	03/15/23
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3	USE PERMIT	04/25/23

DATE: 03/01/23  
PROJECT NO.: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF



BUILDING 24 - SECOND FLOOR PLAN

DRAWING SET  
NOT FOR CONSTRUCTION



1 BLDG 24 - SECOND FLOOR PLAN - PART 2  
A14 3/16" = 1'-0"

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

OWNER  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

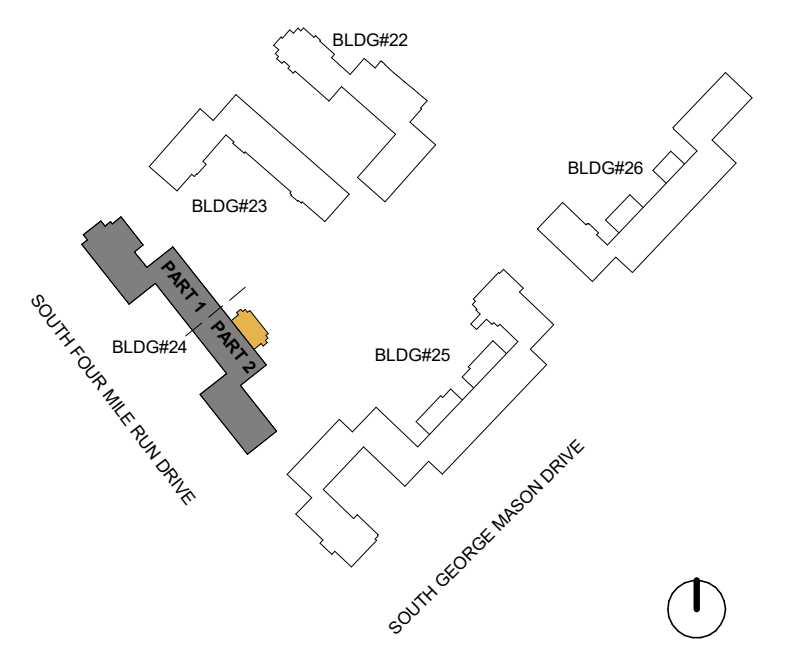
STRUCTURAL  
SILMAN & ASSOCIATES  
1053 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
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**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

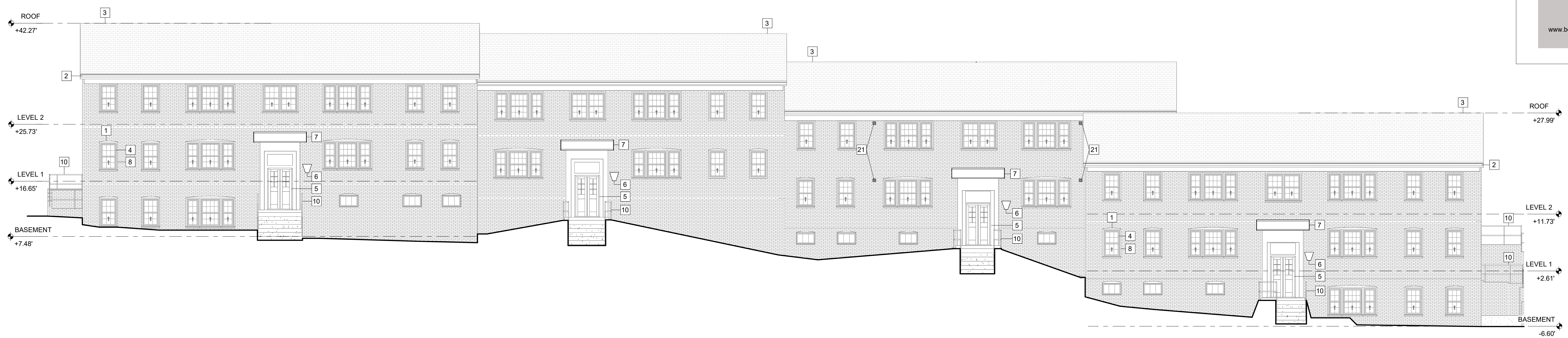
REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

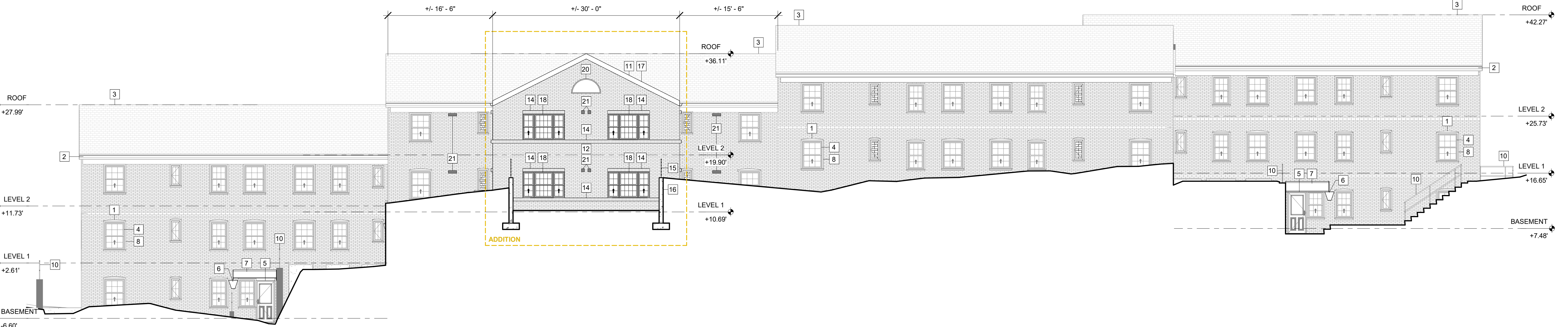


DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

DRAWING SET NOT FOR CONSTRUCTION	BUILDING 24 - SECOND FLOOR PLAN
	<b>A14</b>



**1 BLDG 24 - ELEVATION A**  
1/8" = 1'-0"  
ASE: 112.31'



**2 BLDG 24 - ELEVATION B**  
1/8" = 1'-0"  
ASE: 112.31'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
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6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**KEYED NEW WORK ELEVATION NOTES**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTER; SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD;</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;</li> <li>10. PAINT EXISTING RAILING;</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;</li> </ol> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

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ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

- CLIENT
- JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036
- CONTRACTOR
- VIKA VIRGINIA, LLC  
8180 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800
- STRUCTURAL
- SILMAN & ASSOCIATES  
1063 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6200
- MEP
- SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-55-93

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 24 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

**A15**



CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

OWNER  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-78 00

STRUCTURAL  
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**BARCORFT - PHASE 1**  
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ARLINGTON COUNTY, VIRGINIA

REVISIONS

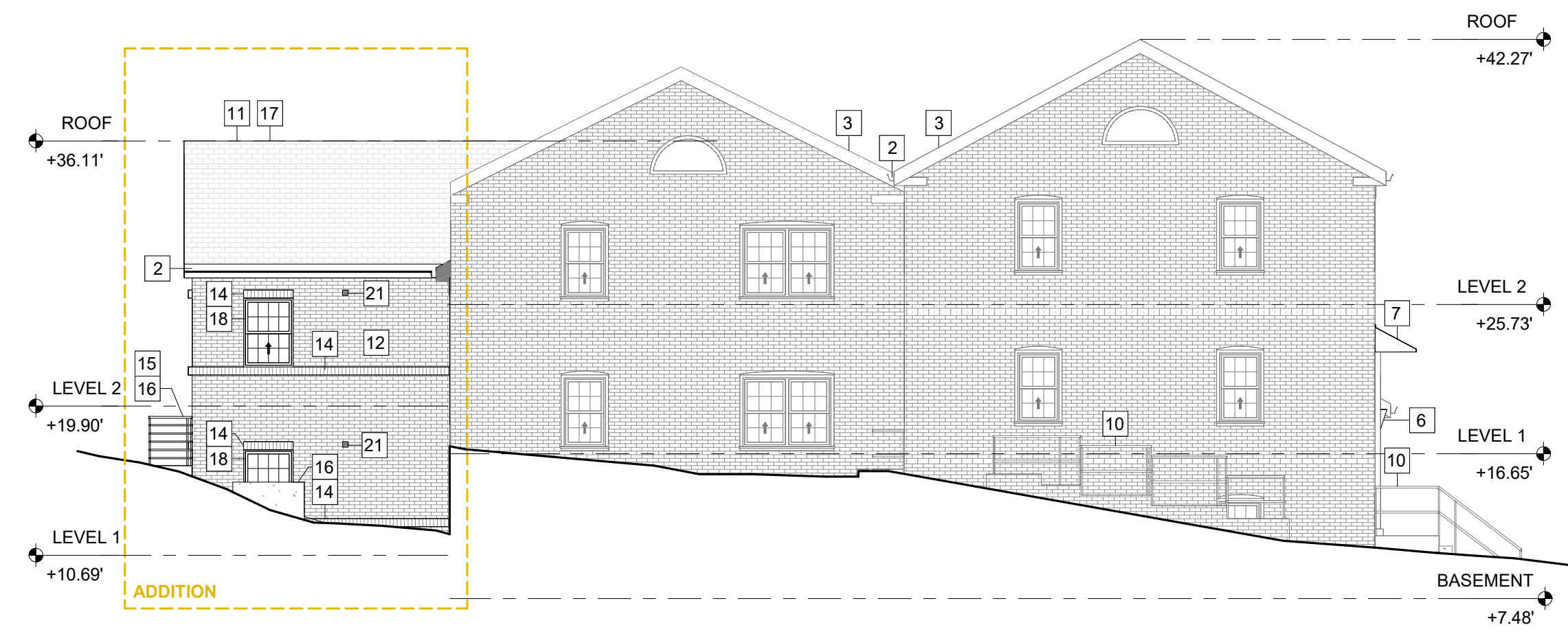
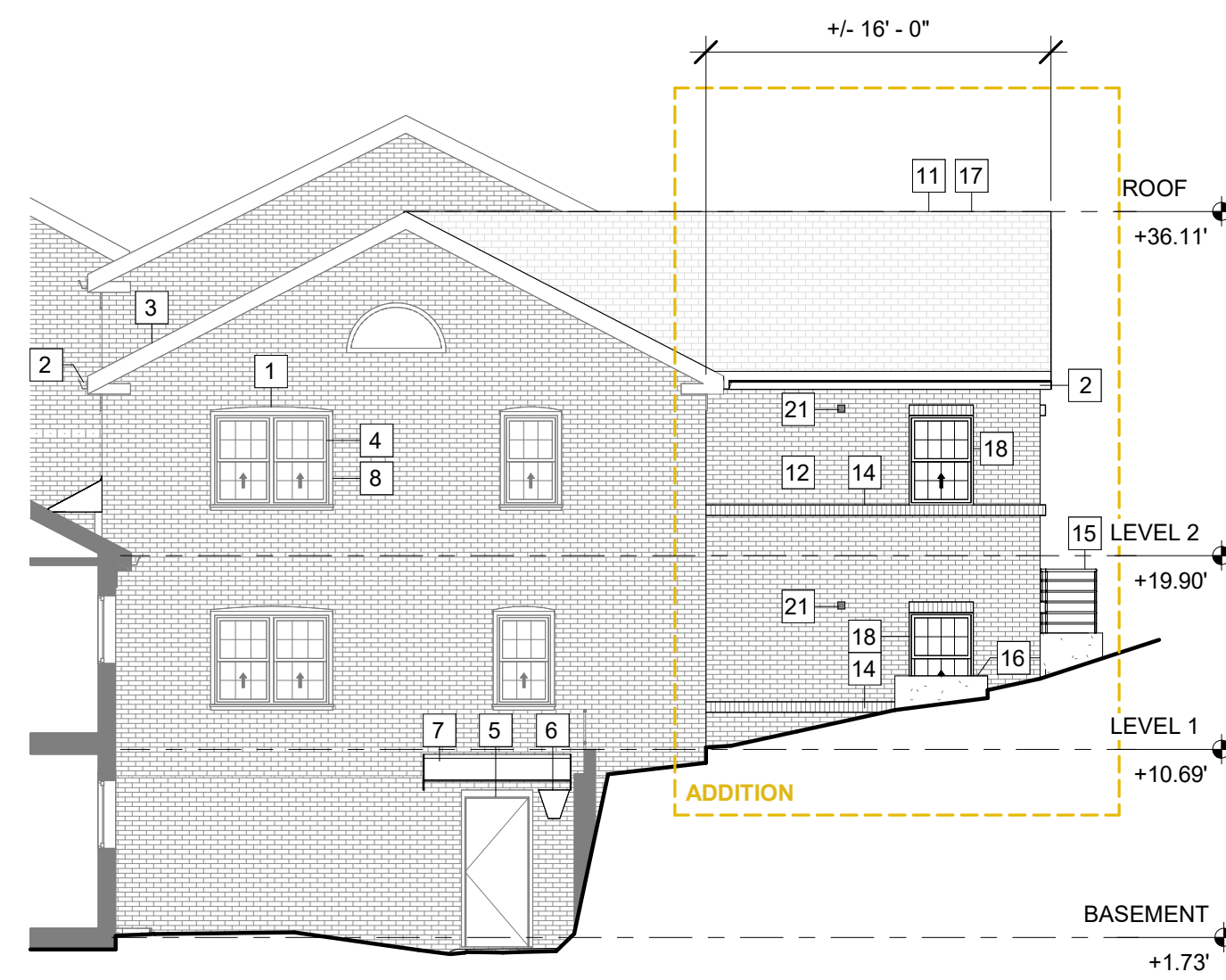
1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 24 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A16



1 BLDG 24 - ELEVATION C  
A16 1/8" = 1'-0"  
ASE: 112.31'

2 BLDG 24 - ELEVATION D  
A16 1/8" = 1'-0"  
ASE: 112.31'

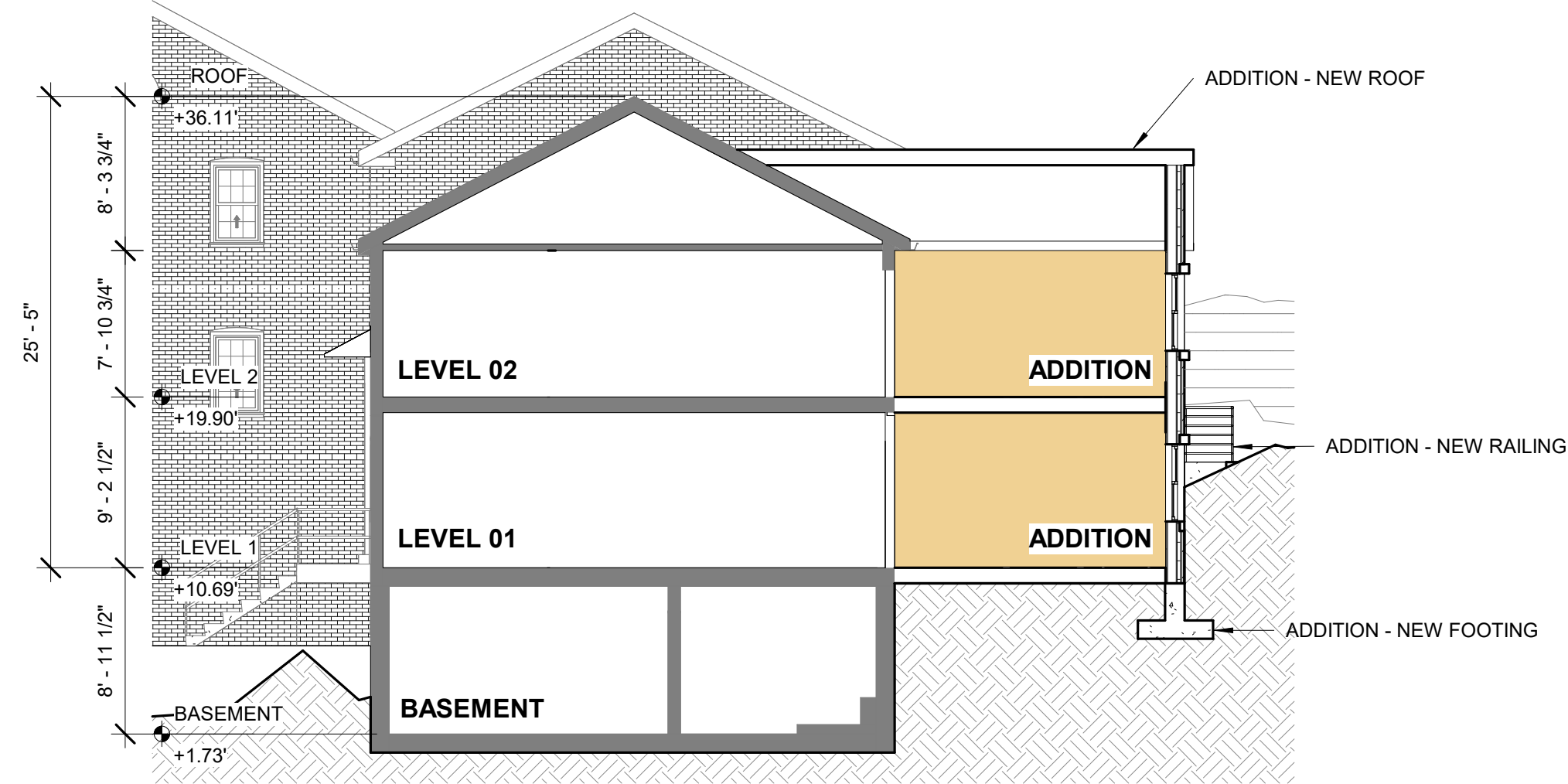
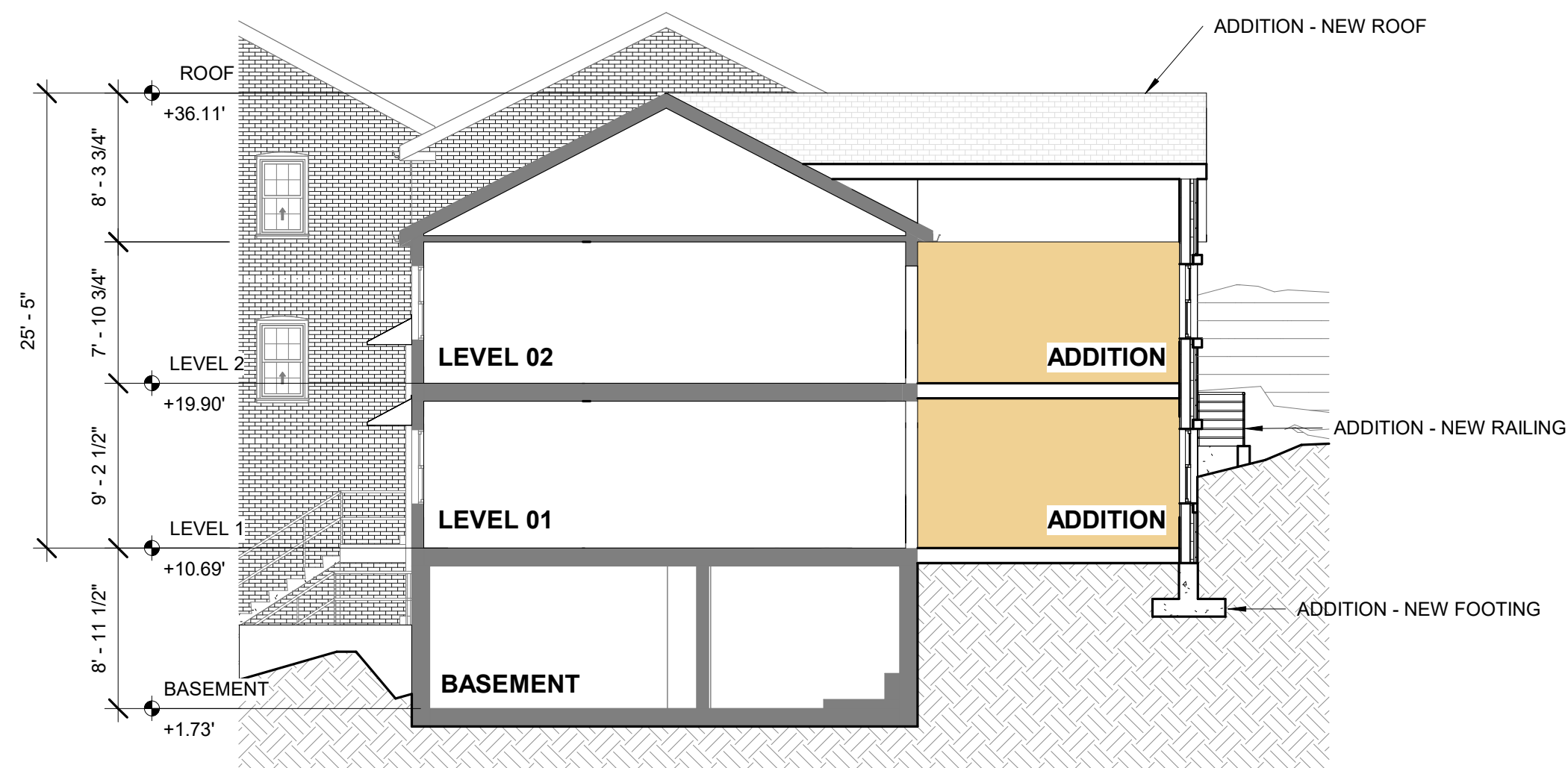
**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM, POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS, POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**\*NOTE:**  
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

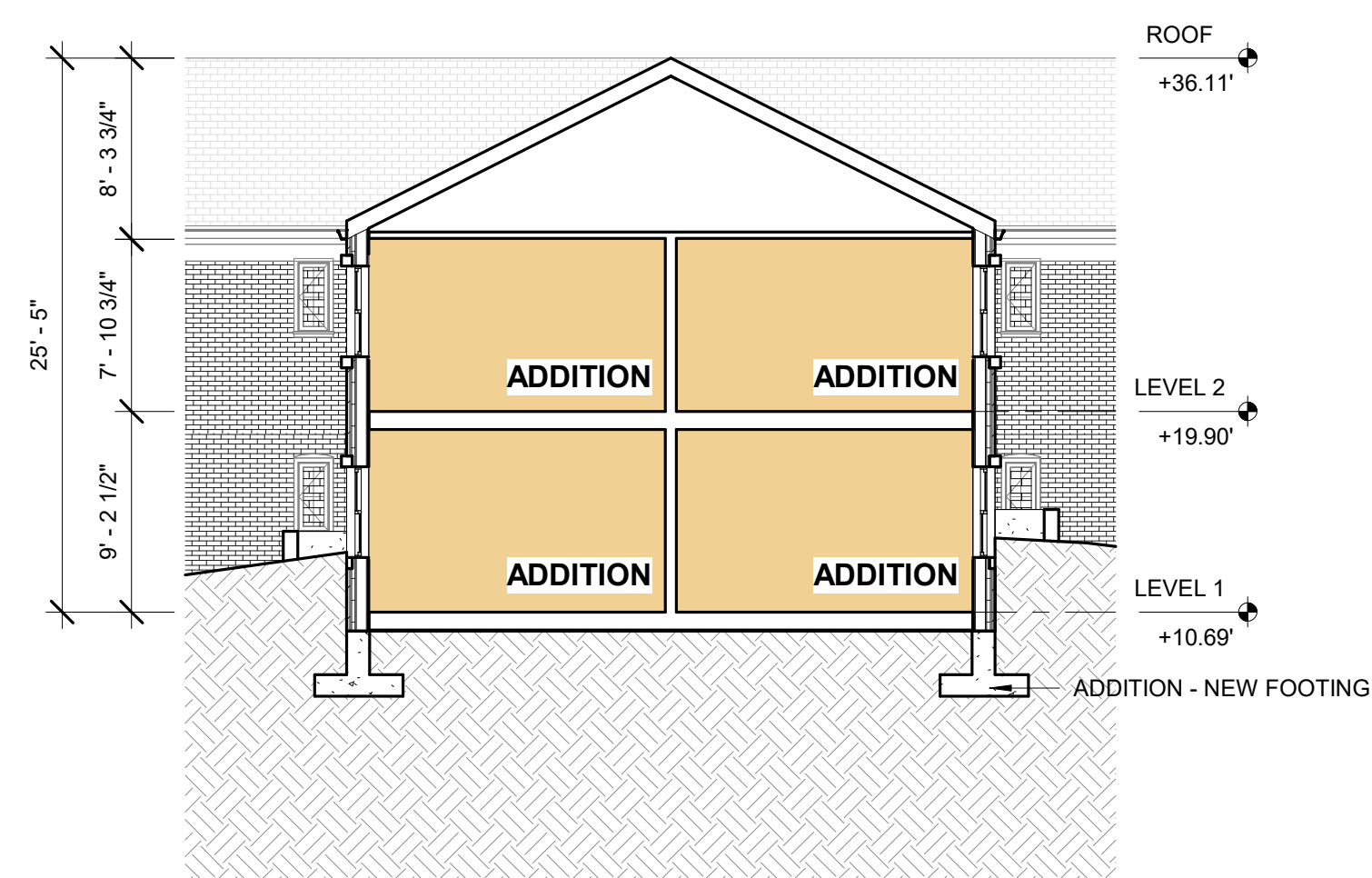
**KEYED NEW WORK ELEVATION NOTES**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTER; SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD;</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;</li> <li>10. PAINT EXISTING RAILING;</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;</li> </ol> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|



1 BUILDING 24 - SECTION A  
A17 1/8" = 1'-0"

2 BUILDING 24 - SECTION B  
A17 1/8" = 1'-0"



3 BUILDING 24 - SECTION C  
A17 1/8" = 1'-0"

\*NOTE:  
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
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ELEVATIONS TO BE VERIFIED IN FIELD.

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONV  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

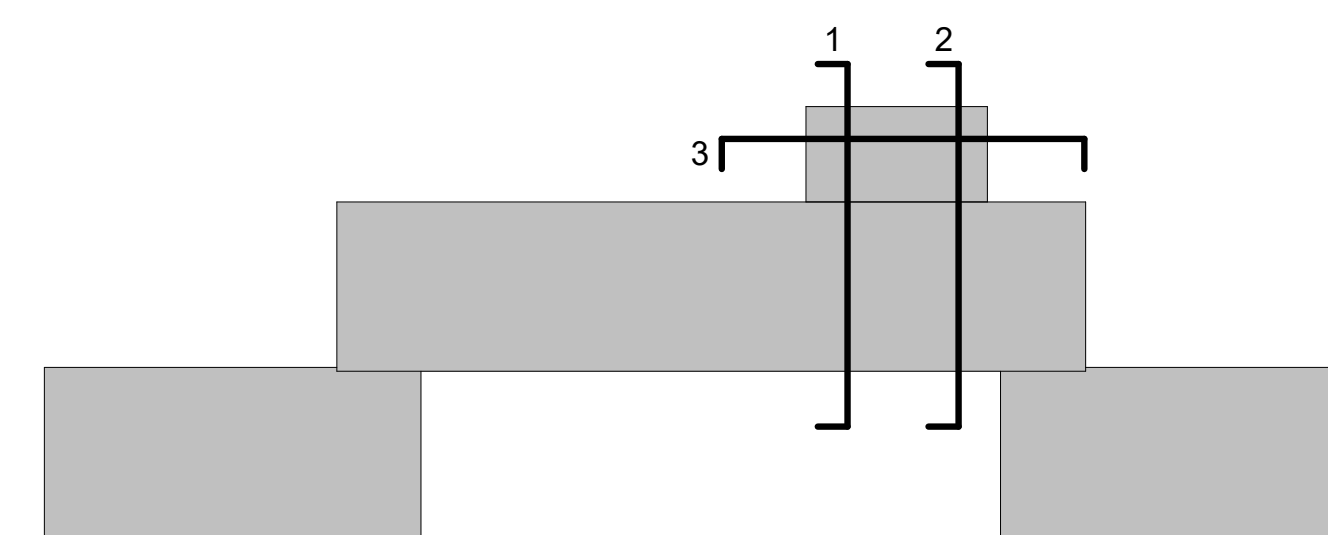
STRUCTURAL  
SILMAN & ASSOCIATES  
1063 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6200

MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS	
1	DD SUBMISSION 04/28/23
2	USE PERMIT 04/25/23

DATE: 04/04/23  
PROJECT NO.: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF



DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 24 - BUILDING SECTION

A17

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONTRACTOR  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
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SILMAN & ASSOCIATES  
1053 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

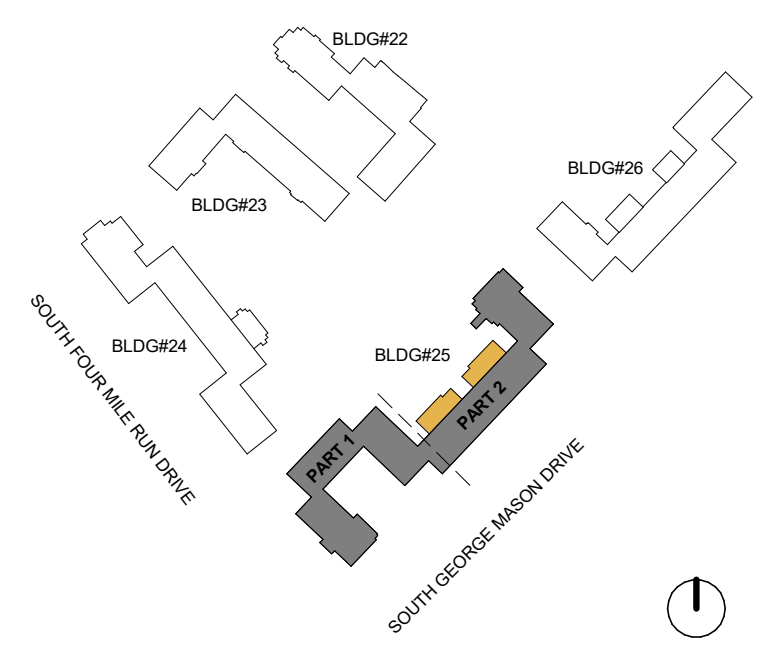
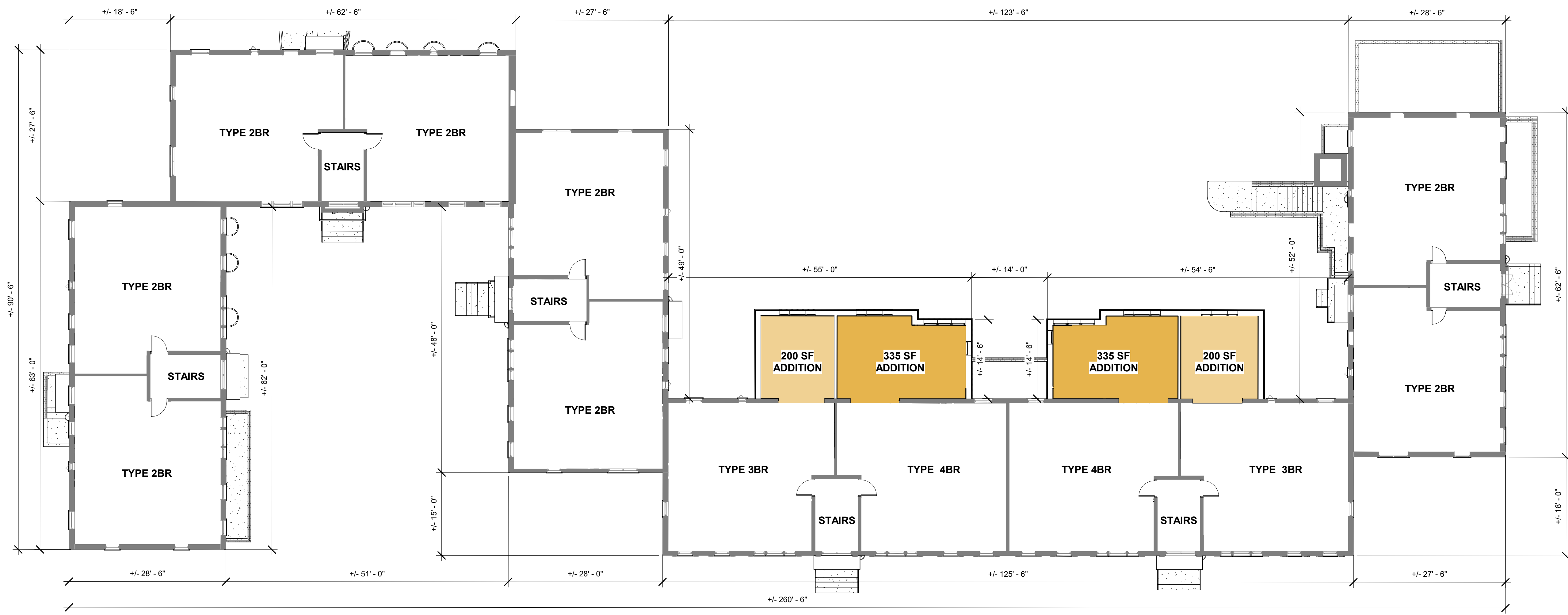
MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1 USE PERMIT 04/25/23

DATE: 04/10/23  
PROJECT NO.: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF

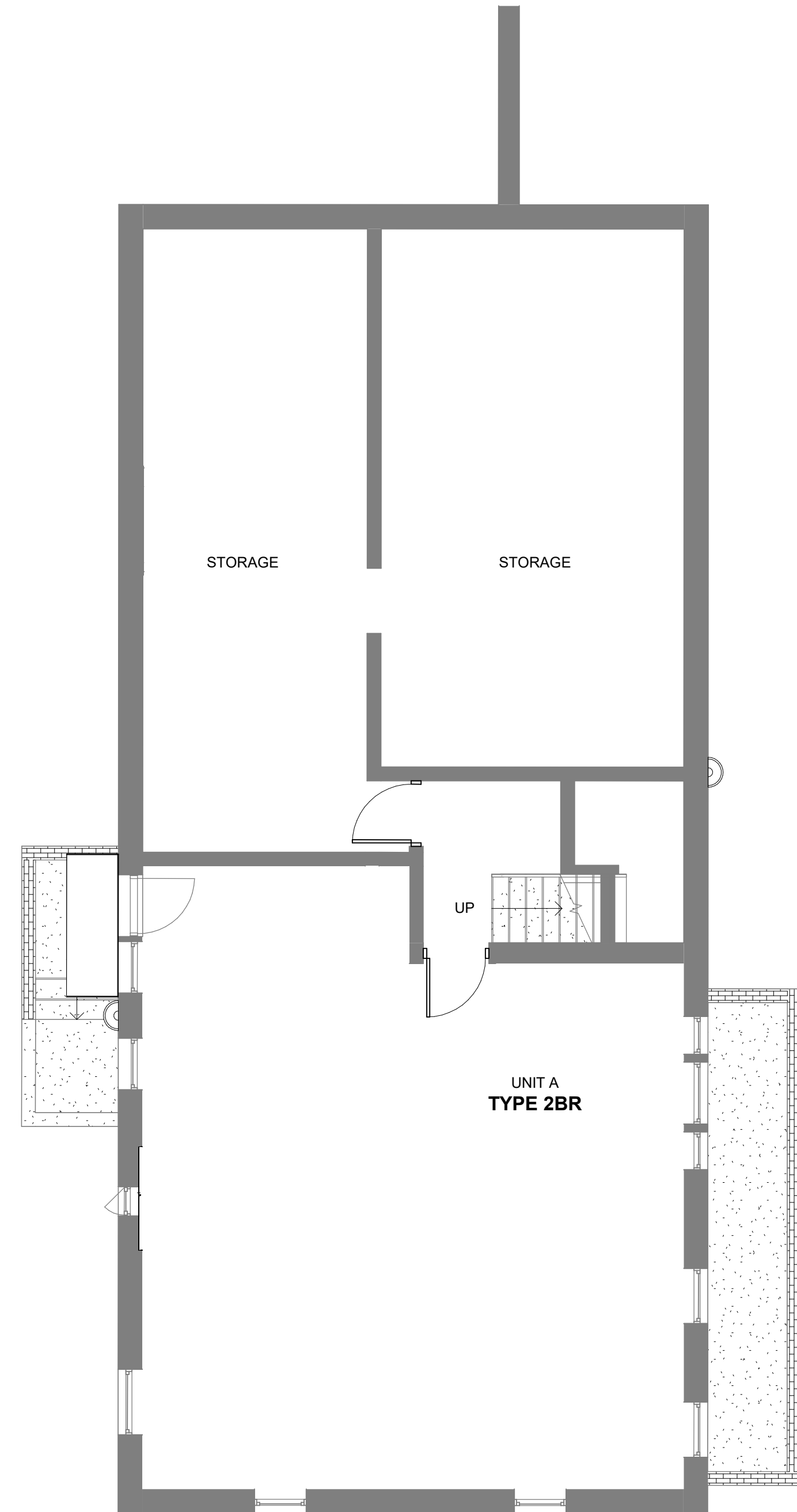


1 BLDG 25 - OVERALL PLAN  
A18 3/32" = 1'-0"

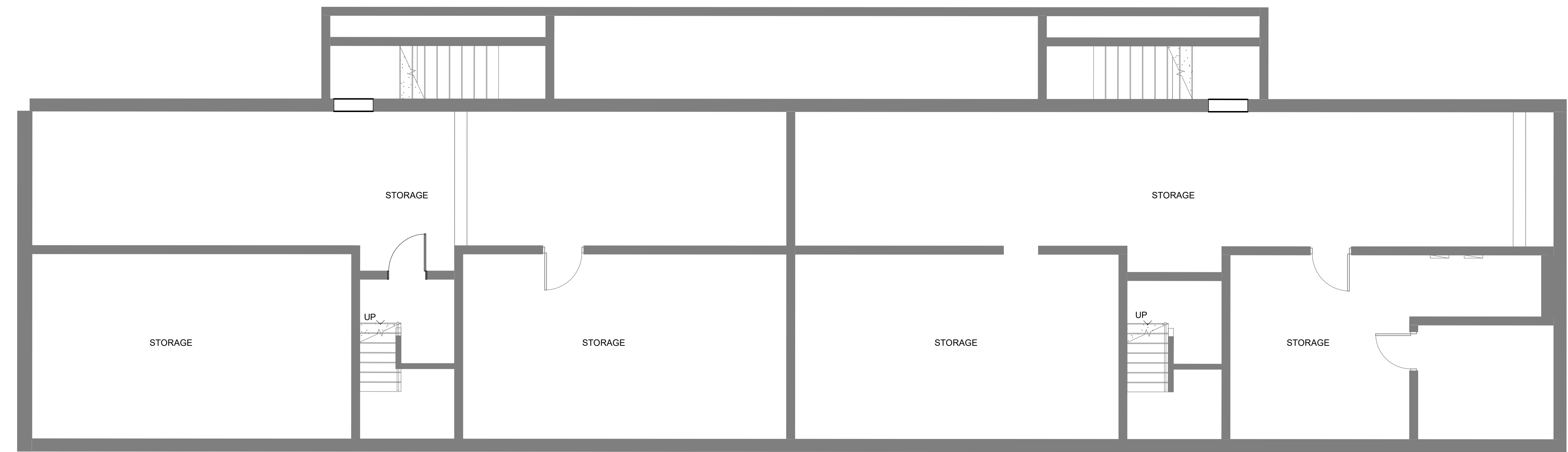
DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 25 - TYPICAL PLAN

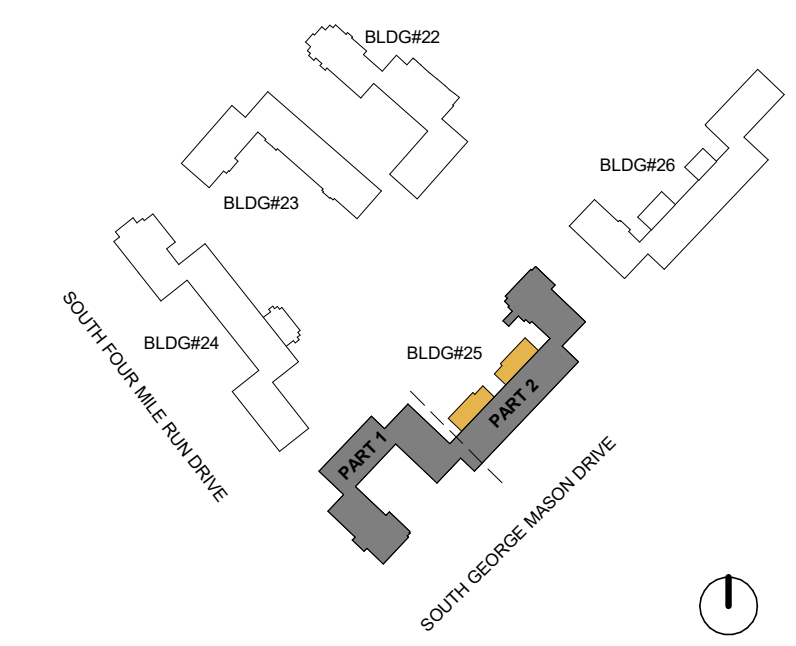
**A18**



1 BLDG 25 - BASEMENT-PART 1  
A19 3/16" = 1'-0"



2 BLDG 25 - BASEMENT-PART 2  
A19 3/16" = 1'-0"



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TYSONS, VA 22102  
(703) 442-7800

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SILMAN & ASSOCIATES  
1063 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

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SUMMIT ENGINEERS  
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**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 25 - BASEMENT PLAN

DRAWING SET  
NOT FOR CONSTRUCTION

A19

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JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

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8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1053 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

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SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-55-93

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

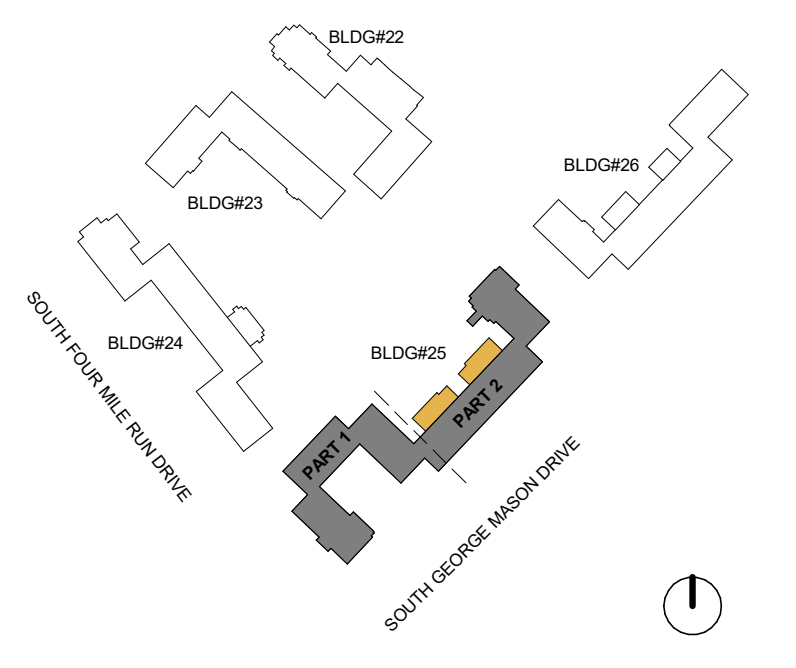
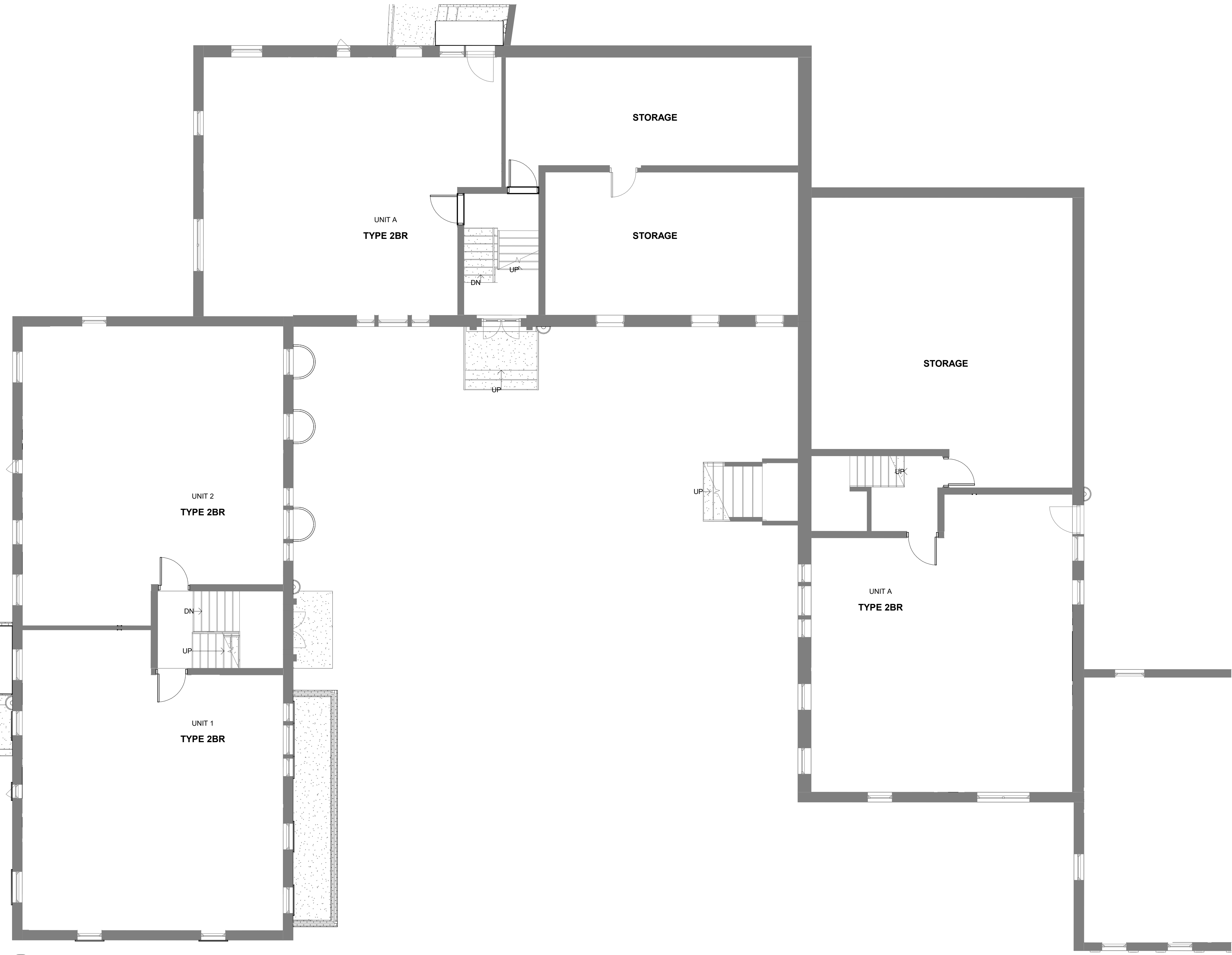
1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

BUILDING 25 - FIRST FLOOR PLAN

DRAWING SET  
NOT FOR CONSTRUCTION

**A20**



1 BLDG 25 - FIRST FLOOR PLAN- PART 1  
A20 3/16" = 1'-0"

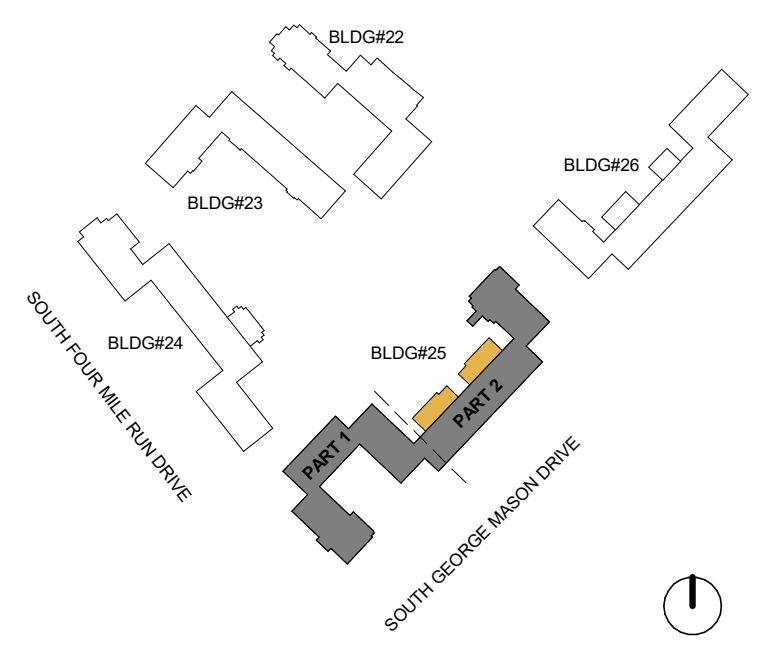
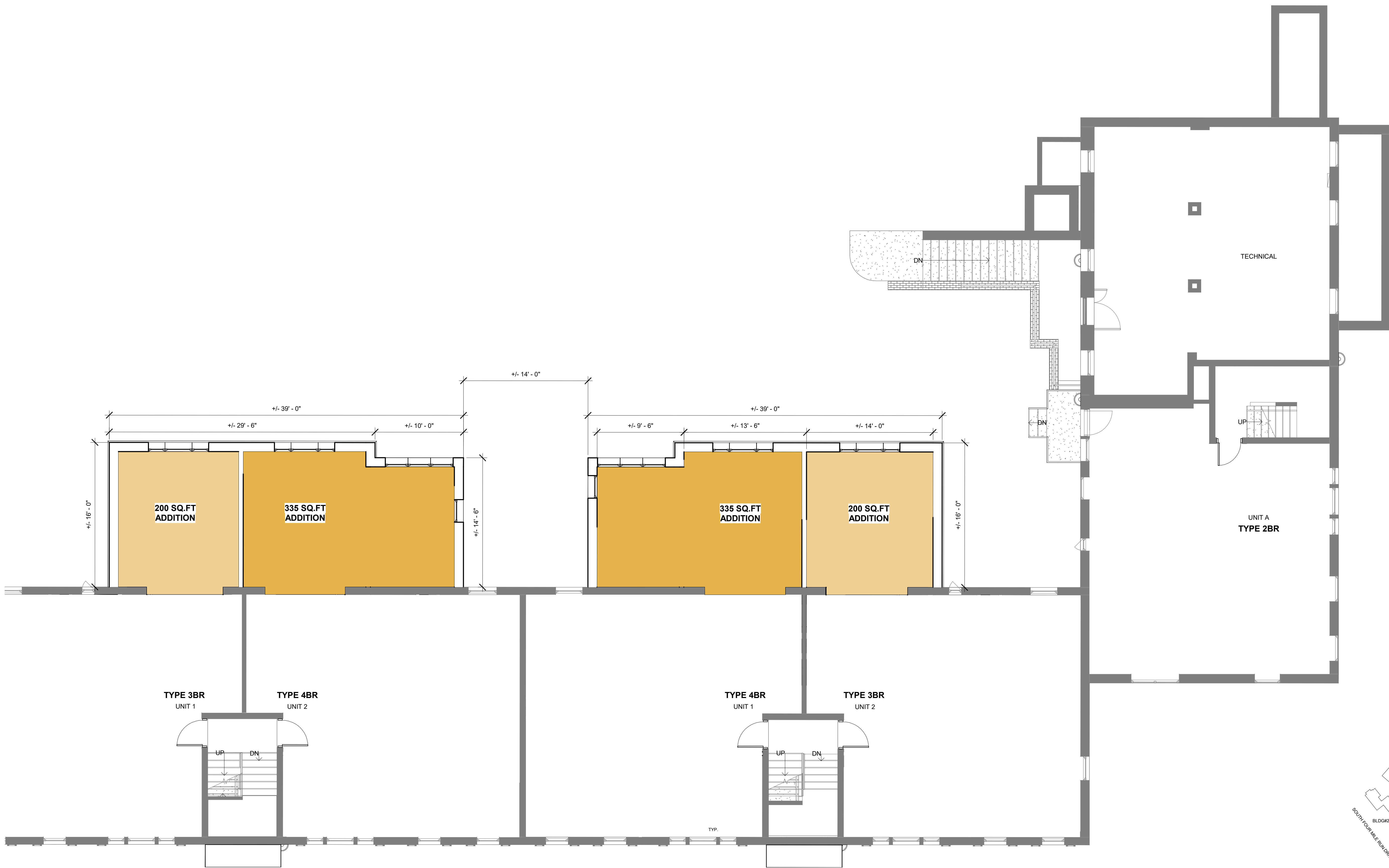
- CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036
- OWNER  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800
- STRUCTURAL  
SILMAN & ASSOCIATES  
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WASHINGTON, DC 20007  
(202) 336-6230
- MEP  
SUMMIT ENGINEERS  
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**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
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CHECKED BY: MF



1 BLDG 25 - FIRST FLOOR PLAN- PART 2  
A21 3/16" = 1'-0"

DRAWING SET  
NOT FOR CONSTRUCTION

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONTRACTOR  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

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SILMAN & ASSOCIATES  
1053 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6200

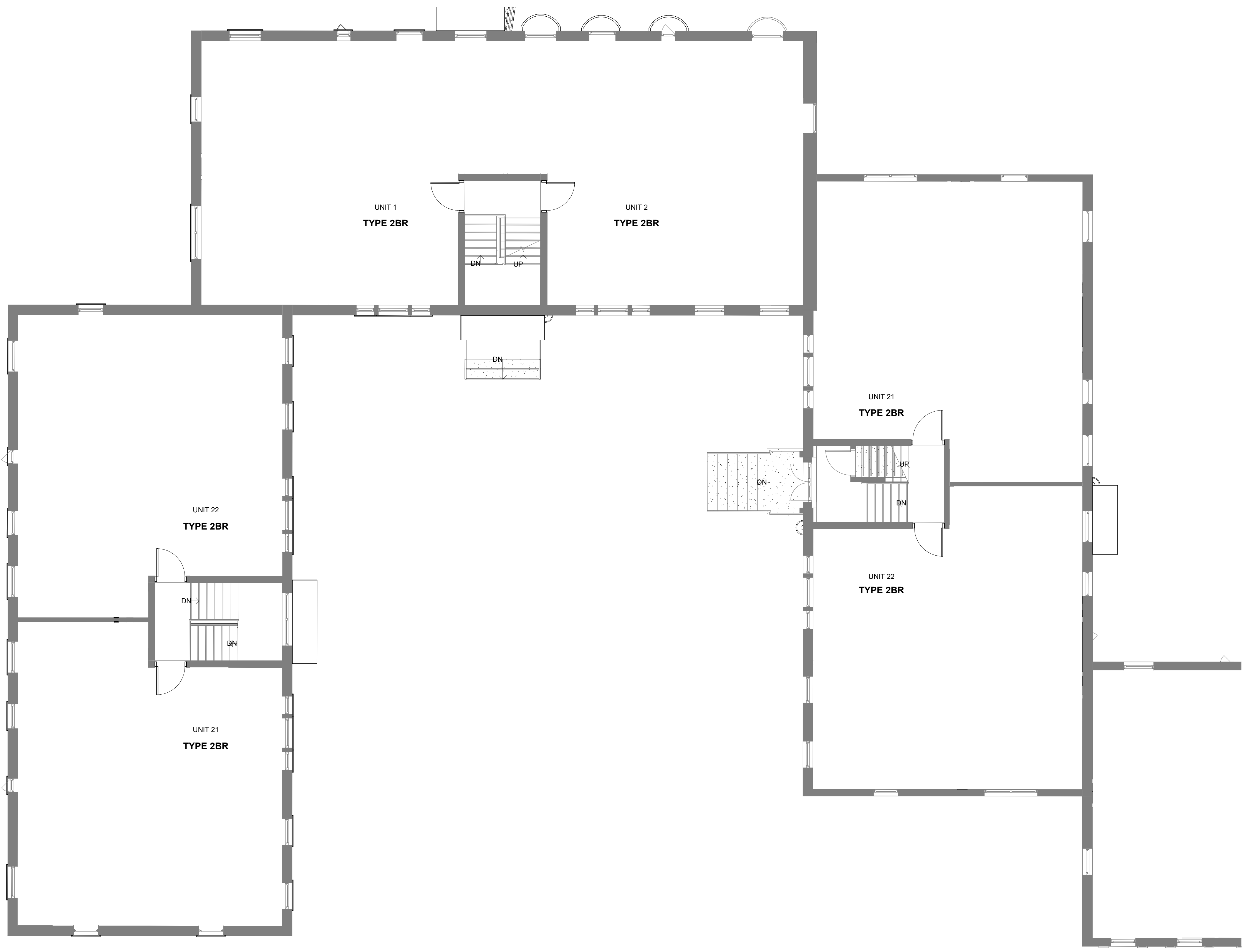
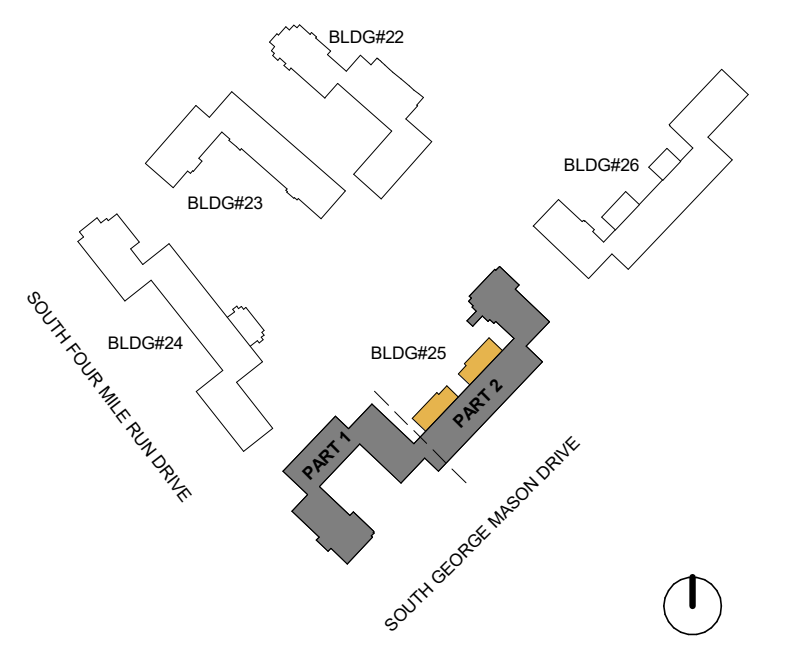
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(703) 553-5593

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
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PROJECT NO.:	2022-054
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CHECKED BY:	MF



1 BLDG 25 - SECOND FLOOR PLAN - PART 1  
A22 3/16" = 1'-0"

DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 25 - SECOND FLOOR PLAN

**A22**

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

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8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1053 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6200

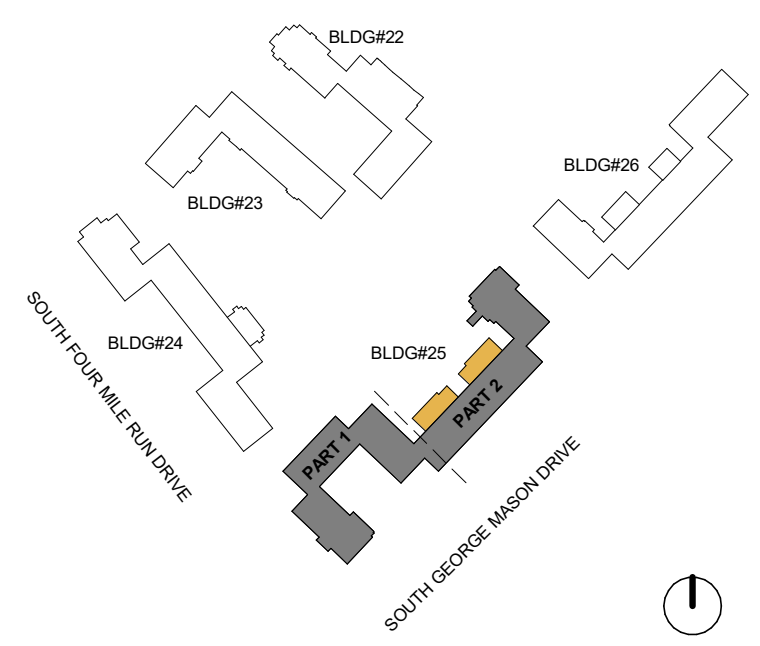
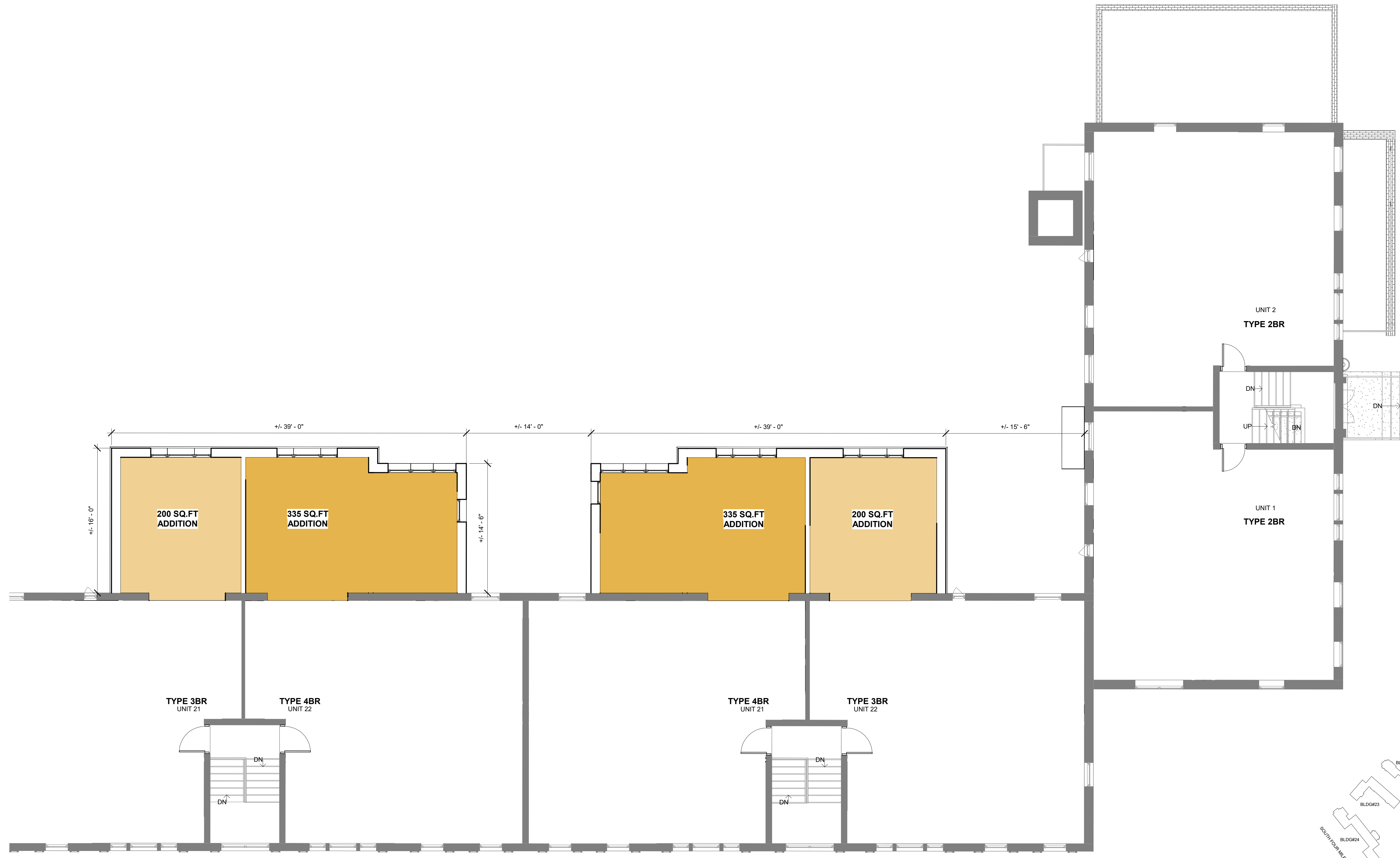
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SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

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3	USE PERMIT	04/25/23

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1 BLDG 25 - SECOND FLOOR PLAN - PART 2  
A23 3/16" = 1'-0"

DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 25 - SECOND FLOOR PLAN

**A23**



CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONTRACTOR  
VIKA VIRGINIA, LLC  
8180 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1063 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

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SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
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DRAWN BY:	EOP / AL
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BUILDING 25 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A24



**1**  
A24  
**BLDG 25 - ELEVATION A - 1**  
1/8" = 1'-0"  
ASE: 109.5'



**2**  
A24  
**BLDG 25 - ELEVATION A - 2**  
1/8" = 1'-0"  
ASE: 109.5'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS, POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**KEYED NEW WORK ELEVATION NOTES**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTERNS; SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD;</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;</li> <li>10. PAINT EXISTING RAILING;</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD. SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;</li> </ol> |
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**\*NOTE:**  
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONTRACTOR  
VIKA VIRGINIA, LLC  
8180 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1063 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
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**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

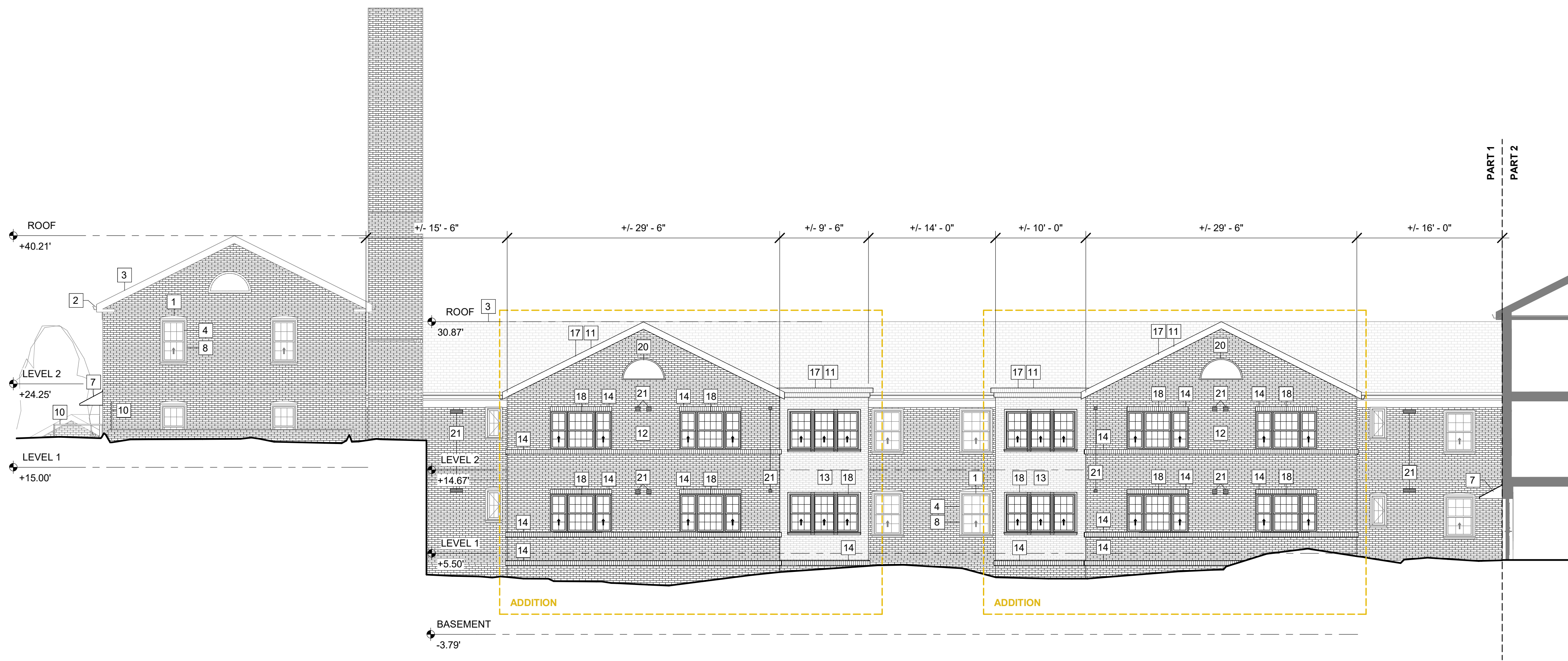
1	SD SUBMISSION	03/15/23
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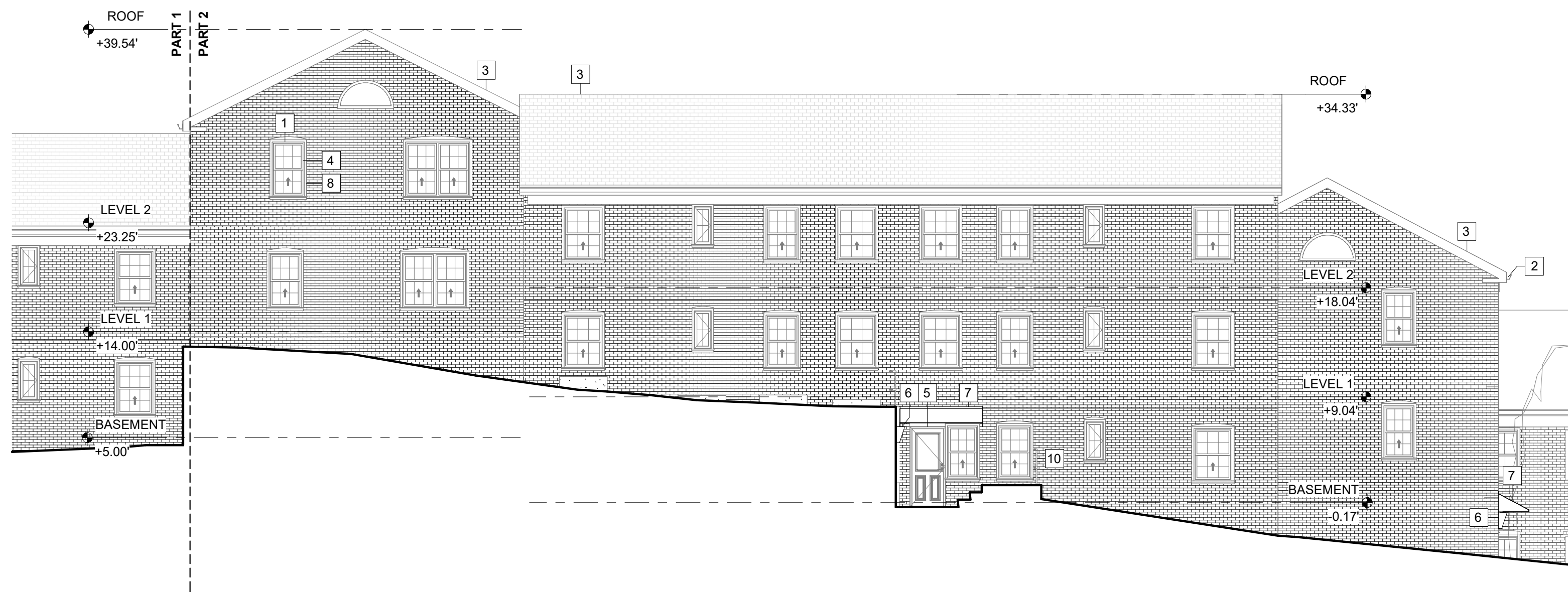
BUILDING 25 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

**A25**



**1** BLDG 25 - ELEVATION B - 1  
1/8" = 1'-0"  
ASE: 109.5'



**2** BLDG 25 - ELEVATION B - 2  
1/8" = 1'-0"  
ASE: 109.5'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS: POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**KEYED NEW WORK ELEVATION NOTES**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTER; SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD;</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;</li> <li>10. PAINT EXISTING RAILING;</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;</li> </ol> |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|



TYPICAL BRICK VENT EXAMPLE

**\*NOTE:**  
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONTRACTOR  
VIRA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1063 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6200

MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

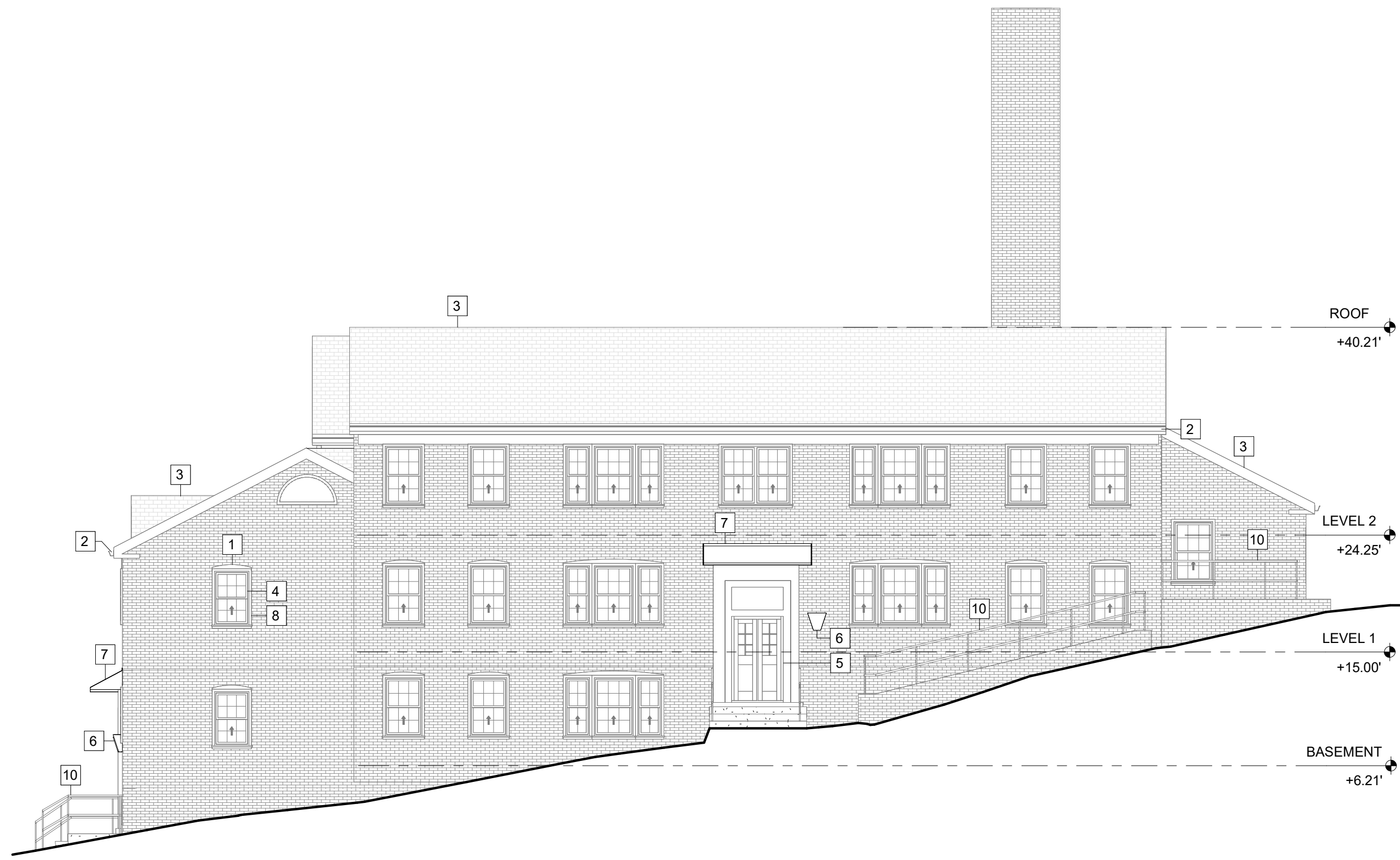
1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

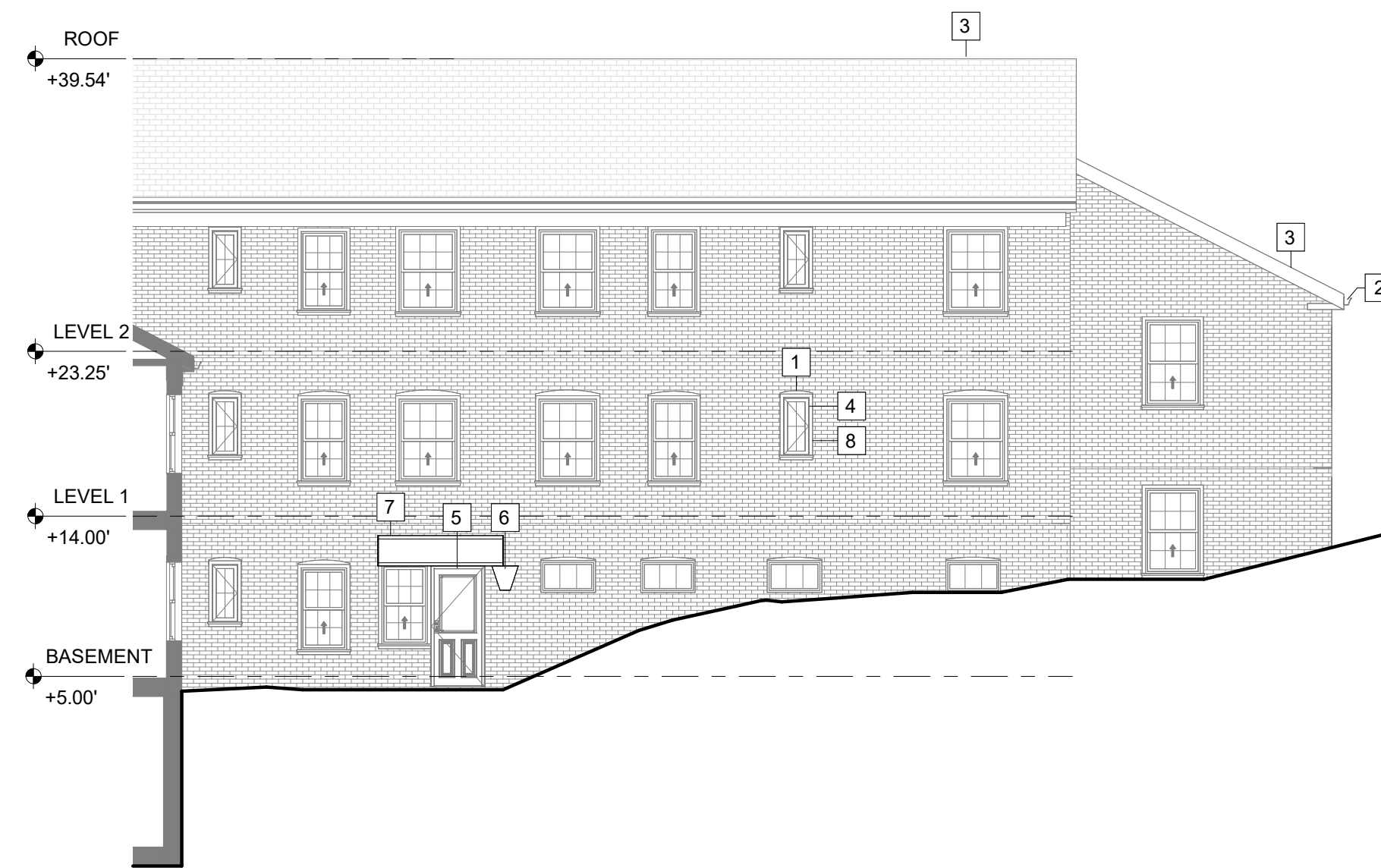
BUILDING 25 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

A26



1 BLDG 25 - ELEVATION C  
A26 1/8" = 1'-0"  
ASE: 109.5'

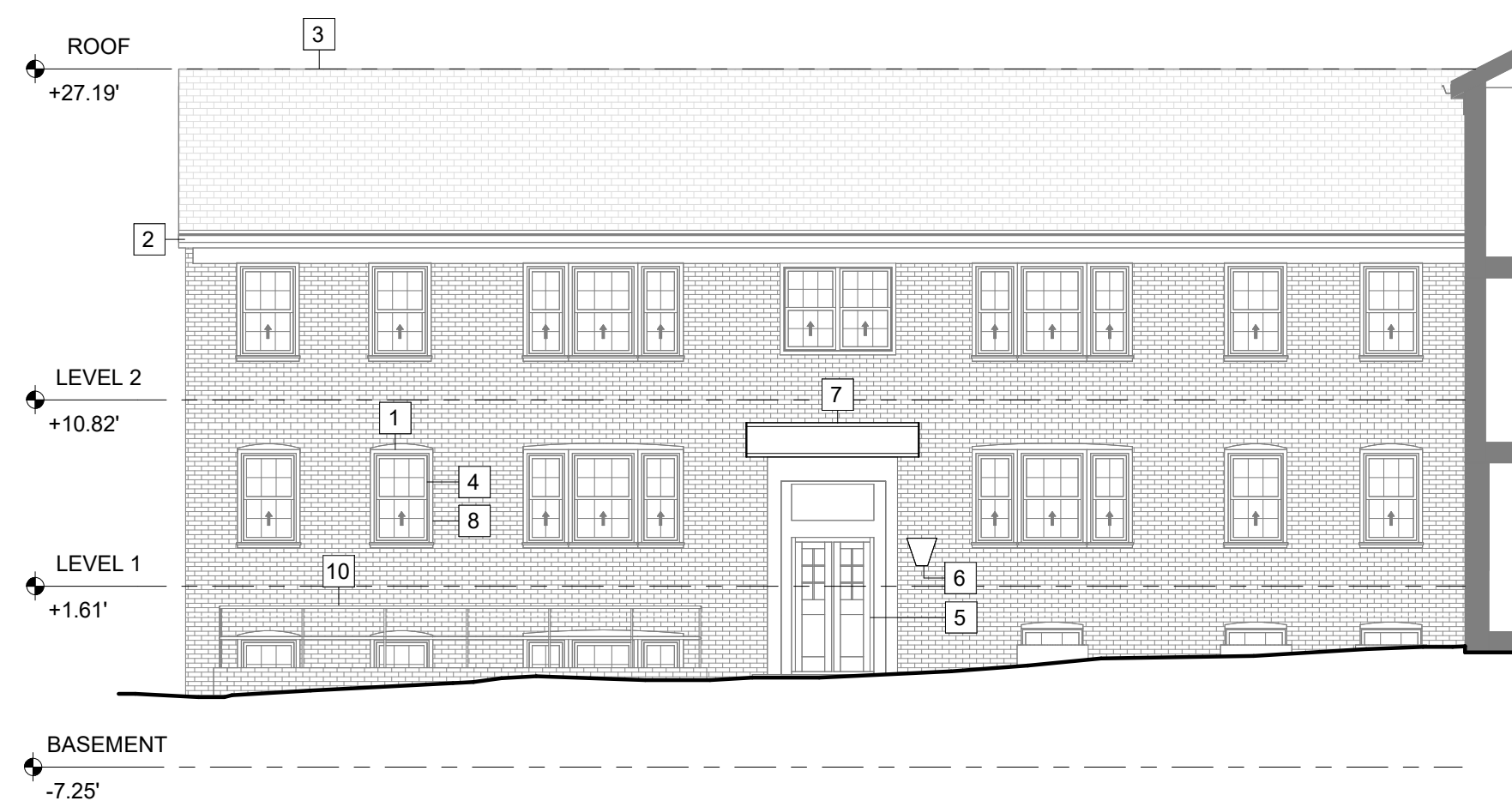


2 BLDG 25 - ELEVATION D  
A26 1/8" = 1'-0"  
ASE: 109.5'

GENERAL NEW WORK ELEVATION NOTES

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS; POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**\*NOTE:**  
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.



3 BLDG 25 - ELEVATION E  
A26 1/8" = 1'-0"  
ASE: 109.5'

KEYED NEW WORK ELEVATION NOTES

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTERN; SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD;</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;</li> <li>10. PAINT EXISTING RAILING;</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD. SEE SHEET A36 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;</li> </ol> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONTRACTOR  
VIKA VIRGINIA, LLC  
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SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
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WASHINGTON, DC 20007  
(202) 336-6230

MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-55-93

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

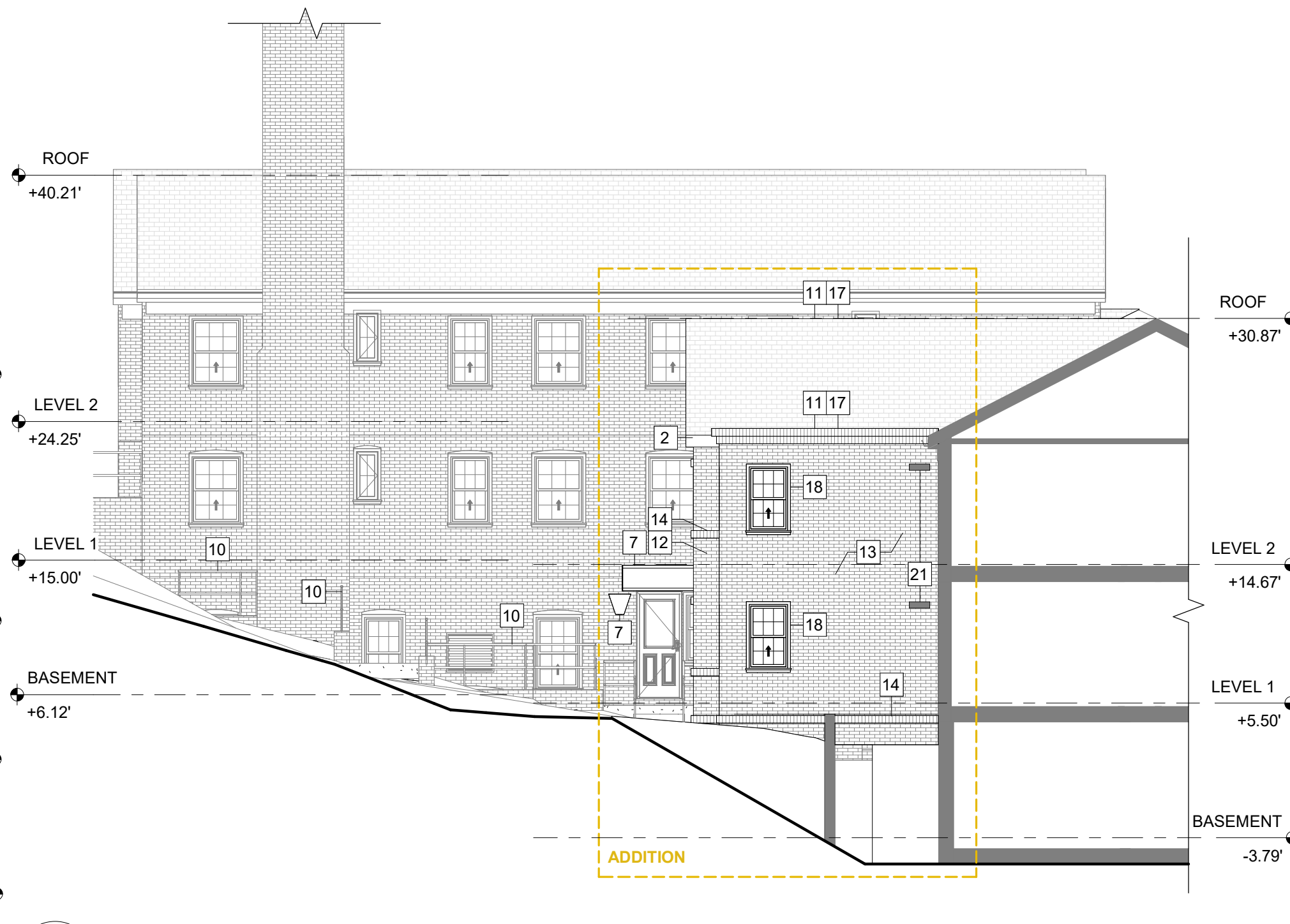
BUILDING 25 - ELEVATIONS

DRAWING SET  
NOT FOR CONSTRUCTION

**A27**



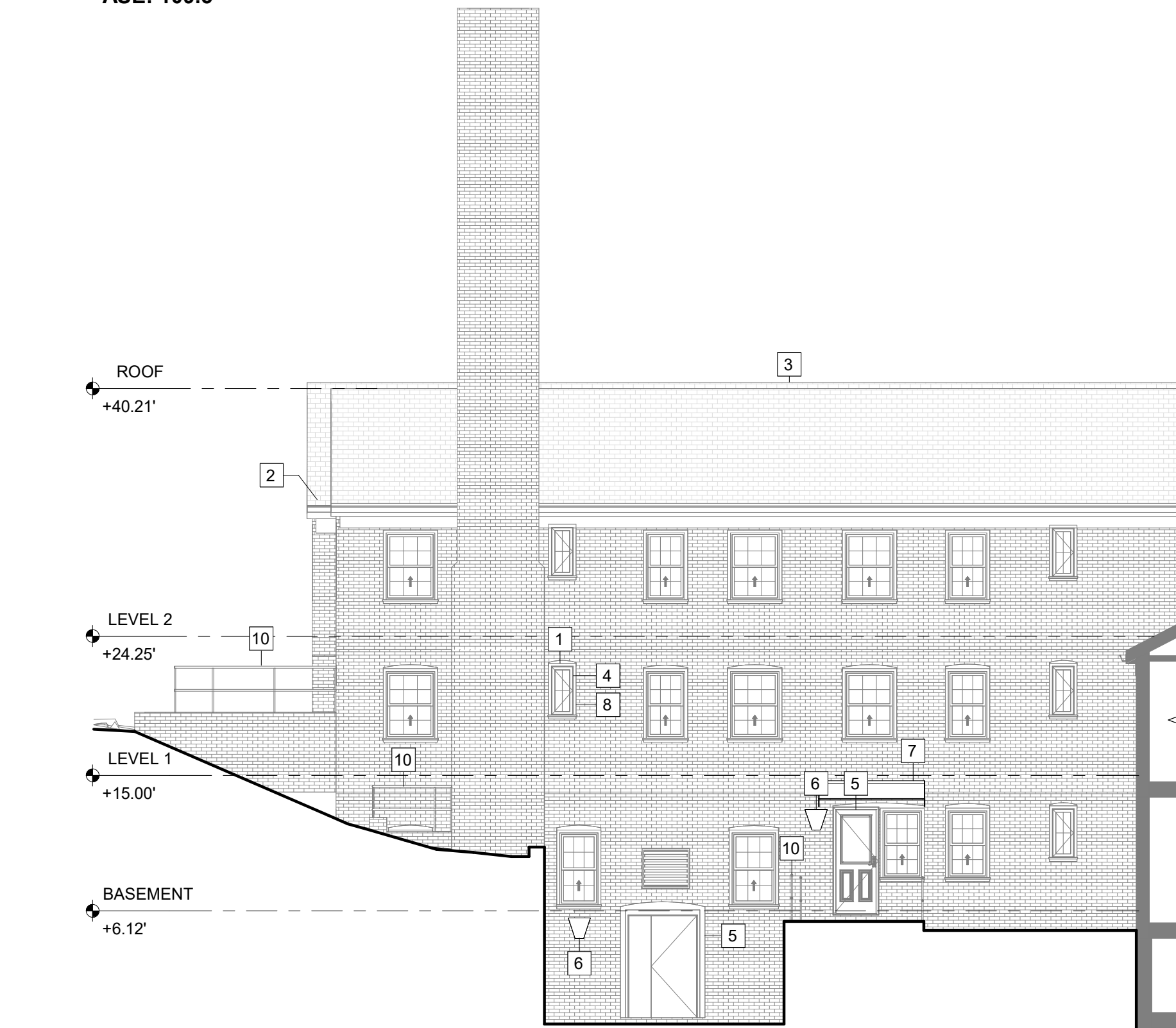
**1** BLDG 25 - ELEVATION F  
A27  
1/8" = 1'-0"  
ASE: 109.5'



**4** BLDG 25 - ELEVATION I  
A27  
1/8" = 1'-0"  
ASE: 109.5'



**2** BLDG 25 - ELEVATION G  
A27  
1/8" = 1'-0"  
ASE: 109.5'



**3** BLDG 25 - ELEVATION H  
A27  
1/8" = 1'-0"  
ASE: 109.5'

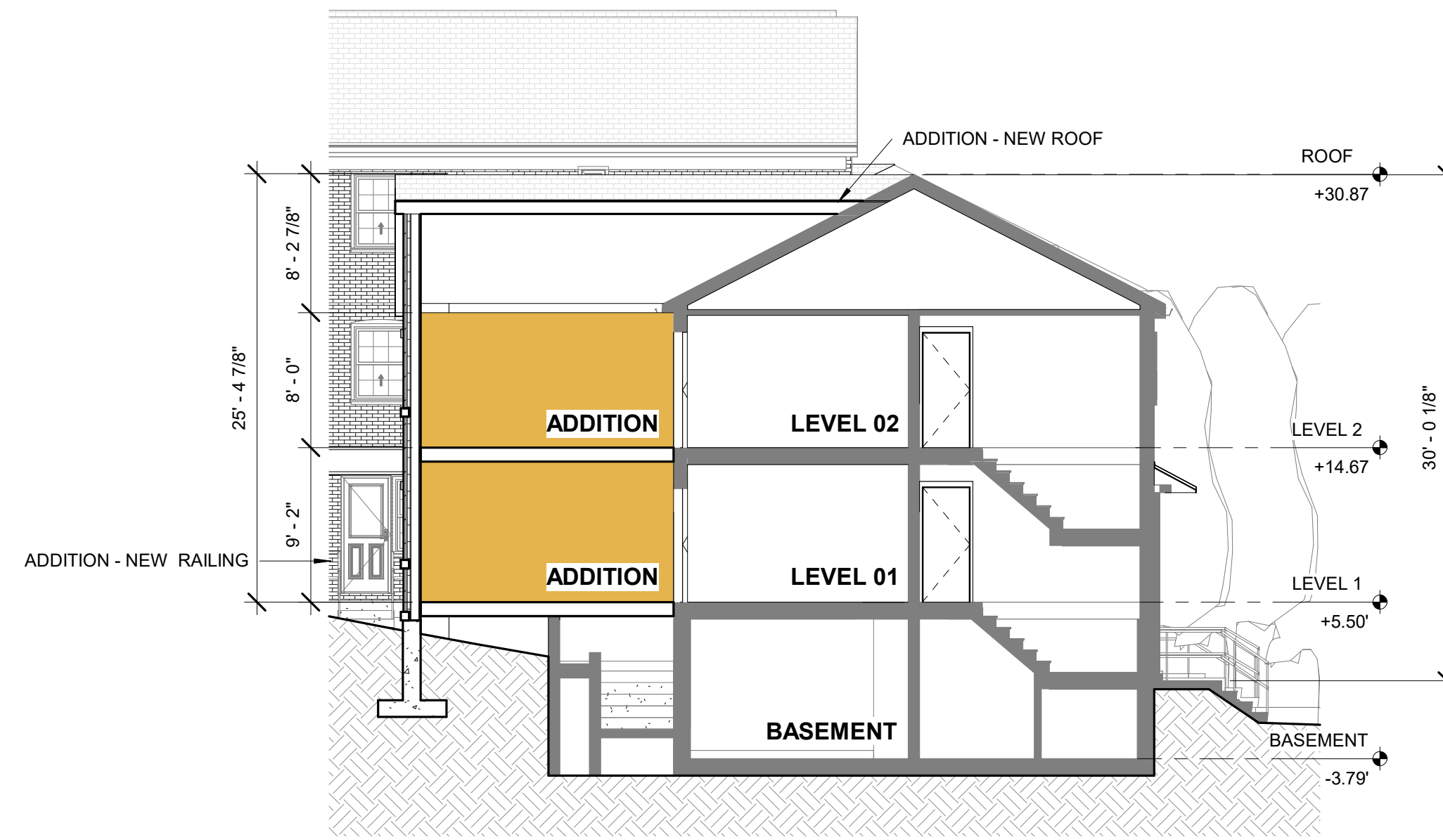
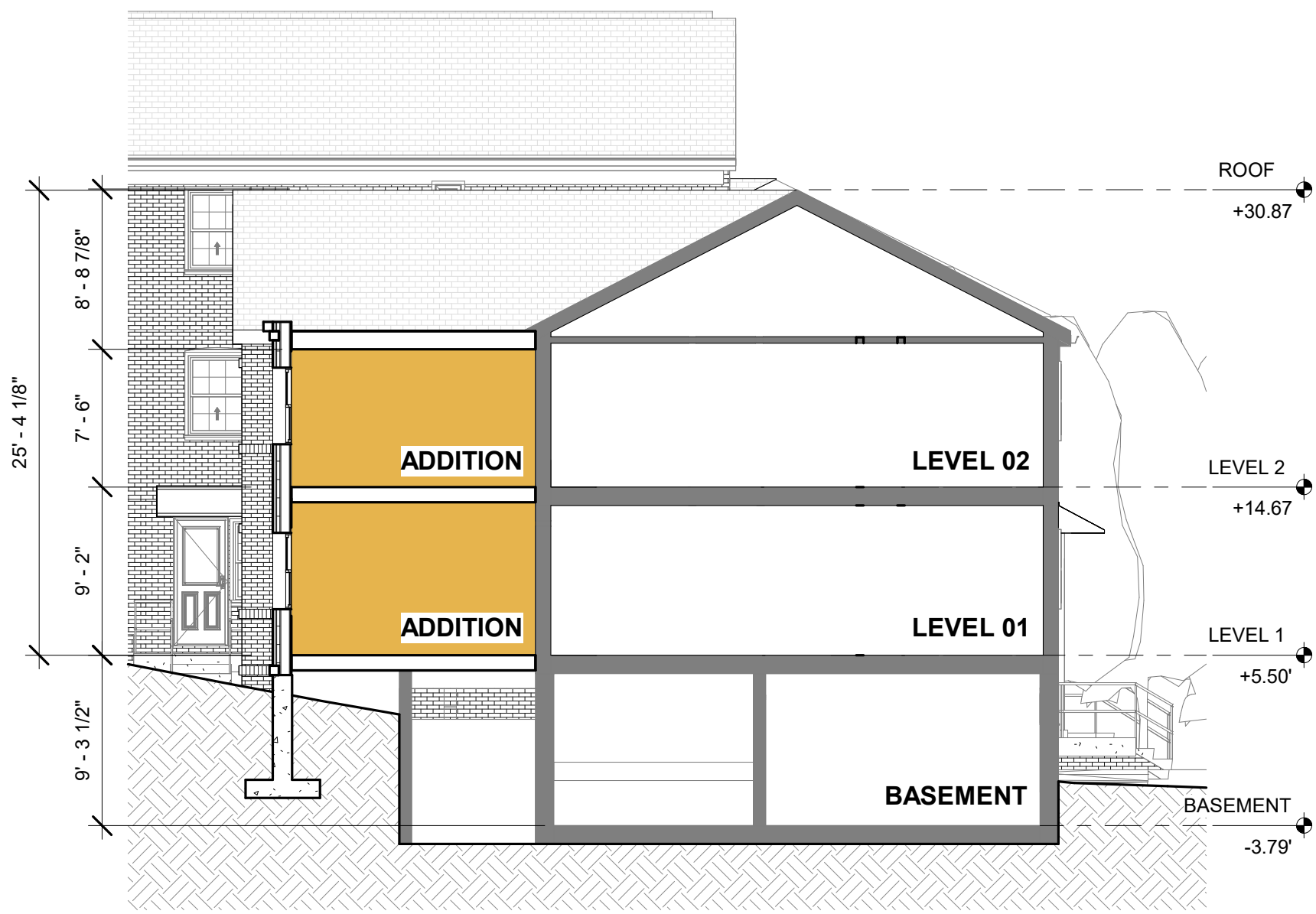
**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
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**KEYED NEW WORK ELEVATION NOTES**

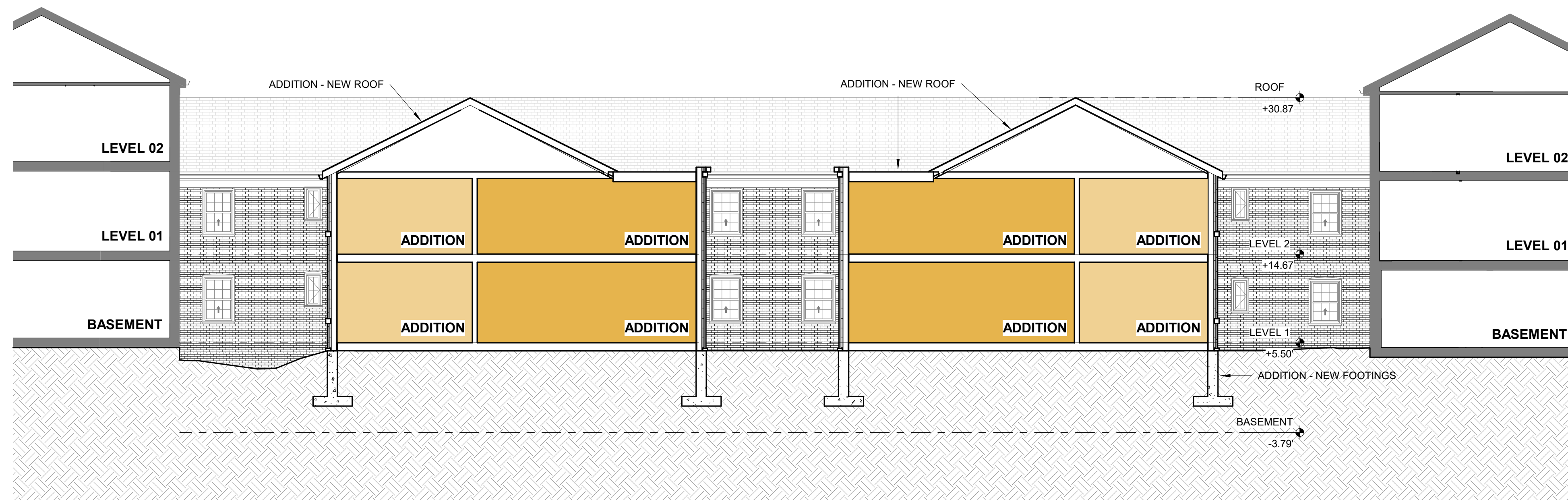
- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
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**\*NOTE:**  
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ELEVATIONS TO BE VERIFIED IN FIELD.



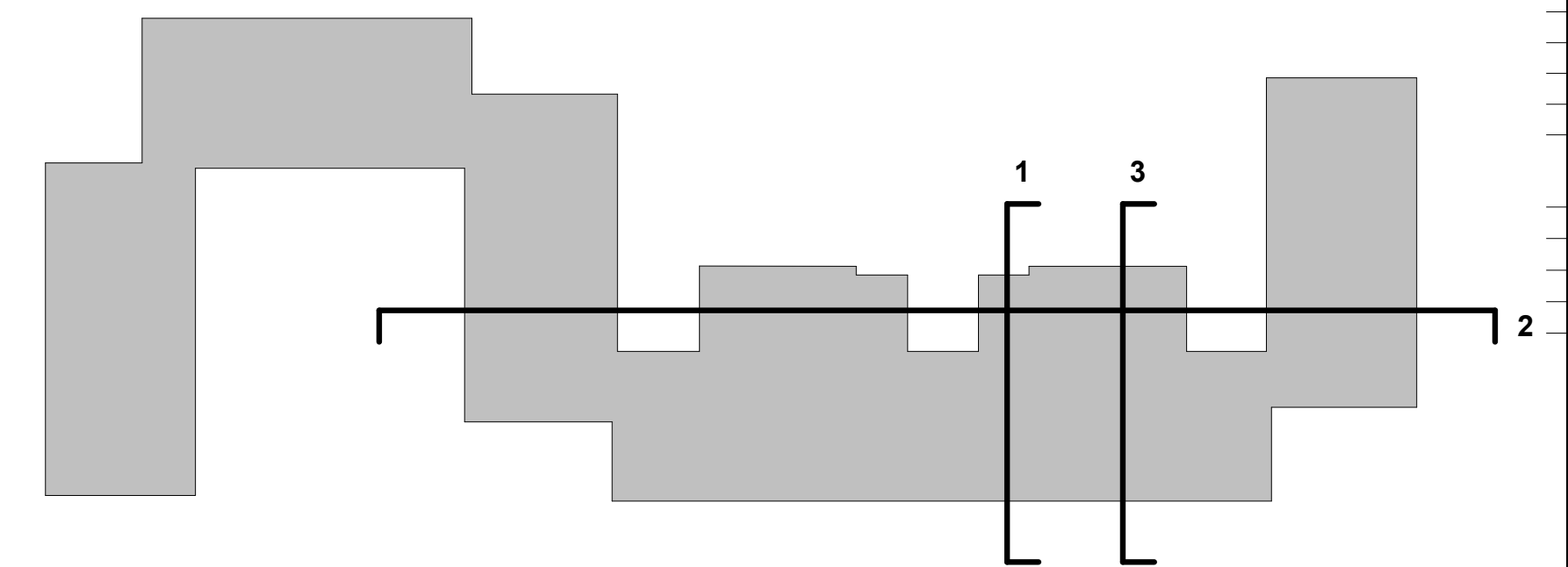
1 BUILDING 25 - BUILDING SECTION A  
A28 1/8" = 1'-0"

3 BUILDING 25 - BUILDING SECTION C  
A28 1/8" = 1'-0"



2 BUILDING 25 - BUILDING SECTION B  
A28 1/8" = 1'-0"

\*NOTE:  
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ELEVATIONS TO BE VERIFIED IN FIELD.



CLIENT  
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SUITE 430  
WASHINGTON, DC 20036

CONTRACTOR  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1063 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6200

MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	DD SUBMISSION	04/28/23
2	USE PERMIT	04/25/23

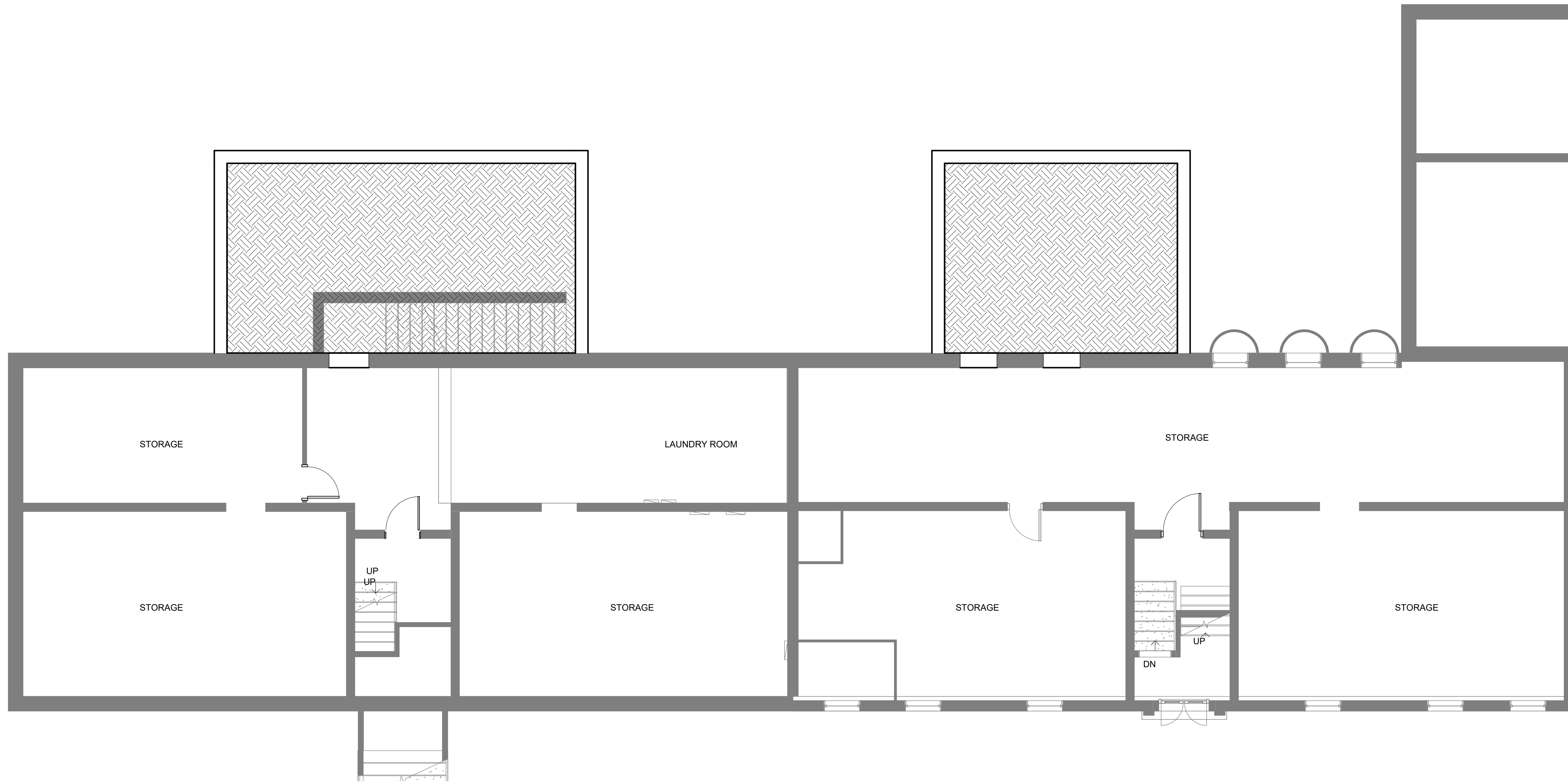
DATE:	04/04/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF

DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 25 - BUILDING SECTION

A28





1 BLDG 26 - BASEMENT  
A30 3/16" = 1'-0"

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

OWNER  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

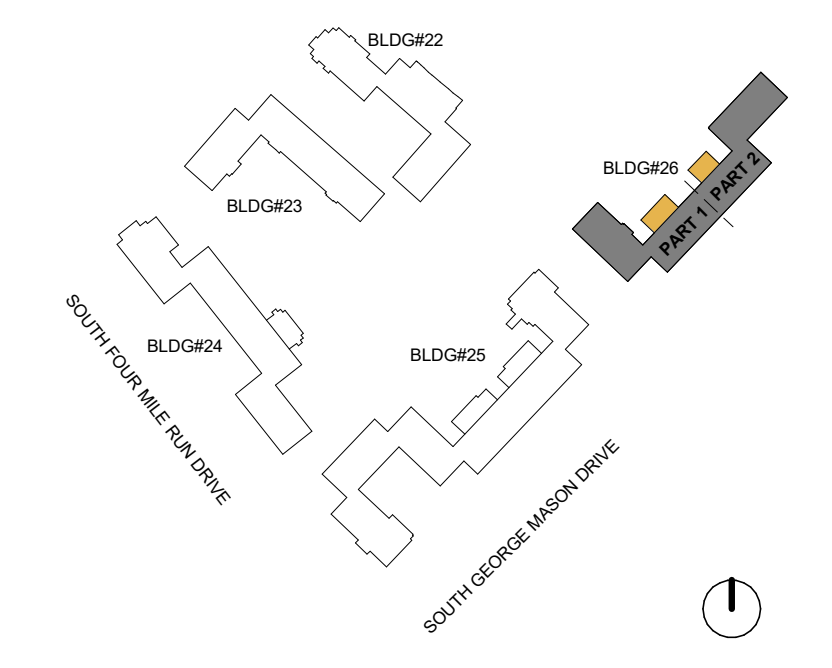
STRUCTURAL  
SILMAN & ASSOCIATES  
1053 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
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**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

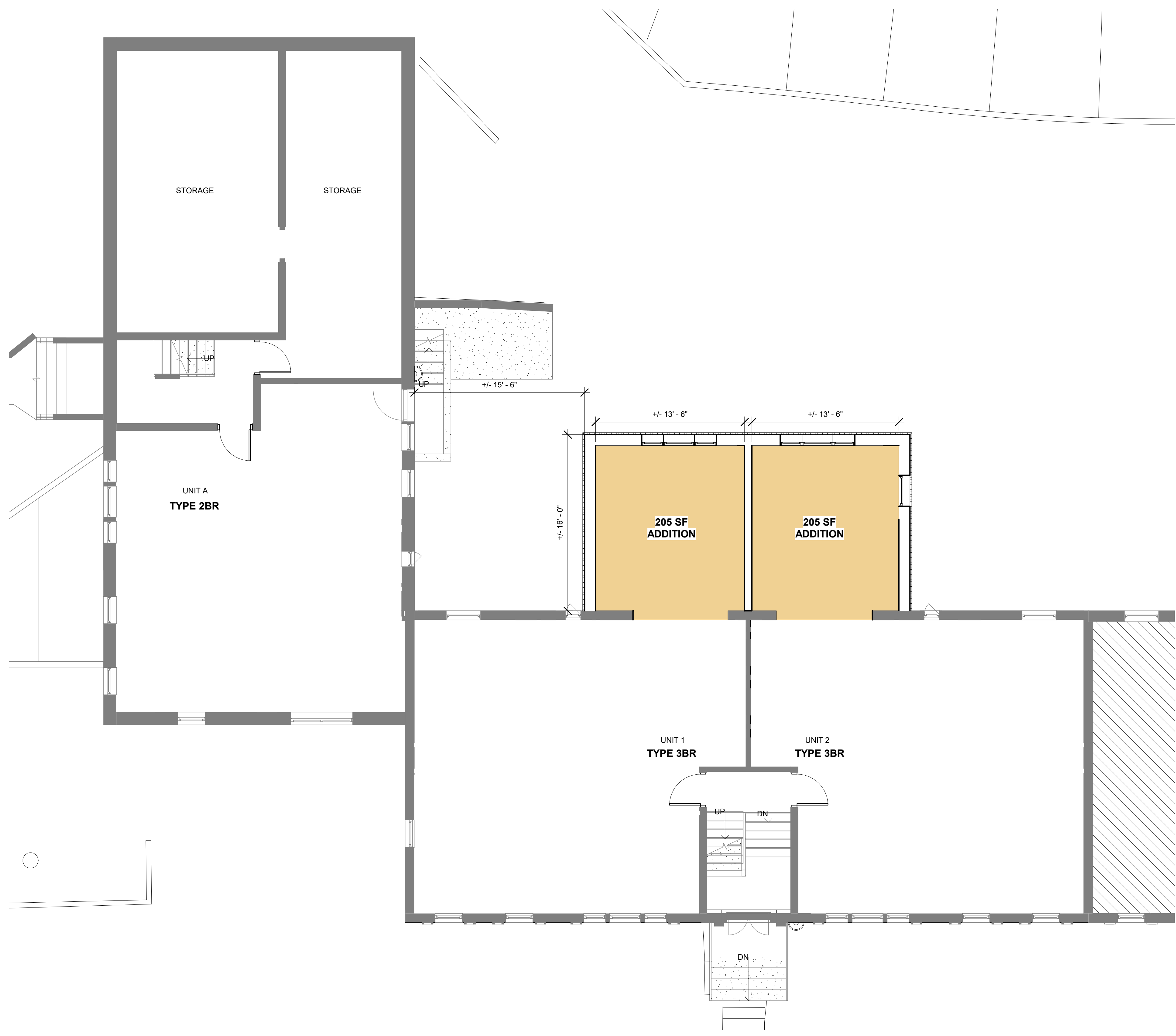


DATE: 03/01/23  
PROJECT NO: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF

BUILDING 26 - BASEMENT PLAN

DRAWING SET  
NOT FOR CONSTRUCTION

A30



**CLIENT**  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

**OWNER**  
VIKA VIRGINIA, LLC  
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TYSONS, VA 22102  
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**STRUCTURAL**  
SILMAN & ASSOCIATES  
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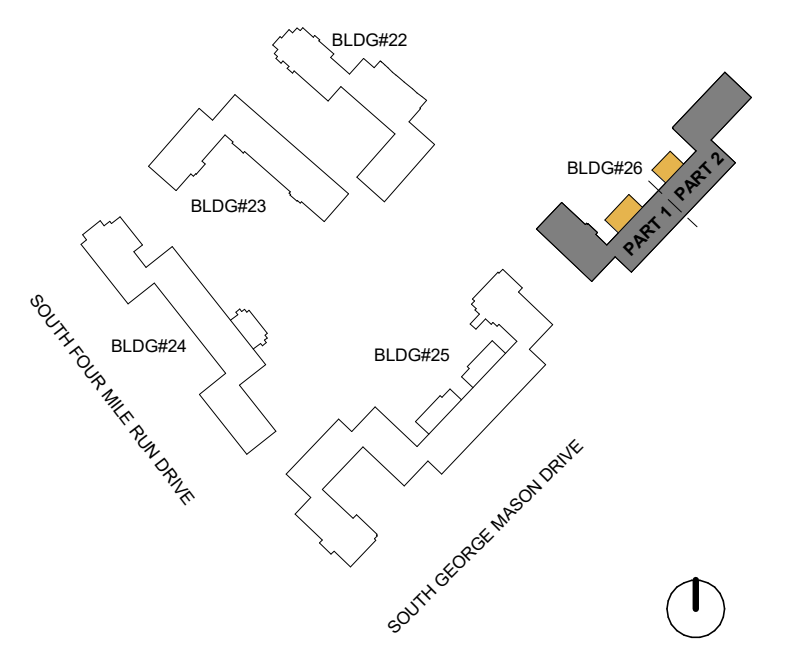
**MEP**  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
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**BARCORFT - PHASE 1**  
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ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
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DRAWN BY: EOP / AL  
CHECKED BY: MF



1 BLDG 26 - FIRST FLOOR PLAN - PART 1  
A31 3/16" = 1'-0"

DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 26 - FIRST FLOOR PLAN

**A31**



CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONTRACTOR  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1053 31ST STREET NW  
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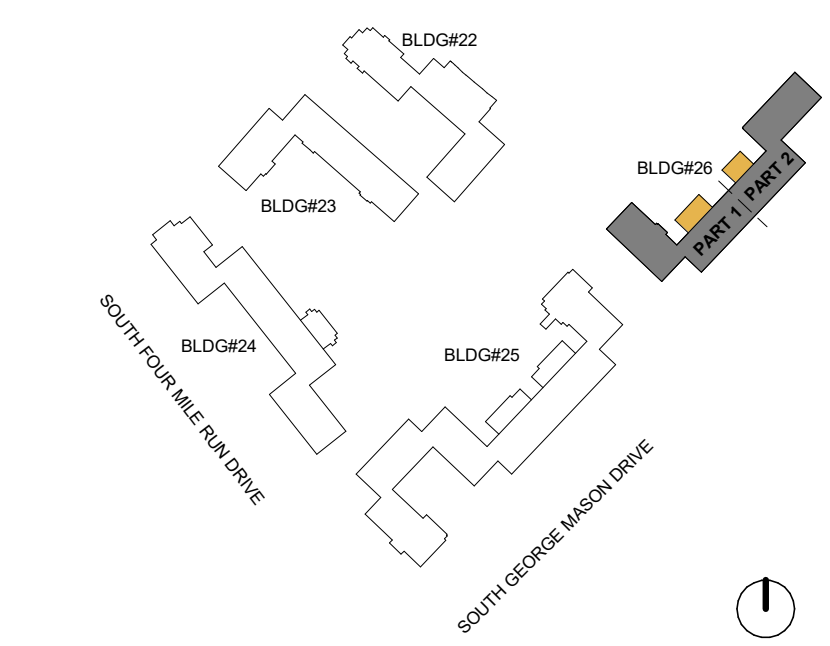
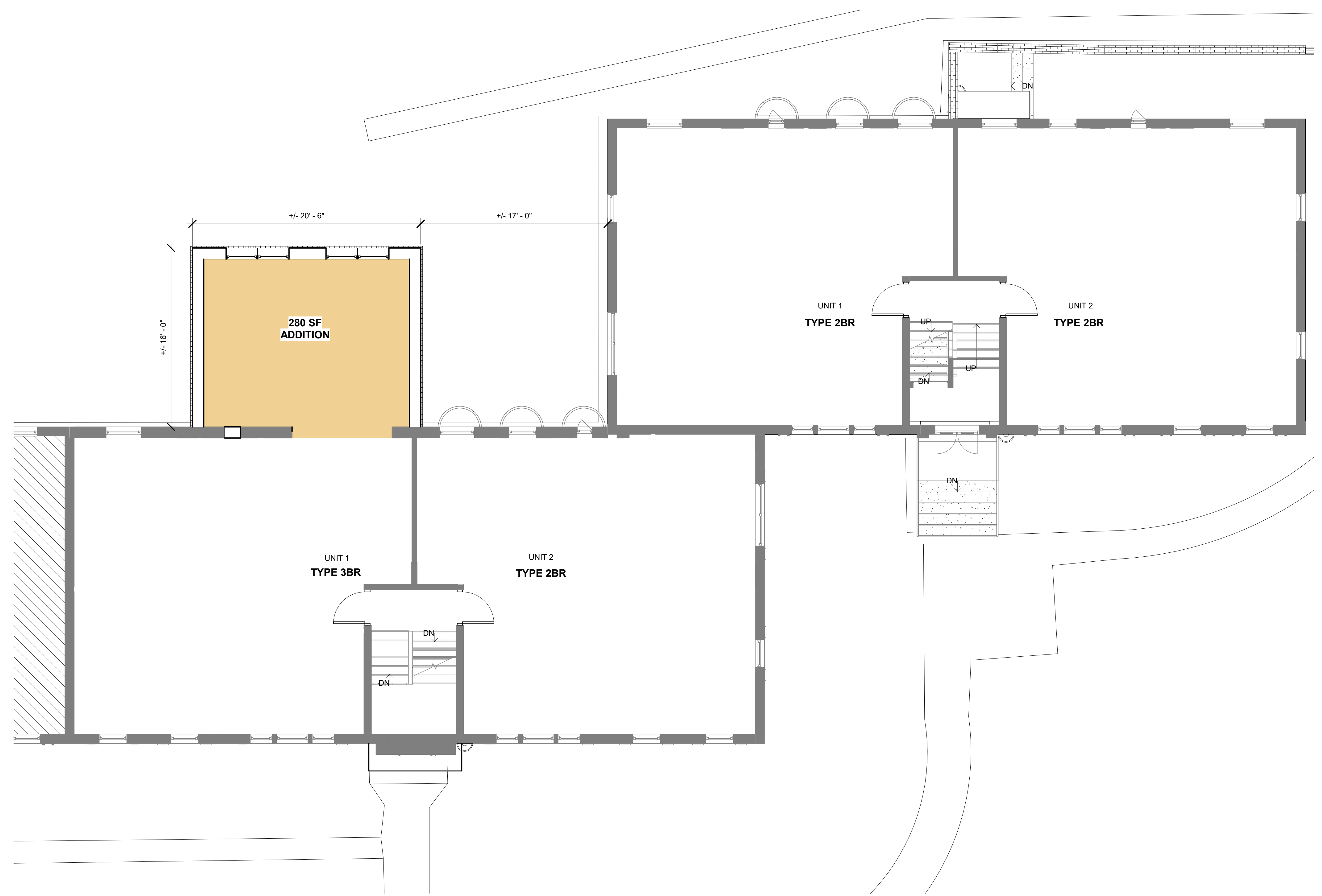
MEP  
SUMMIT ENGINEERS  
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ARLINGTON, VA 22207  
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**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
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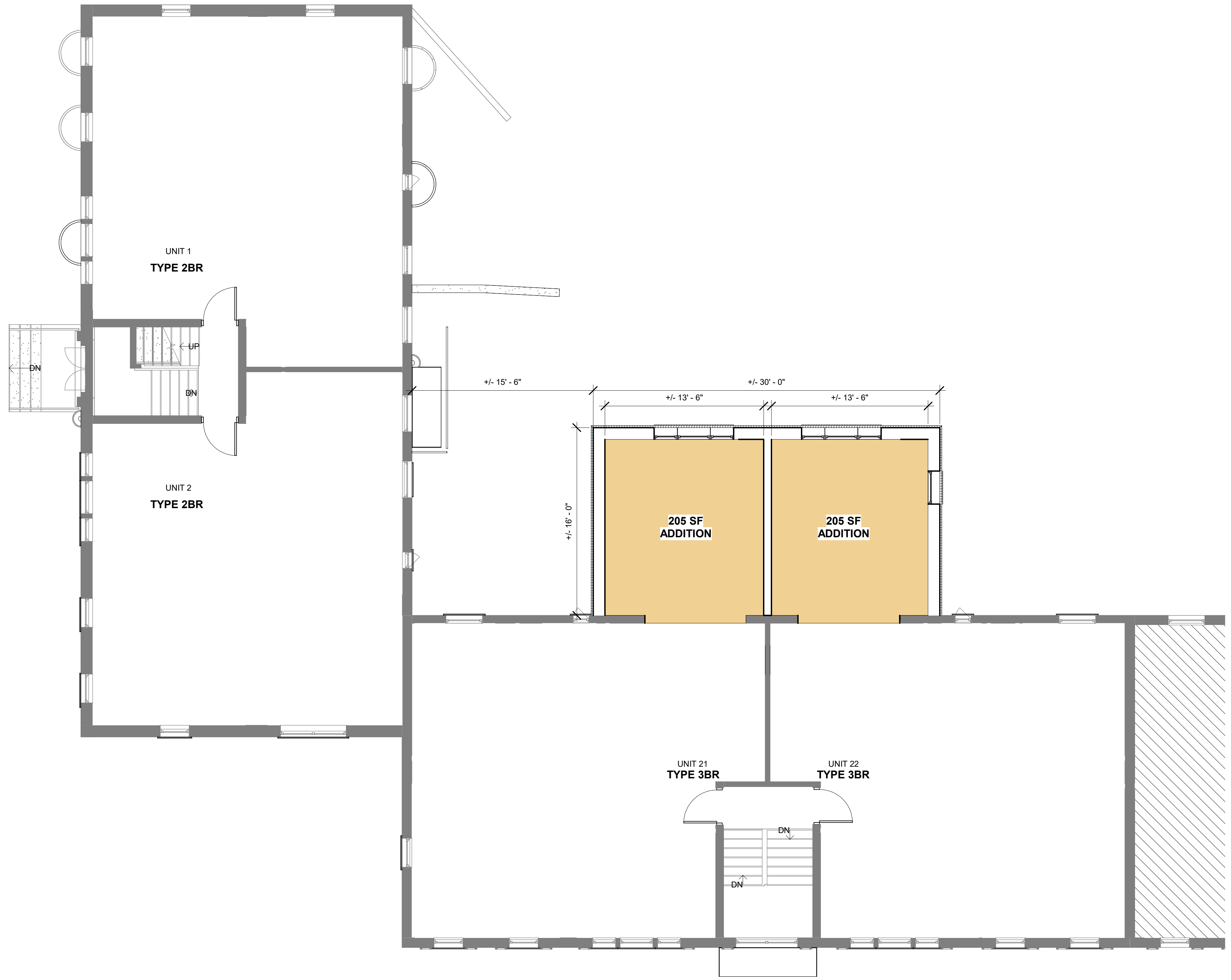


1 BLDG 26 - FIRST FLOOR PLAN - PART 2  
A32 3/16" = 1'-0"

DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 26 - FIRST FLOOR PLAN

**A32**



CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONTRACTOR  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
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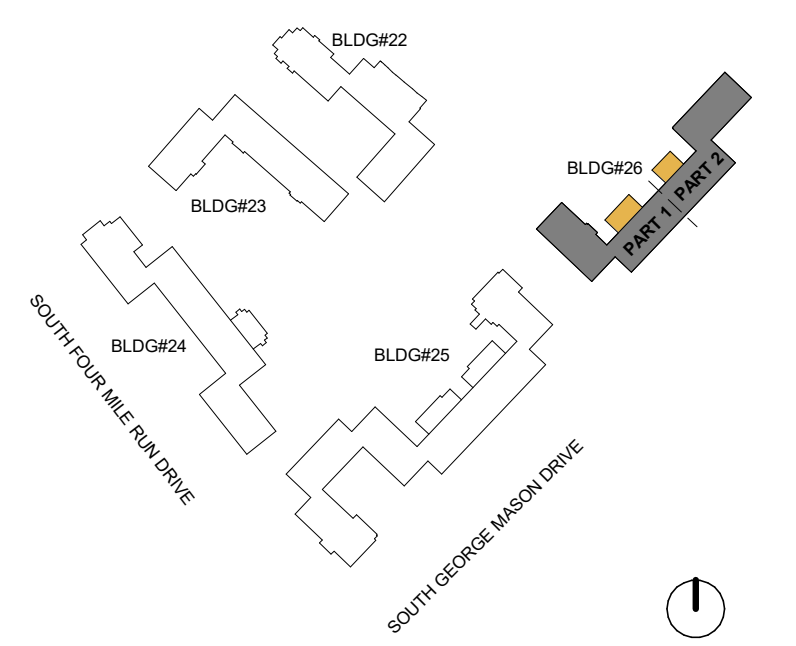
STRUCTURAL  
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WASHINGTON, DC 20007  
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**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23



DATE: 03/01/23  
PROJECT NO.: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF

1 BLDG 26 - SECOND FLOOR PLAN - PART 1  
A33 3/16" = 1'-0"

DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 26 - SECOND FLOOR PLAN

**A33**

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONTRACTOR  
VIKA VIRGINIA, LLC  
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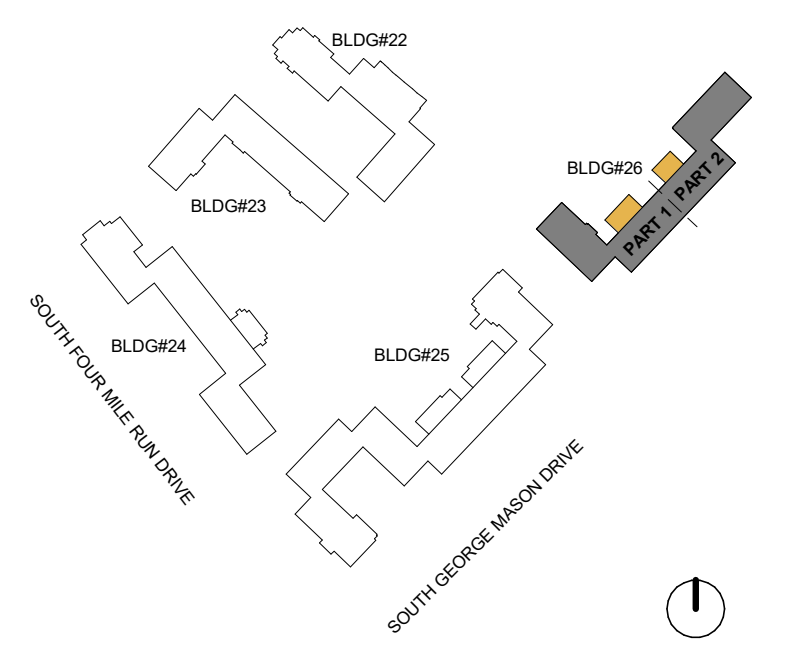
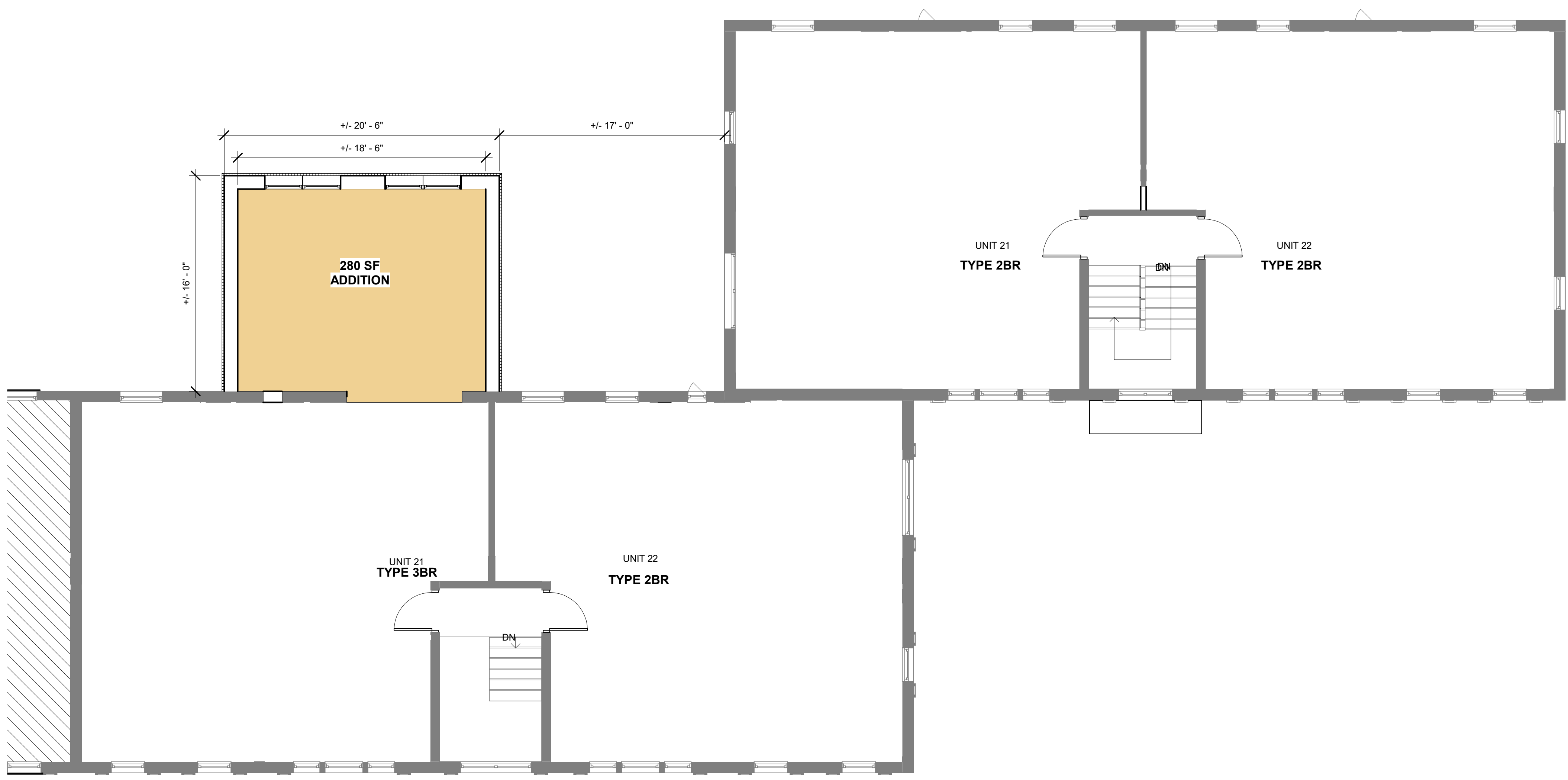
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**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

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3	USE PERMIT	04/25/23

DATE: 03/01/23  
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CHECKED BY: MF



1 BLDG 26 - SECOND FLOOR PLAN - PART 2  
A34 3/16" = 1'-0"

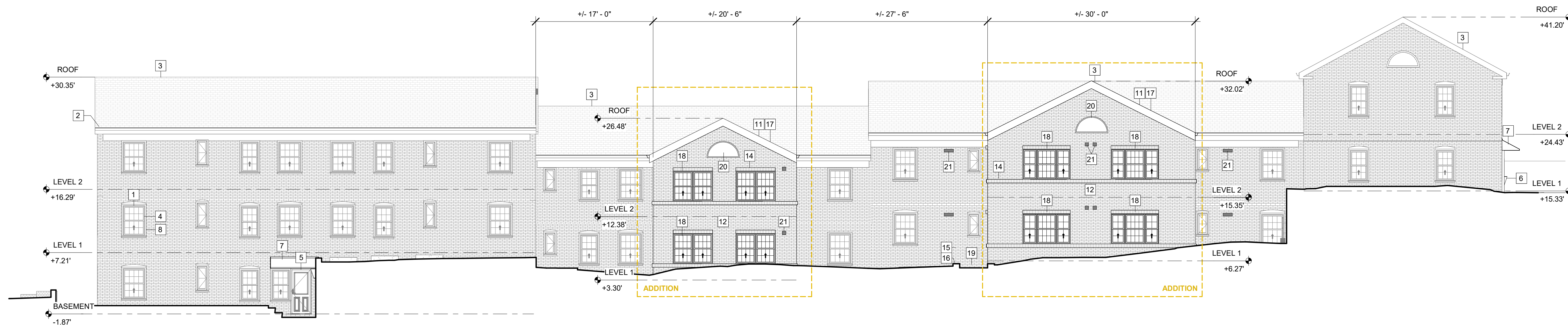
DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 26 - SECOND FLOOR PLAN

**A34**



**1** BLDG 26 - ELEVATION A  
A35 1/8" = 1'-0"  
ASE: 109.5'



**2** BLDG 26 - ELEVATION B  
A35 1/8" = 1'-0"  
ASE: 109.5'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS; POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**KEYED NEW WORK ELEVATION NOTES**

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ol style="list-style-type: none"> <li>1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;</li> <li>2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.</li> <li>3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;</li> <li>4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.</li> <li>5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.</li> <li>6. PROVIDE &amp; INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTERN; SEE SCHEDULE FOR MORE INFORMATION, TYP.</li> <li>7. PROVIDE &amp; INSTALL NEW CANOPY, DESIGN TBD;</li> <li>8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;</li> <li>9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;</li> <li>10. PAINT EXISTING RAILING;</li> <li>11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;</li> </ol> | <ol style="list-style-type: none"> <li>12. NEW BRICK WALL TO MATCH EXISTING COLOR;</li> <li>13. NEW BRICK WALL, SIZE AND COLOR TBD;</li> <li>14. NEW BRICK MOULDING, SIZE AND COLOR TBD;</li> <li>15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);</li> <li>16. NEW CONCRETE RETAINING WALL, FINISH TBD;</li> <li>17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;</li> <li>18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;</li> <li>19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;</li> <li>20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;</li> <li>21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD. SEE SHEET A38 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;</li> </ol> |
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**\*NOTE:**  
ELEVATIONS ARE BASED ON AN INCOMPLETE SURVEY.  
ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

CLIENT  
JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

CONV  
VIKA VIRGINIA, LLC  
8180 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN & ASSOCIATES  
1053 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

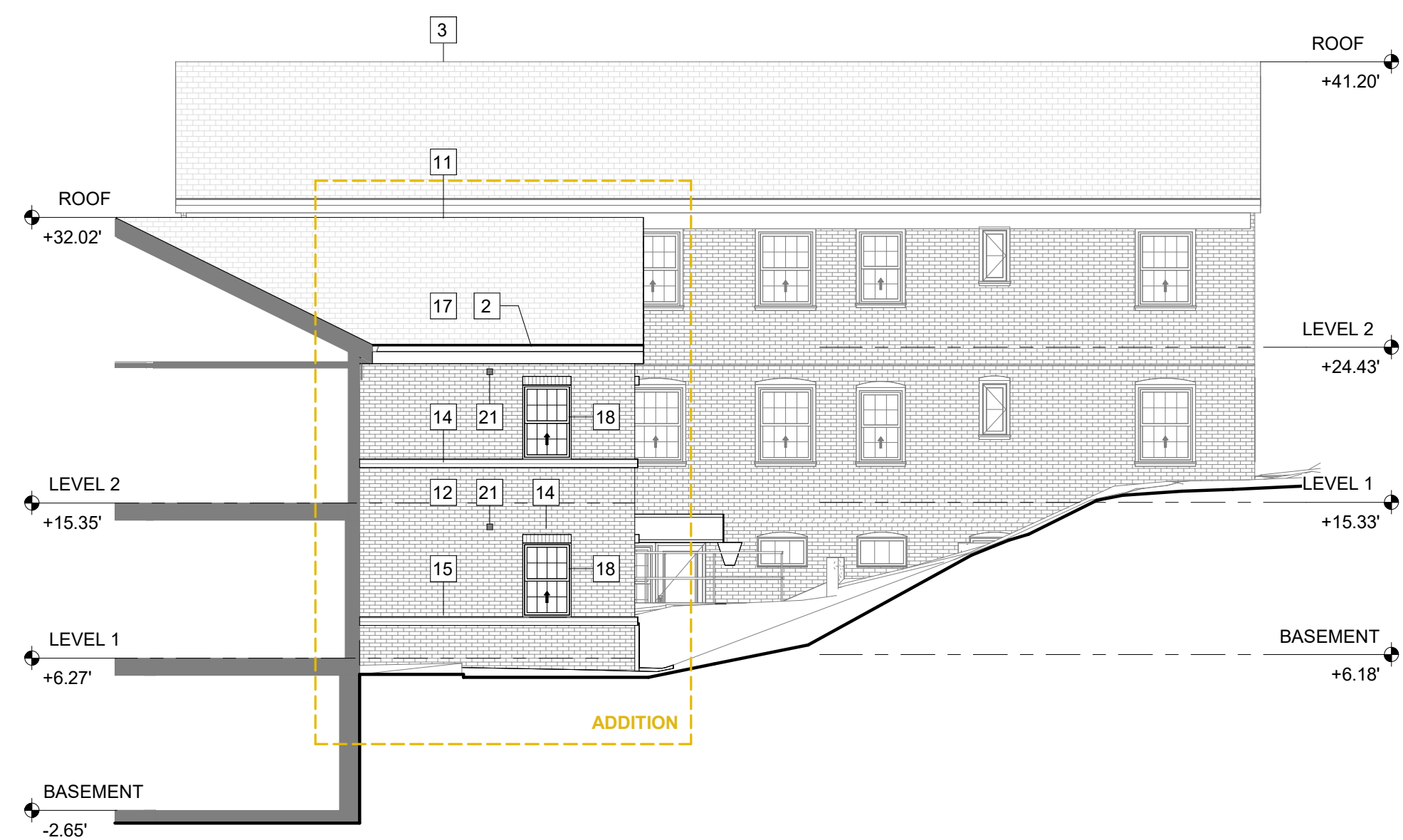
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**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

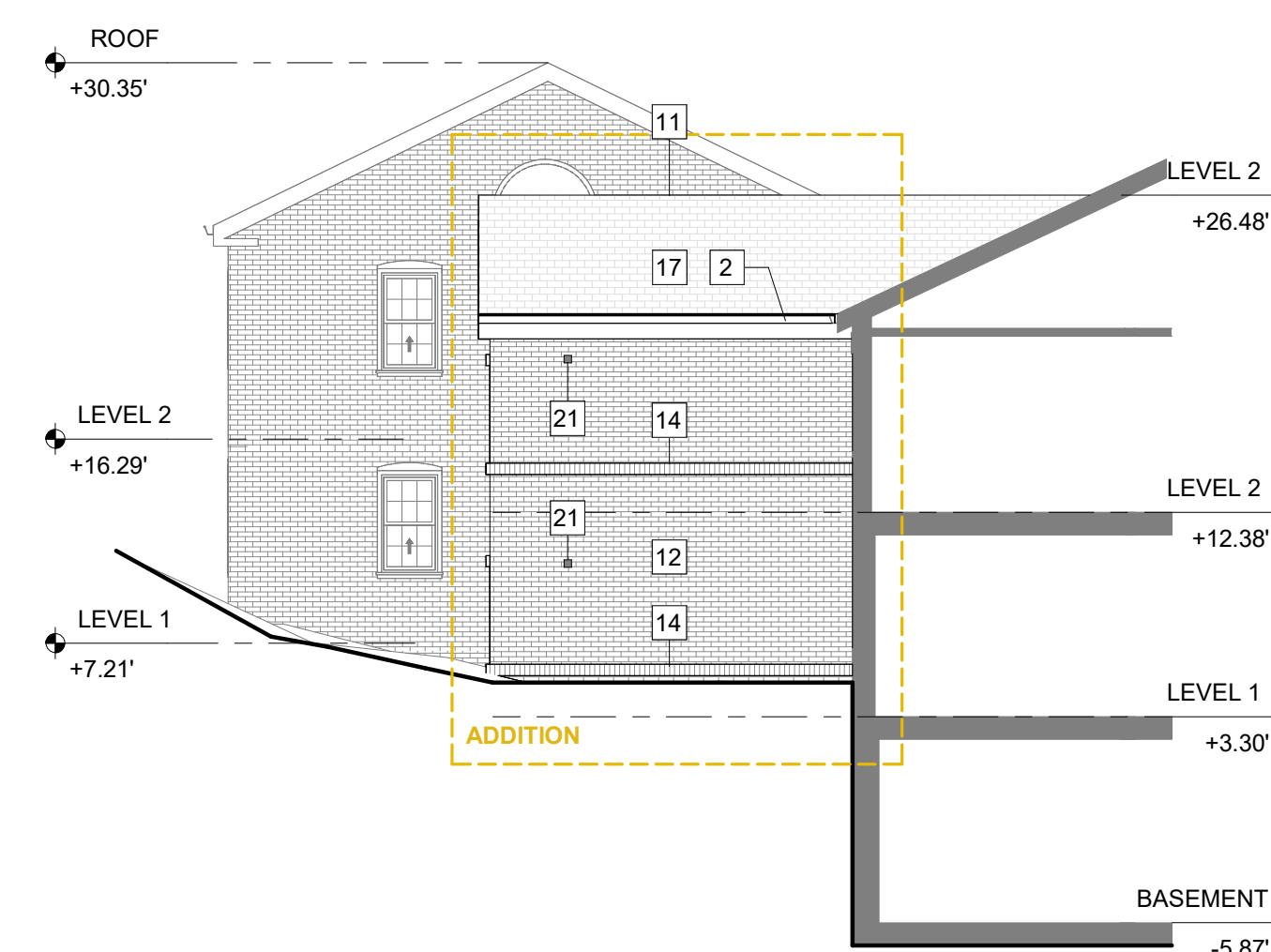
REVISIONS

1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE:	03/01/23
PROJECT NO.:	2022-054
DRAWN BY:	EOP / AL
CHECKED BY:	MF



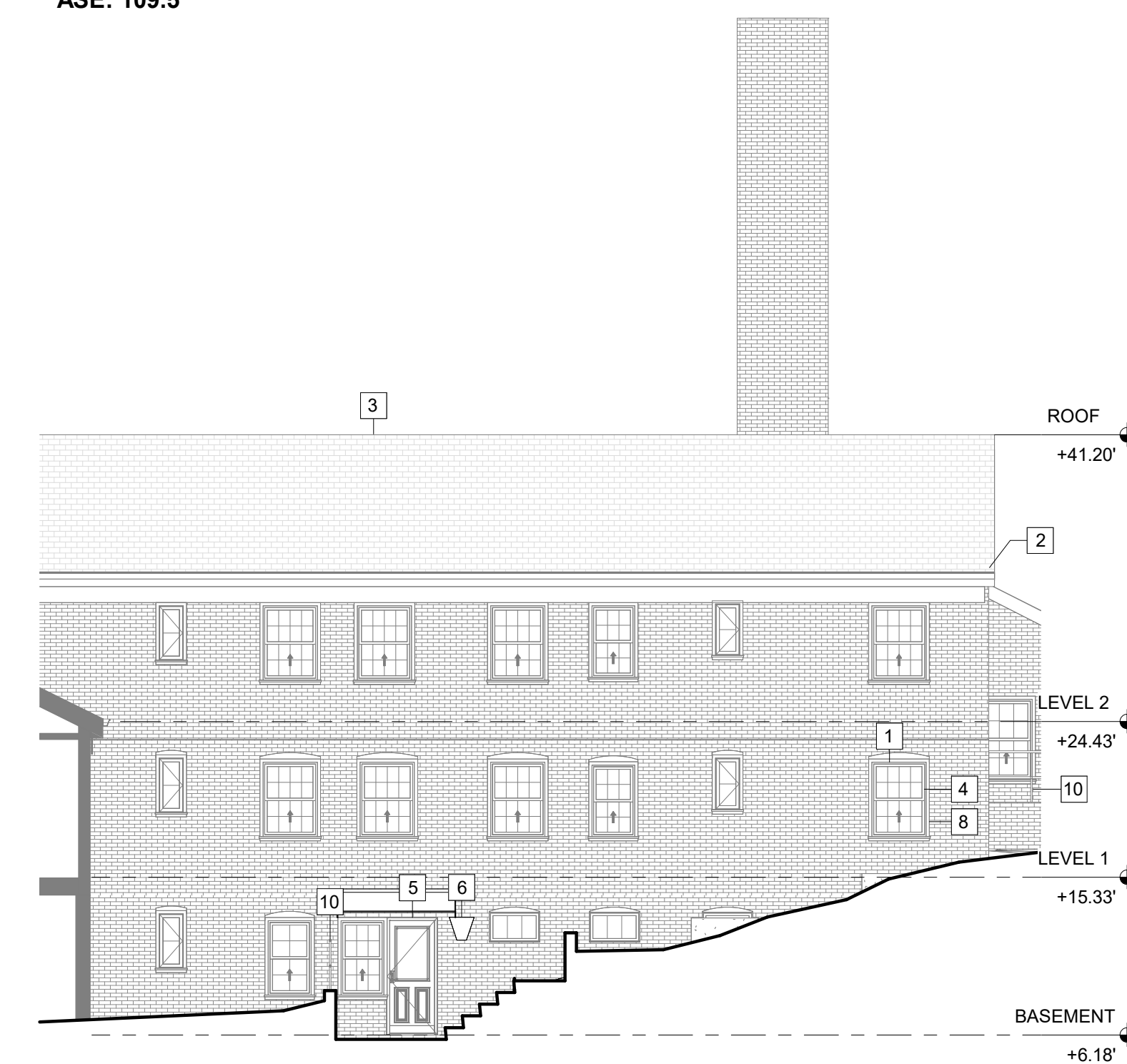
3 BLDG 26 - ELEVATION E  
A36 1/8" = 1'-0"  
ASE: 109.5'



4 BLDG 26 - ELEVATION F  
A36 1/8" = 1'-0"  
ASE: 109.5'



1 BLDG 26 - ELEVATION C  
A36 1/8" = 1'-0"  
ASE: 109.5'



2 BLDG 26 - ELEVATION D  
A36 1/8" = 1'-0"  
ASE: 109.5'

**GENERAL NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR INFILL DAMAGED BRICK, CONCRETE, AND TRIM. POINT-UP MORTAR TO MATCH EXISTING;
2. GC TO COORDINATE WITH MEP ON ALL NEW HVAC INSTALLATION WORK;
3. INSTALL WATERPROOFING UP TO FINISHED GRADES FOR ALL PERIMETER WALLS OF FINISHED AND UNFINISHED SPACES WHERE EVIDENCE OF WATER, MOISTURE, OR MILDEW IS PRESENT;
4. REMOVE ALL ABANDONED AND NON-OPERABLE EQUIPMENT, DEVICES AND ACCESSORIES;
5. REPAINT EXISTING EXTERIOR STEEL PRODUCTS, POWDER COAT, GALVANIZE OR ROVIDE AN EXTERIOR STEEL PAINT THAT CAN ACHIEVE A MINIMUM 10-YEAR MATERIAL WARRANTY;
6. BRICK REPAIR FOLLOWING REMOVAL OF PTACHVAC UNIT TO MATCH EXISTING SIZE, SHAPE, COLOR AND TEXTURE OF THE ADJACENT BRICK AND MORTAR.

**\*NOTE:**  
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ELEVATIONS IN FIELD MAY VARY (+/- 1') FROM WHAT IS SHOWN IN THESE DRAWINGS.  
ELEVATIONS TO BE VERIFIED IN FIELD.

**KEYED NEW WORK ELEVATION NOTES**

1. REPLACE AND/OR PRIME AND PAINT ALL CORRODED METAL LINTELS, OR THOSE NOT ALREADY PAINTED;
2. REPLACE IN KIND GUTTERS AND DOWNSPOUTS, TYP.
3. REPAIR SLATE TILES (MATCH SIZE, SHAPE, COLOR, AND TEXTURE) AND ASSOCIATED UNDERLAYMENT WHERE NECESSARY;
4. EXISTING WINDOWS TO REMAIN, CLEAN AS NECESSARY TYP.
5. REPAIR BUILDING EXTERIOR ENTRY DOORS AS NECESSARY (PAINT, HARDWARE, ETC.), TYP.
6. PROVIDE & INSTALL NEW EXTERIOR LIGHT TO MATCH EXISTING COLONIAL REVIVAL-STYLE LANTER; SEE SCHEDULE FOR MORE INFORMATION, TYP.
7. PROVIDE & INSTALL NEW CANOPY, DESIGN TBD;
8. EXTERIOR WOODEN TRIM TO BE CLAD WITH VINYL, VINYL COATED ALUMINUM, OR SIMILAR MATERIALS;
9. REPAIR AND PAINT EXISTING SHUTTERS AS NECESSARY;
10. PAINT EXISTING RAILING;
11. NEW ADDITION: INSTALL NEW WINDOWS, TRIMS, ROOF AND ROOF ACCESSORIES;

**\*NOTE:**  
ALL ELEMENTS RELATED TO NEW BASEMENT ACCESS (CONCRETE WALLS, RAILINGS, STAIRS, ETC) WILL BE DELETED FROM THE PROJECT. PLANS, ELEVATIONS AND SECTIONS WILL BE UPDATED FOR THE FINAL SUBMISSION.

12. NEW BRICK WALL TO MATCH EXISTING COLOR;
13. NEW BRICK WALL, SIZE AND COLOR TBD;
14. NEW BRICK MOULDING, SIZE AND COLOR TBD;
15. NEW METAL RAILING, COLOR TO MATCH EXISTING (BLACK);
16. NEW CONCRETE RETAINING WALL, FINISH TBD;
17. NEW SLATE ROOF, SIZE, SHAPE, COLOR, AND TEXTURE TO MATCH EXISTING;
18. NEW WINDOW, SIZE SUBJECT TO CHANGE, AND FINISH TBD;
19. NEW CONCRETE STAIR, LOCATION, WIDTH AND NUMBER OF STEPS SUBJECT TO CHANGE;
20. NEW ATTIC VENT, DESIGN AND LOCATION TBD;
21. NEW BRICK VENT PENETRATIONS (HVAC, BATHROOM EXHAUST), EXACT SIZE AND LOCATION TBD, SEE SHEET A36 FOR TYPICAL NEW PENETRATIONS AT EXISTING BUILDINGS;

- CLIENT
- JAIR LYNCH REAL ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20006
- COUL
- VIKA VIRGINIA, LLC  
8180 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800
- STRUCTURAL
- SILMAN & ASSOCIATES  
1063 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230
- MEP
- SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-55-93

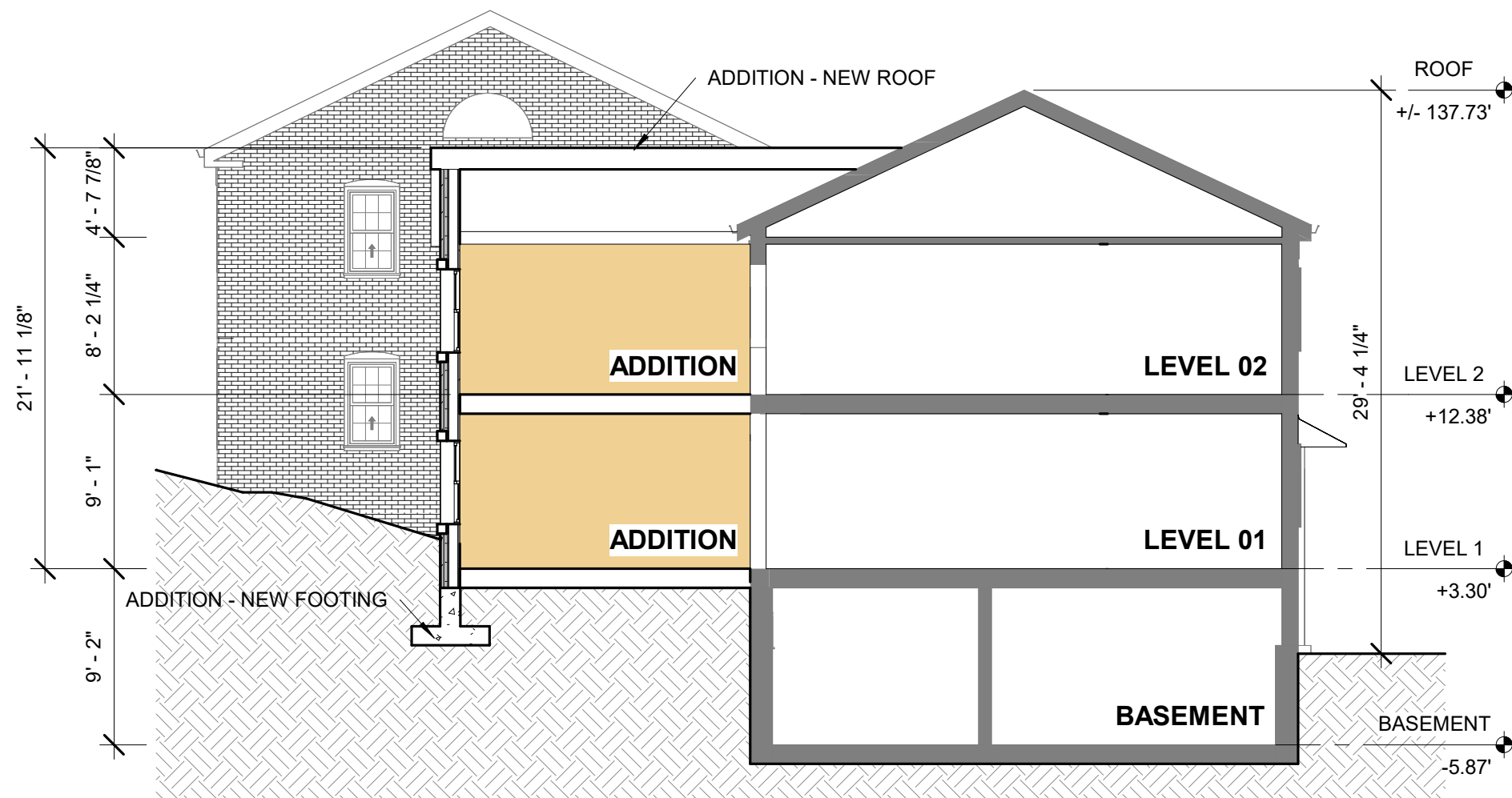
**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

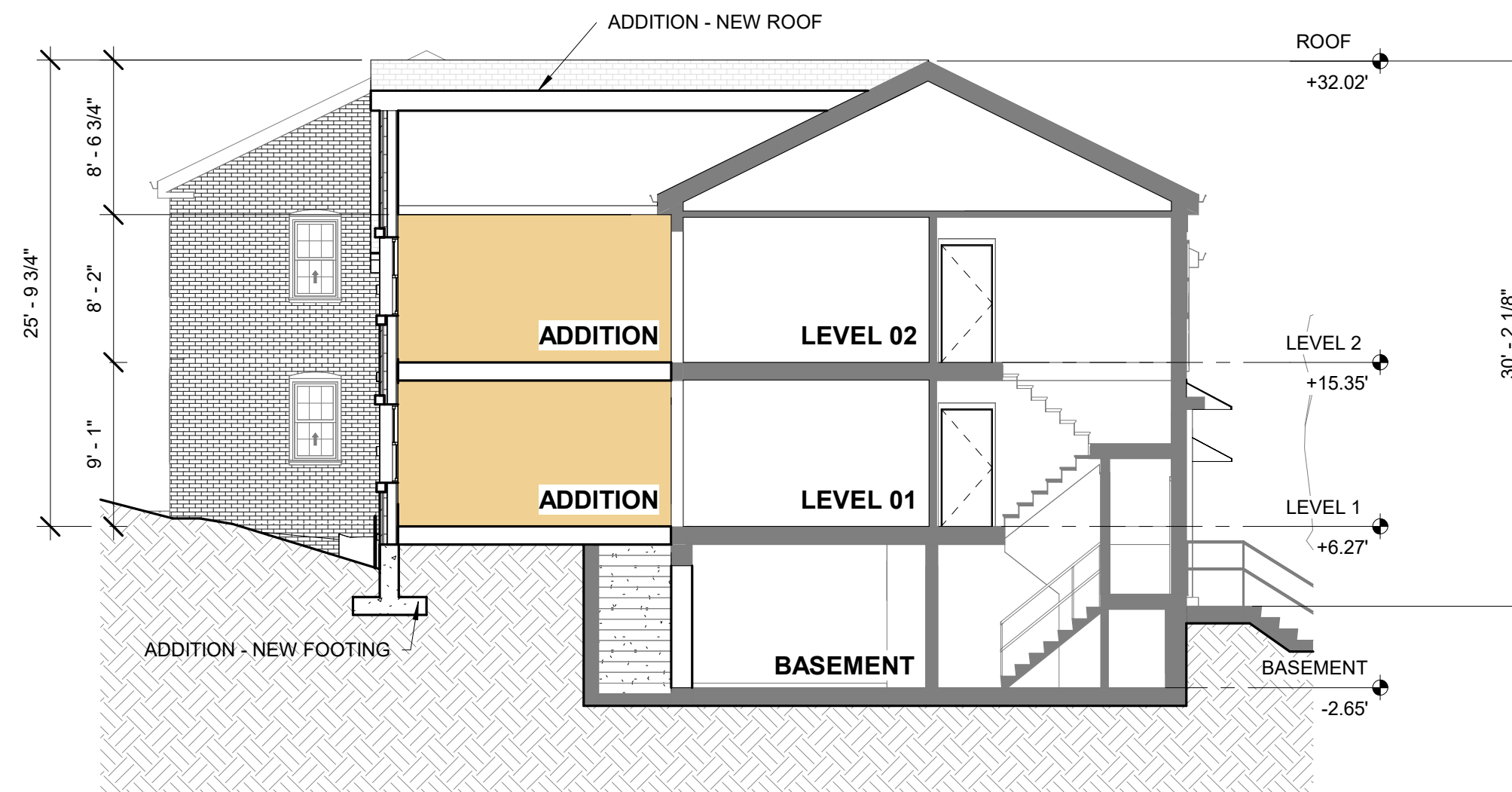
1	SD SUBMISSION	03/15/23
2	DD SUBMISSION	04/28/23
3	USE PERMIT	04/25/23

DATE: 03/01/23  
PROJECT NO.: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF

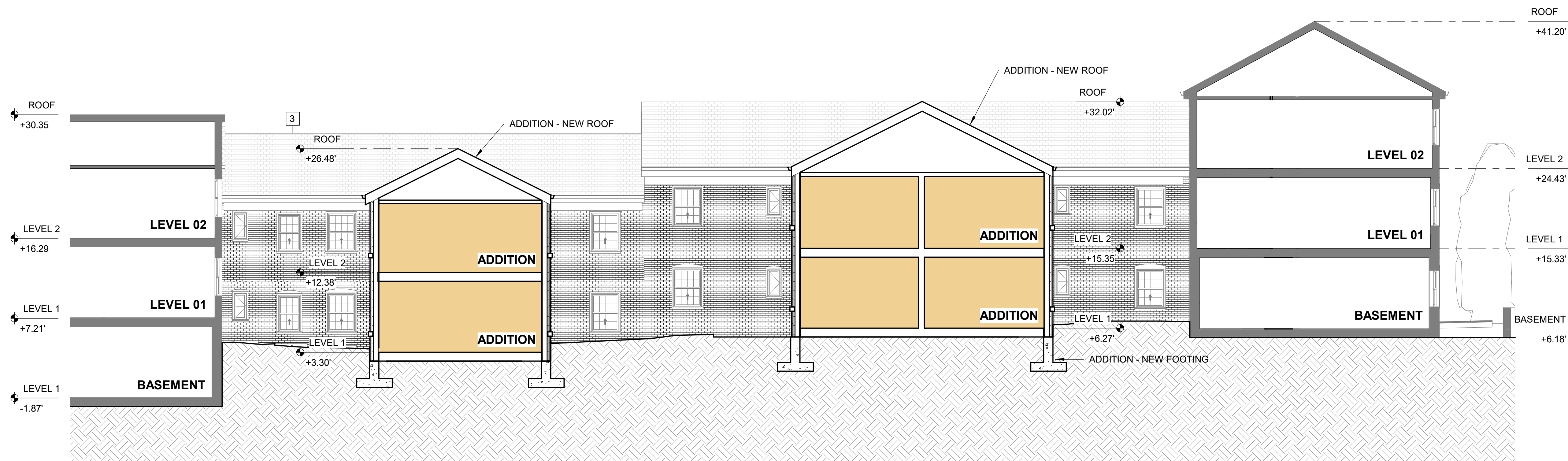
DRAWING SET  
NOT FOR CONSTRUCTION



1 BUILDING 26 - BUILDING SECTION A  
A37 1/8" = 1'-0"



3 BUILDING 26 - BUILDING SECTION C  
A37 1/8" = 1'-0"



2 BUILDING 26 - BUILDING SECTION B  
A37 1/8" = 1'-0"

**\*NOTE:**  
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SUITE 430  
WASHINGTON, DC 20036

CONV  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
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STRUCTURAL  
SILMAN & ASSOCIATES  
1063 31ST STREET NW  
WASHINGTON, DC 20007  
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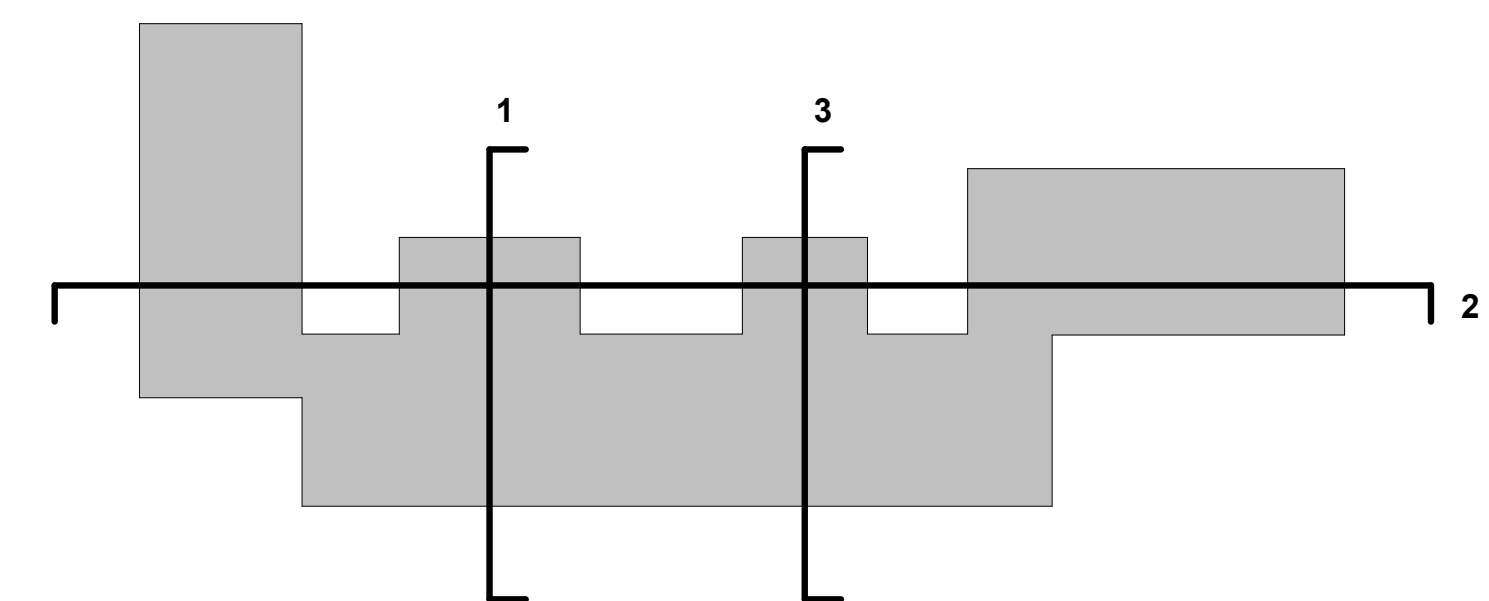
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SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-55-93

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	DD SUBMISSION	04/28/23
2	USE PERMIT	04/25/23

DATE: 04/04/23  
PROJECT NO: 2022-054  
DRAWN BY: EOP / AL  
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DRAWING SET  
NOT FOR CONSTRUCTION

BUILDING 26 - BUILDING SECTION

A37



1  
A38 TYPICAL PENETRATIONS - FRONT FACADE  
1/8" = 1'-0"

\*ALL PENETRATIONS AT ADDRESSES #1401, #1403, #1405, #1407, #1409, #1411, #4409, #4407, #4405, #4403, #1418, #1416, #1414, #1408, #1406, AND #1400 TO BE LOCATED SOLELY ON BACK FACADE.



2  
A38 TYPICAL PENETRATIONS - BACK FACADE  
1/8" = 1'-0"

\*ALL PENETRATIONS AT ADDRESSES #1401, #1403, #1405, #1407, #1409, #1411, #4409, #4407, #4405, #4403, #1418, #1416, #1414, #1408, #1406, AND #1400 TO BE LOCATED ON BACK FACADE.  
\*SIZES AND LOCATIONS SHOWN FOR REFERENCE ONLY.  
\*ACTUAL SIZES AND LOCATIONS TO BE CONFIRMED AT A LATER TIME.  
\*IMPACT ON WINDOW OPERABLE PARTS TO BE CONFIRMED DEPENDING ON FINAL LOCATION AND SIZING.

CLIENT  
JAIR LYNCH REAL  
ESTATE PARTNERS  
1400 16TH STREET NW  
SUITE 430  
WASHINGTON, DC 20036

ARCHITECT  
VIKA VIRGINIA, LLC  
8100 GREENSBORO DR.  
SUITE 200  
TYSONS, VA 22102  
(703) 442-7800

STRUCTURAL  
SILMAN &  
ASSOCIATES  
1063 31ST STREET NW  
WASHINGTON, DC 20007  
(202) 336-6230

MEP  
SUMMIT ENGINEERS  
5307 LEE HIGHWAY  
ARLINGTON, VA 22207  
(703) 553-5593

**BARCORFT - PHASE 1**  
**USE PERMIT**  
ARLINGTON COUNTY, VIRGINIA

REVISIONS

1	USE PERMIT	04/25/23

DATE: 04/04/23  
PROJECT NO: 2022-054  
DRAWN BY: EOP / AL  
CHECKED BY: MF

DRAWING SET  
NOT FOR CONSTRUCTION

TYPICAL PENETRATIONS  
LOCATIONS

A38