

# 1129 NORTH UTAH STREET

1129 NORTH UTAH STREET

SITE PLAN 4.1

ARLINGTON COUNTY, VIRGINIA



## DEVELOPMENT TEAM

**ENGINEER:**  
WALTER L. PHILLIPS, INC.  
207 PARK AVENUE  
FALLS CHURCH, VA 22046  
703-532-6163  
KWWHITE@WLPINC.COM  
ATTN: KAREN WHITE, P.E.

**OWNER:**  
1129 N UTAH LLC  
1355 BEVERLY ROAD  
SUITE 330  
MCLEAN, VA 22101  
202-439-3031  
RMALM@CRAFTMARKHOMES.COM  
ATTN: ROBBY MALM

**DEVELOPER:**  
BEACONCREST HOMES  
1355 BEVERLY ROAD  
SUITE 330  
MCLEAN, VA 22101  
202-439-3031  
RMALM@CRAFTMARKHOMES.COM  
ATTN: ROBBY MALM

## SHEET INDEX

0001 COVER SHEET

### ARCHITECTURAL

A2.00 AREA TABULATIONS  
A3.00 GROUND FLOOR PLAN  
A3.01 SECOND FLOOR PLAN  
A3.02 THIRD FLOOR PLAN  
A3.03 ATTIC FLOOR PLAN  
A4.00 FRONT ELEVATION - WEST  
A4.01 RIGHT ELEVATION - SOUTH  
A4.02 REAR ELEVATION - EAST  
A4.03 LEFT ELEVATION - NORTH  
A5.00 BUILDING SECTIONS  
A7.00 ROOF PLAN  
A8.00 CONCEPT VIEWS  
A8.01 CONCEPT VIEWS - STREET CONTEXT

### CIVIL

C-0301 CERTIFIED SURVEY PLAT  
C-0302 AGRIC. EXHIBIT  
C-0303 CONTEXT PLAN  
C-0401 PLOT AND LOCATION PLAN  
C-0402 PRESENTATION PLAN  
C-0403 STRIPING & MARKINGS PLAN  
C-0404 EXISTING LOT EXHIBIT  
C-0405 COMPARATIVE HEIGHT SECTIONS  
C-0701 PRELIMINARY STORMWATER MANAGEMENT PLAN  
C-0702 SWM & BMP CALCULATIONS  
C-1201 SOIL VOLUME  
C-1301 FIRE MARSHAL PLAN

### LANDSCAPE

L01 EXISTING VEGETATION MAP  
L02 TREE PRESERVATION & PROTECTION PLAN  
L03 LANDSCAPE PLAN  
L04 TREE PRESERVATION DETAILS & NARRATIVE

**WALTER L. PHILLIPS**  
INCORPORATED

Engineers • Surveyors • Planners • Architects  
207 PARK AVENUE  
FALLS CHURCH, VIRGINIA 22046  
(703) 532-6163 Fax (703) 533-1301  
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BOARD LICENSE NO. 1000000000  
DATE 10/26/2023

1129 NORTH UTAH STREET  
4.1 SITE PLAN SUBDIVISION  
ARLINGTON COUNTY, VIRGINIA



SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023
3	SUBMISSION #03	11/20/2023
4	SUBMISSION #04	1/05/2024

SCALE: NONE

SHEET TITLE:

COVER SHEET

SHEET #:

0001













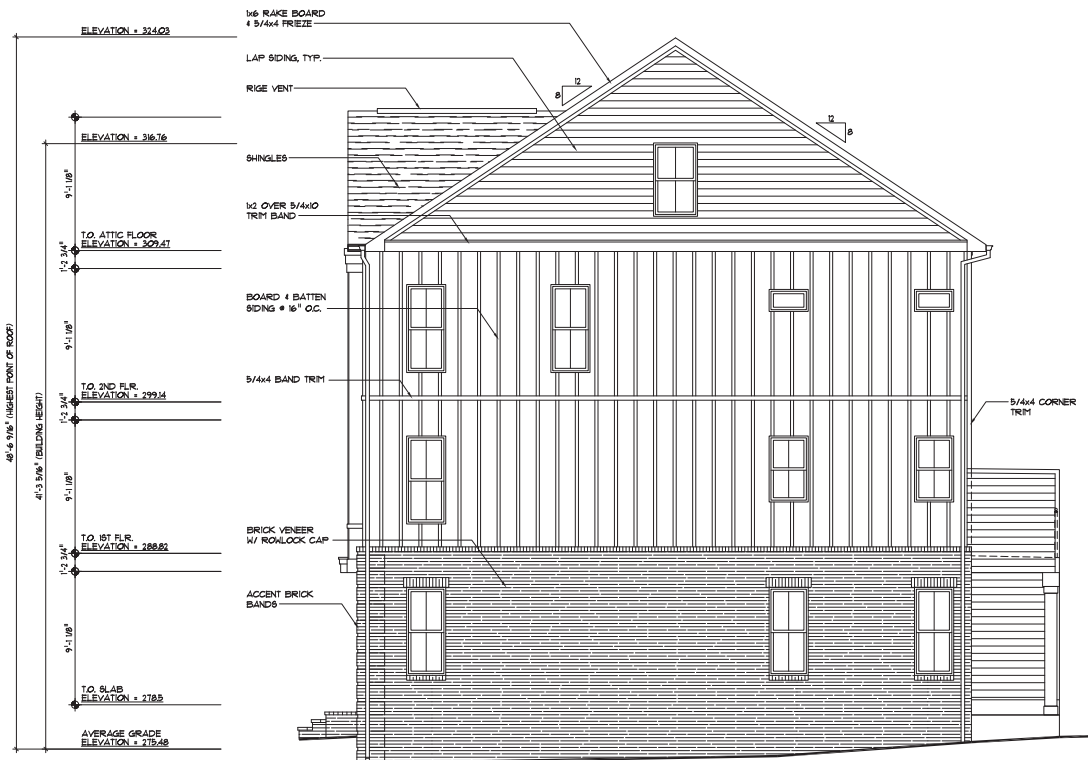
**FRONT ELEVATION - WEST** DISTANCE TO PROPERTY LINE = 19.3'  
 SCALE: 1/4" = 1'-0"

PERCENTAGE OF WALL OPENINGS	
WINDOW AREA	168 SF
WALL AREA	595 SF
OPENING PERCENTAGE	= 28.25%

PERCENTAGE OF WALL OPENINGS	
WINDOW AREA	168 SF
WALL AREA	595 SF
OPENING PERCENTAGE	= 28.25%

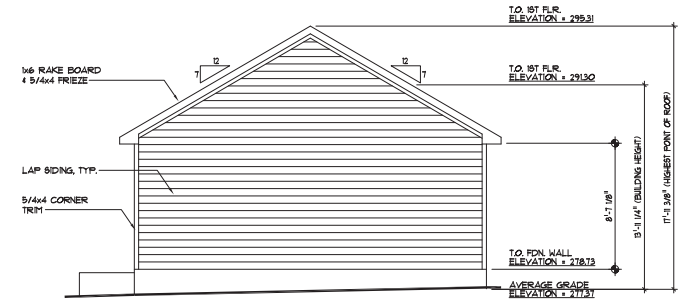
SHEET TITLE: **FRONT ELEVATION - WEST**  
 CLIENT INFORMATION: **BEACONCREST HOMES - 1129 N. UTAH ST.**  
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 08/12/2022  
 REV: / DATE



**RIGHT ELEVATION - SOUTH** DISTANCE TO PROPERTY LINE = 4.6'  
 SCALE: 1/4" = 1'-0"

PERCENTAGE OF WALL OPENINGS	
WINDOW AREA	143 SF
WALL AREA	156 SF
OPENING PERCENTAGE	9.2%



DISTANCE TO PROPERTY LINE = 5'-0" (4' TO EAVE)

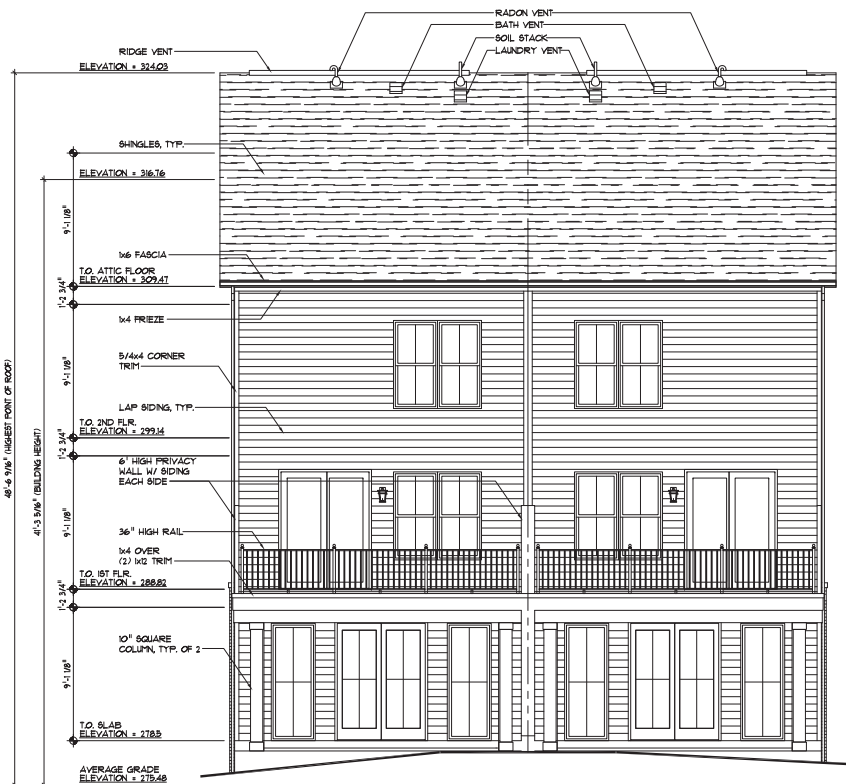
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 CLIENT INFORMATION: **BEACONCREST HOMES - 1129 N. UTAH ST.**  
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949223461  
 SHEET No.

4.01



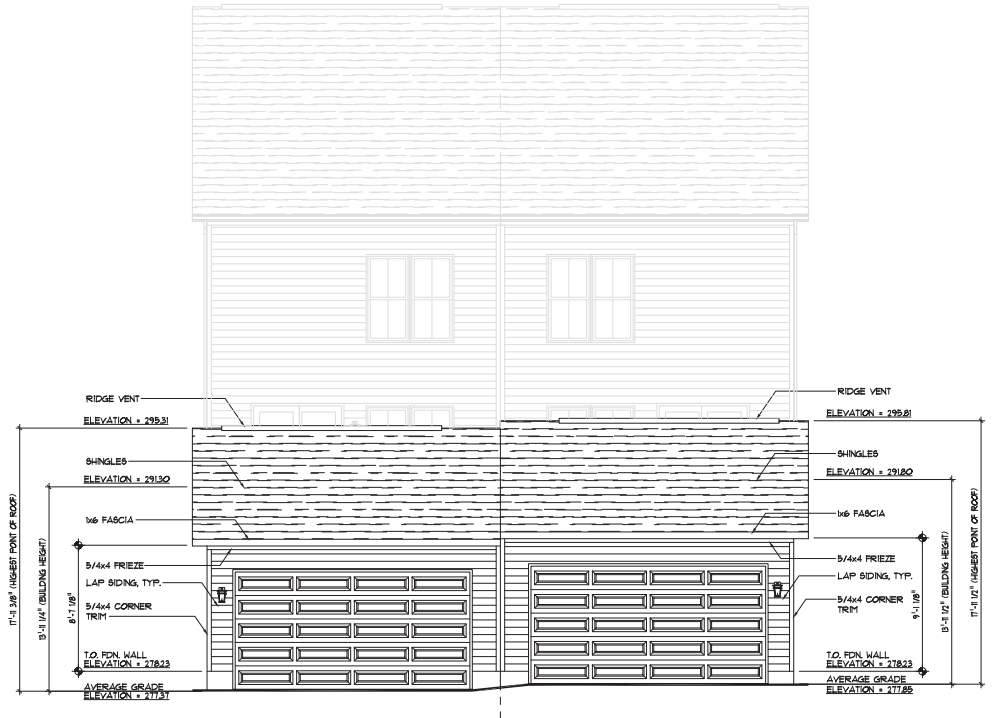


**REAR ELEVATION - EAST (MAIN LIVING)** DISTANCE TO PROPERTY LINE = 58'

SCALE: 1/4" = 1'-0"

PERCENTAGE OF WALL OPENINGS	
WINDOW AREA	234 SF
WALL AREA	595 SF
OPENING PERCENTAGE	39.3%

PERCENTAGE OF WALL OPENINGS	
WINDOW AREA	234 SF
WALL AREA	595 SF
OPENING PERCENTAGE	39.3%



**REAR ELEVATION - EAST (DETACHED GARAGE)** DISTANCE TO PROPERTY LINE = 6' (5' TO EAVE)

SCALE: 1/4" = 1'-0"

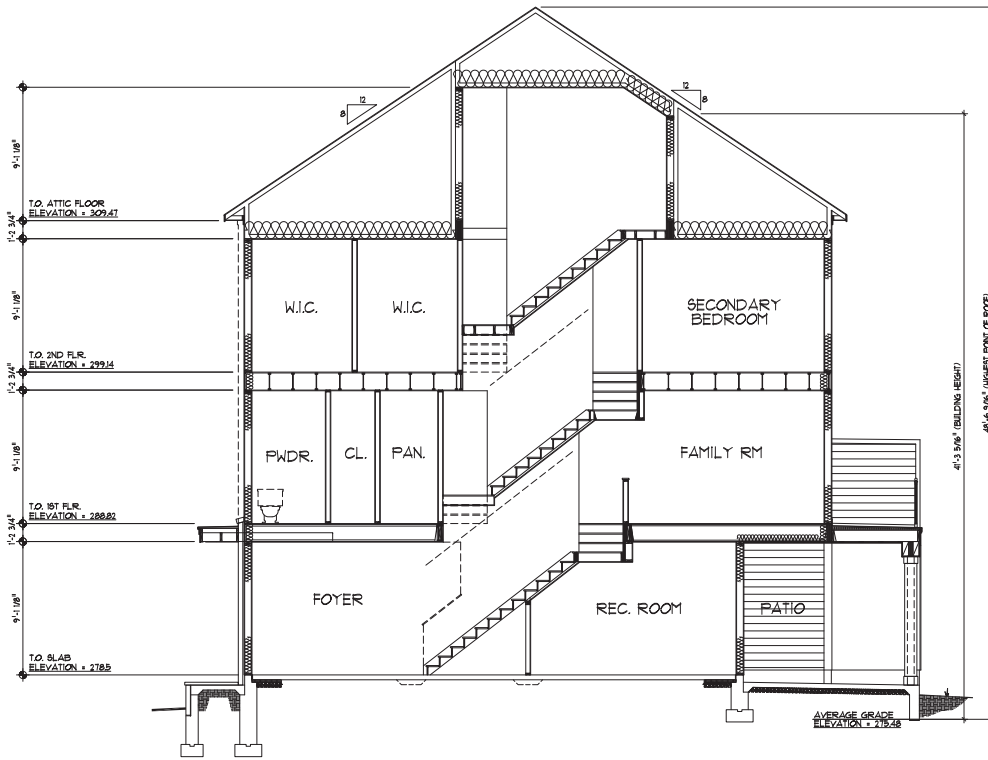
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 CLIENT INFORMATION: **BEACONCREST HOMES - 1129 N. UTAH ST.**  
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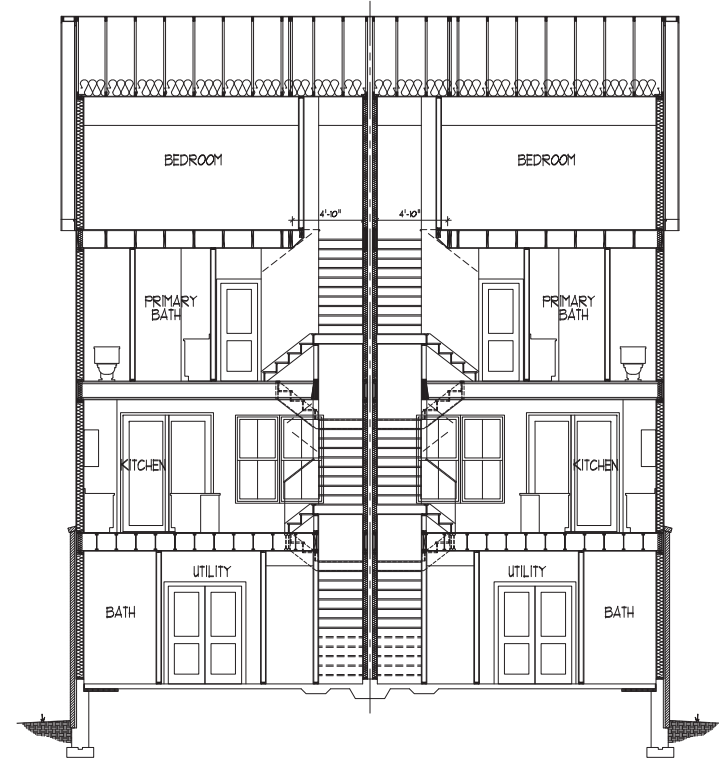
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4.02

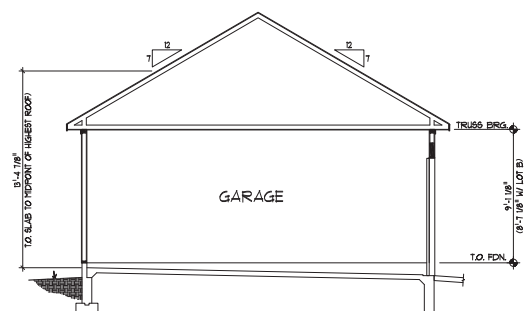




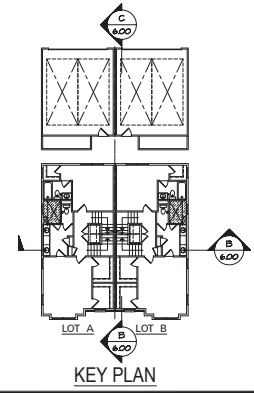
**A BUILDING SECTION AT STAIR**  
SCALE: 1/4" = 1'-0"



**B BUILDING CROSS SECTION**  
SCALE: 1/4" = 1'-0"



**C DETACHED GARAGE SECTION**  
SCALE: 1/4" = 1'-0"



**KEY PLAN**

**Pinnacle Design & Consulting Inc.**  
ARCHITECTURE | ENGINEERING | CONSULTING | INTERIORS  
11150 FAIRFAX BLVD.  
SUITE 402  
FAIRFAX, VA 22030  
703 218-3400  
www.pdc-homes.com



**BUILDING SECTIONS**  
BEACONCREST HOMES - 1129 N. UTAH ST.  
DRAWN BY: WSP  
08/1/2022  
REV. NO. DATE

498223000  
SHEET No. 600







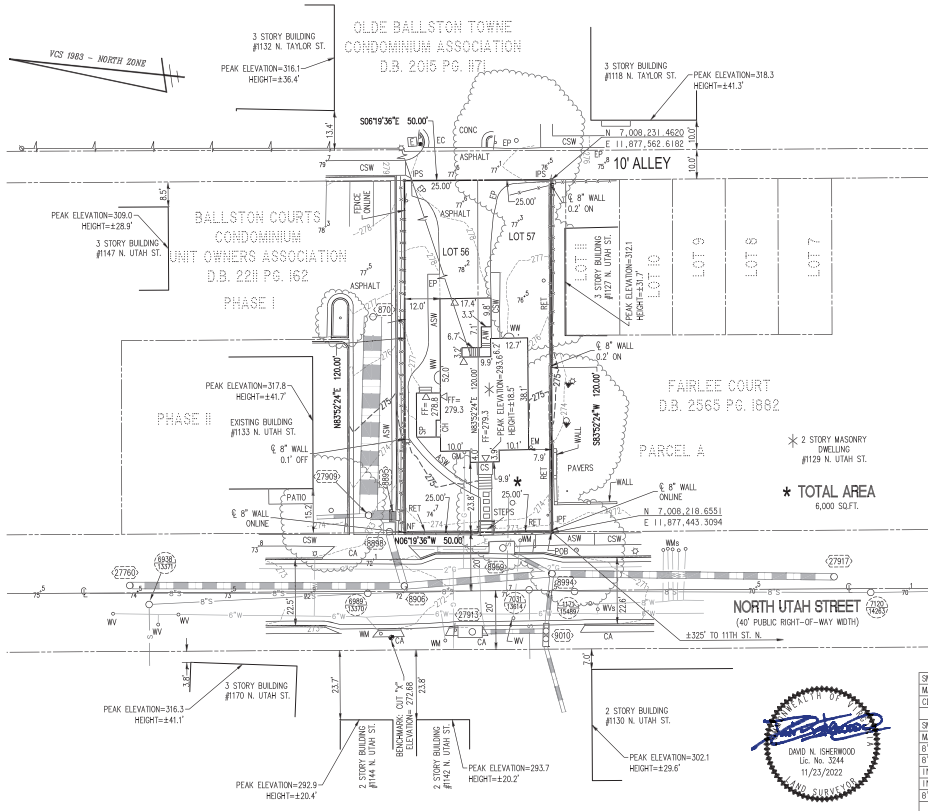
**AREA AND ZONING TABULATION**  
 LOT 56 ..... 3,000 SQ.FT. OR 0.0688 ACRES; ZONED R-15-30T  
 LOT 57 ..... 3,000 SQ.FT. OR 0.0688 ACRES; ZONED R-15-30T  
 TOTAL AREA ..... 6,000 SQ.FT. OR 0.1377 ACRES

**PARKING TABULATION**  
 0 SPACES

**LEGAL DESCRIPTION**

LOTS 56 AND 57, R.C.L. MONCURE'S BALLSTON AS RECORDED IN DEED BOOK 119 AT PAGE 124, ARLINGTON COUNTY, VIRGINIA, MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT IN THE EAST RIGHT-OF-WAY LINE OF NORTH UTAH STREET, SAID POINT BEING THE NORTHWEST CORNER OF PARCEL A, FAIRLEE COURT AS RECORDED IN DEED BOOK 2565 AT PAGE 1882; THENCE WITH THE EAST RIGHT-OF-WAY LINE OF NORTH UTAH STREET, N 00°19'36" W, 50.00 FEET TO A POINT, SAID POINT BEING THE SOUTHWEST CORNER OF PHASE I, BALLSTON COURTS CONDOMINIUM AS RECORDED IN DEED BOOK 2211 AT PAGE 162; THENCE WITH PHASE I, N 83°52'24" E, 120.00 FEET TO A POINT IN THE WEST RIGHT-OF-WAY LINE OF A PUBLIC ALLEY; THENCE WITH THE WEST RIGHT-OF-WAY LINE OF A PUBLIC ALLEY, S 06°19'36" E, 50.00 FEET TO A POINT, SAID POINT BEING THE NORTHEAST CORNER OF PARCEL A, FAIRLEE COURT; THENCE WITH PARCEL A, S 83°52'24" W, 120.00 FEET TO THE POINT OF BEGINNING AND CONTAINING AN AREA OF 6,000 SQUARE FEET OR 0.1377 ACRES.



**LEGEND**

- ASW ..... ASPHALT SIDEWALK
- AW ..... AREAWAY
- CA ..... CONCRETE APRON
- CH ..... CHIMNEY
- CONC ..... CONCRETE
- CSW ..... CONCRETE SIDEWALK
- DB ..... DEED BOOK
- EC ..... EDGE OF CONCRETE
- EM ..... ELECTRIC METER
- EP ..... EDGE OF PAVEMENT
- FF ..... FIRST/FINISH FLOOR ELEVATION
- GM ..... GAS METER
- INW ..... INVERT
- IPF ..... IRON PIN FOUND (PROPERTY CORNER)
- IPS ..... IRON PIN SET (PROPERTY CORNER)
- PG ..... PAGE
- RCP ..... REINFORCED CONCRETE PIPE
- RET ..... RETAINING WALL
- SD (SD) ..... STORM SEWER STRUCTURE
- SM (SD) ..... SANITARY SEWER STRUCTURE
- SP ..... SCREENED PORCH
- SQ FT ..... SQUARE FEET
- WM ..... WATER METER
- WV ..... WATER VALVE
- WW ..... WINDOW WELL
- FM ..... FIRE METER
- DE ..... DOORWAY/ENTRANCE
- UL ..... UTILITY POLE
- LP ..... LIGHT POLE
- F ..... FENCE
- OW ..... OVERHEAD WIRES
- E ..... UNDERGROUND ELECTRIC LINE
- G ..... UNDERGROUND GAS LINE
- S ..... UNDERGROUND SANITARY LINE
- SS ..... UNDERGROUND SANITARY LATERAL LINE
- SSW ..... UNDERGROUND STORM SEWER LINE
- UWL ..... UNDERGROUND WATER LINE
- T ..... TREE
- LC ..... LIMITS OF TREE CANOPY/VEGETATION
- CG ..... CURB AND GUTTER
- B ..... BOLLARD
- ET ..... ELECTRIC TRANSFORMER
- SE ..... SPOT ELEVATION
- S ..... SLOW
- UM ..... UTILITY MANHOLE

**NOTES**

1. THE PROPERTY SHOWN HEREON APPEARS ON ARLINGTON COUNTY REAL PROPERTY IDENTIFICATION MAP NUMBER 052-08 AS REAL PROPERTY CODE (RPC) 14-019-007 AND IS ZONED R15-30T.
2. THE PROPERTY, CONSISTING OF LOTS 56 AND 57, AS RECORDED IN DEED BOOK 119 AT PAGE 124, IS NOW IN THE NAME OF 1129 N UTAH, LLC, AS RECORDED IN INSTRUMENT NUMBER 20220100011551 AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA.
3. THIS PLAN AND THE SURVEY UPON WHICH IT IS BASED SHOWS ONLY THOSE IMPROVEMENTS THAT ARE OBSERVABLE AND CAN BE LOCATED USING NORMAL SURVEY METHODS. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, MISS UTILITY MARKINGS AND EXISTING RECORDS. THERE ARE NO WARRANTIES, EITHER EXPRESS OR IMPLIED, THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE UNDERGROUND UTILITIES HAVE NOT BEEN PHYSICALLY LOCATED. WATER AND GAS LINE SIZES ARE FROM RECORD INFORMATION.
4. EXISTING SANITARY LATERAL SHOWN FROM ARLINGTON COUNTY REPORT FOR TAP, PERMIT NUMBER 11536, DATED 2/18/48. THE UTILIZATION AND INTERPRETATION OF THIS INFORMATION IS AT USER'S RISK. THE LATERAL WAS NOT FIELD LOCATED.
5. THE PROPERTY IS SERVED BY 5/8" WATER METER PER ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES.
6. TOTAL AREA OF THE PROPERTY IS 6,000 SQUARE FEET OR 0.1377 ACRES.
7. THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR ARLINGTON COUNTY, VIRGINIA, MAP NUMBER 1010300303C, EFFECTIVE DATE AUGUST 19, 2013, DESIGNATES THE PROPERTY AS BEING IN ZONE X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
8. EASEMENTS, CONDITIONS, COVENANTS AND RESTRICTIONS, SHOWN AND/OR NOTED, ARE PER THE TITLE REPORT ISSUED BY STEWART TITLE AND ESCROW, INC. COMMITMENT NUMBER 1699904 DATED MAY 20, 2022.
9. THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY AND IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983, [NAD 83(2011) (EPOCH:2010.0000)] AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY. THE COMBINED FACTOR APPLIED TO THE FIELD DISTANCES TO DERIVE THE REFERENCED COORDINATES IS 0.9999999. THE FOOT DEFINITION USED FOR CONVERSION OF THE MONUMENT COORDINATES AND IN THE PERFORMANCE OF THIS SURVEY IS THE U.S. SURVEY FOOT. CONTOUR INTERVAL IS ONE FEET.
10. THIS SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF DAVID N. ISHERWOOD, L.S., FROM AN ACTUAL [X] GROUND OR [ ] AIRBORNE SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON NOVEMBER 23, 2022; AND THAT THIS PLAN, MAP, OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
11. THIS SURVEY WAS PERFORMED AT THE REQUEST OF BEACON CREST HOMES.
12. THERE ARE NO RESOURCE PROTECTION AREAS ON THE SITE PER ARLINGTON COUNTY CHESAPEAKE BAY PRESERVATION AREA MAP, EFFECTIVE JANUARY 1, 2010.
13. THERE ARE NO HISTORIC DISTRICTS AND/OR STRUCTURES ON THE SITE PER THE ARLINGTON COUNTY HISTORIC SITES AND DISTRICTS MAP.

**AS-BUILT DATA TABLES**

**SANITARY SEWER**

SM# 6938/13371	274.33
MANHOLE TOP +	266.99
CENTERLINE INV	266.99
SM# 6989/13370	272.53
MANHOLE TOP +	266.33
8" INV IN (SM# 6938/13371) +	266.24
8" INV IN (NORTH) +	266.65
INV IN (WEST) +	266.61
INV IN (EAST) +	266.20
8" INV OUT (SM# 7031/13614) +	271.53
MANHOLE TOP +	265.02
8" INV IN (SM# 6989/13370) +	265.12
8" INV IN (WEST) +	265.01
8" INV OUT (SM# 1171/15489) +	267.41
MANHOLE TOP +	264.70
8" INV IN (SM# 7031/13614) +	264.70
8" INV OUT (SM# 7120/14263) +	264.70
PIPE DIAMETERS TAKEN FROM RECORD INFORMATION	

**STORM SEWER**

SD 27909	273.03
MANHOLE TOP +	268.53
15" RCP IN (NORTH) +	268.53
36" RCP IN (EAST) +	268.53
36" RCP IN (SD 8895) +	268.53
SD 8895	272.49
CURB/GRADE INLET TOP +	268.44
36" RCP IN (SD 27909) +	268.44
4" PVC OUT (SD 8895) +	271.31
2.45" WIDE X 0.35" HIGH WEIR	271.31
SD 8898	272.78
MANHOLE TOP +	268.53
4" PVC (SD 8895) +	268.53
36" RCP IN (SD 8895) +	268.53
27" RCP OUT (SD 8906) +	268.31
SD 8906	272.24
MANHOLE TOP +	267.99
27" RCP IN (SD 27760) +	267.99
27" RCP IN (SD 8898) +	267.99
27" RCP OUT (SD 8954) +	267.99

\*INVERT TAKEN FROM RECORD INFORMATION

**WALTER L. PHILLIPS INCORPORATED**  
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 WWW.WLPHINC.COM

**1129 NORTH UTAH STREET**  
 4:1 SITE PLAN SUBDIVISION  
 ARLINGTON COUNTY, VIRGINIA

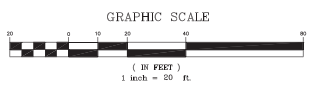
**SUBMISSIONS**

NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023
3	SUBMISSION #03	11/20/2023
4	SUBMISSION #04	1/05/2024

SCALE: 1" = 20'  
 SHEET TITLE:

**CERTIFIED SURVEY PLAT**

SHEET #:  
**C-0301**





**WALTER L. PHILLIPS INCORPORATED**  
 Engineers • Surveyors • Planners  
 Environmental Scientists • Archeologists  
 207 PARK AVENUE  
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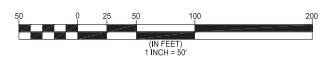


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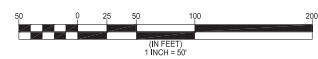
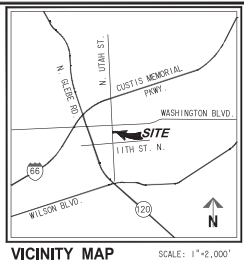
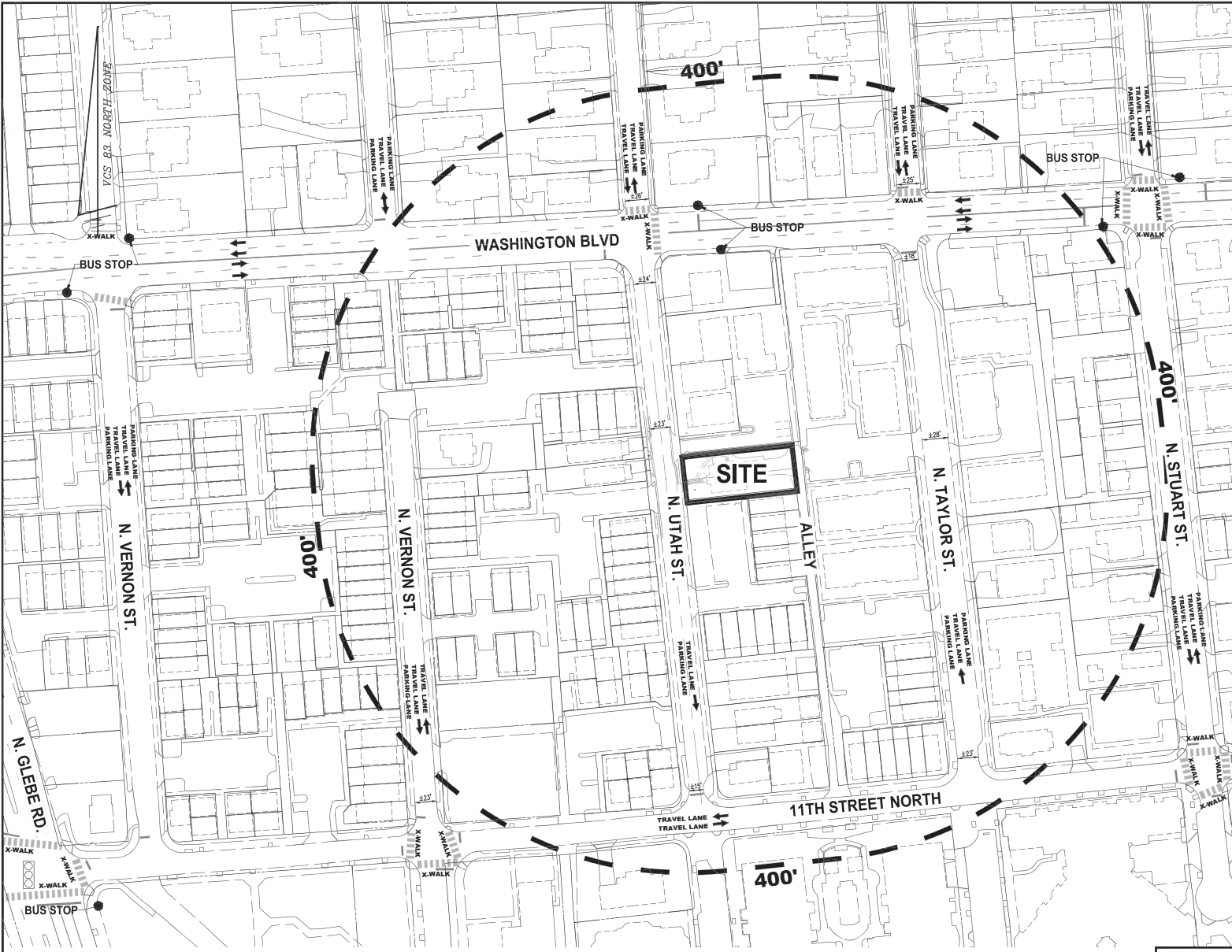
SCALE: 1" = 50'  
 SHEET TITLE:

**AERIAL EXHIBIT**

SHEET #:  
**C-0302**







**WALTER L. PHILLIPS INCORPORATED**  
 ENGINEERS • SURVEYORS • PLANNERS  
 207 PARK AVENUE  
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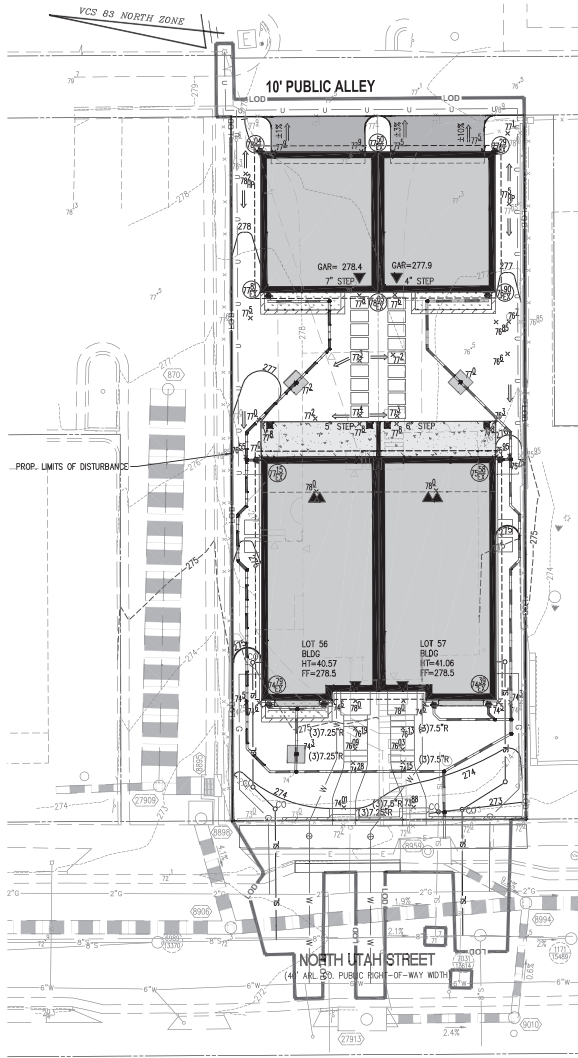
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 DATE: 06/20/23

**1129 NORTH UTAH STREET**  
 4.1 SITE PLAN SUBDIVISION  
 ARLINGTON COUNTY, VIRGINIA

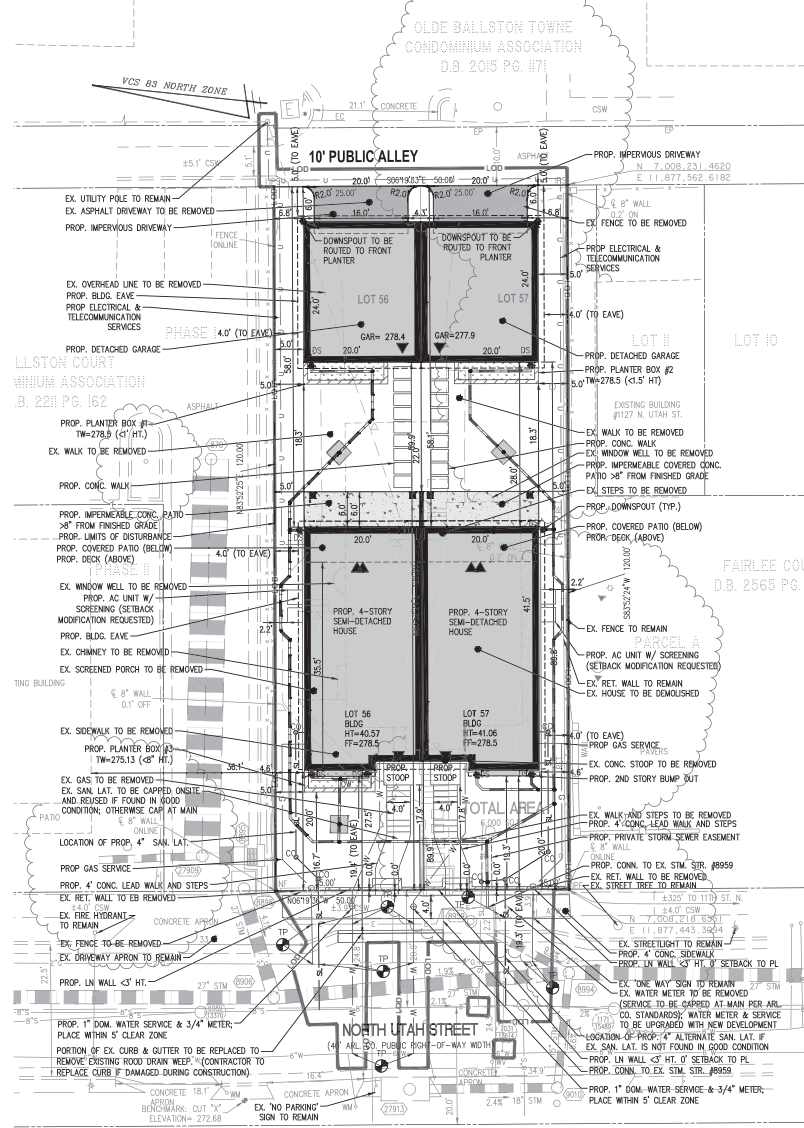


SUBMISSIONS		
NO.	DESCRIPTION	DATE
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4	SUBMISSION #04	1/05/2024

SCALE: 1" = 50'  
 SHEET TITLE:  
**CONTEXT PLAN**  
 SHEET #:  
**C-0303**



**GRADING PLAN**  
SCALE: 1"=10'



**LAYOUT PLAN**  
SCALE: 1"=10'

- NOTES:
1. THERE IS NO RESOURCE PROTECTION AREA ONSITE PER ARLINGTON COUNTY RECORD INFORMATION.
  2. THERE ARE NO HISTORIC STRUCTURES ONSITE PER THE HISTORIC RESOURCES INVENTORY.
  3. MODIFICATION REQUESTED FOR PLANTER BOX, EAVE AND FRONT STOOP FRONT YARD SETBACKS.
  4. MODIFICATION REQUESTED FOR PLANTER BOX AND EAVE SIDE YARD SETBACKS.
  5. MODIFICATION REQUESTED FOR THE FRONT YARD SETBACK FOR THE RETAINING WALL AND STEPS ALONG THE FRONT PROPERTY LINE.

**LEGEND**

PROPOSED	DESCRIPTION	EXISTING
[Symbol]	CURB & GUTTER	[Symbol]
[Symbol]	TRANSITION FROM TO CC-BR TO CC-BR	[Symbol]
[Symbol]	SANITARY SEWER	[Symbol]
[Symbol]	SANITARY LATERAL	[Symbol]
[Symbol]	STORM CLEAN OUT	[Symbol]
[Symbol]	STORM SEWER	[Symbol]
[Symbol]	WATER MAIN	[Symbol]
[Symbol]	FIRE HYDRANT PLUG	[Symbol]
[Symbol]	OVERHEAD WIRES	[Symbol]
[Symbol]	UTILITY POLE	[Symbol]
[Symbol]	UNDERGROUND ELECTRIC	[Symbol]
[Symbol]	TELEPHONE	[Symbol]
[Symbol]	GAS MAIN	[Symbol]
[Symbol]	ELECTRICAL	[Symbol]
[Symbol]	TRANSFORMER	[Symbol]
[Symbol]	HANDICAP RAMP (CG-12)	[Symbol]
[Symbol]	GUARDRAIL FENCE	[Symbol]
[Symbol]	TRAFFIC FLOW	[Symbol]
[Symbol]	LIGHT	[Symbol]
[Symbol]	DOOR	[Symbol]
[Symbol]	TREES	[Symbol]
[Symbol]	CONTOURS	[Symbol]
[Symbol]	SPOT ELEVATION	[Symbol]
[Symbol]	DRAINAGE FLOW DIRECTION	[Symbol]
[Symbol]	TOP OF CURB	[Symbol]
[Symbol]	BOTTOM OF CURB	[Symbol]
[Symbol]	TOP OF WALL	[Symbol]
[Symbol]	BOTTOM OF WALL	[Symbol]
[Symbol]	HIGH POINT	[Symbol]
[Symbol]	TEST PIT	[Symbol]
[Symbol]	LIMITS OF DISTURBANCE	[Symbol]

**ZONING**

TOTAL SITE AREA: 6,000 SF 0.1377 AC

ZONE: R15-307  
SPECIAL EXCEPTION REQUESTED FOR SEMI-DETACHED, TWO-FAMILY DWELLINGS

REQUIRED	PROVIDED
LOT MINIMUM	6,000 SF (LOT 56)
LOT AREA	3,000 SF (LOT 57)
LOT WIDTH MIN.	25.0' (LOT 56)
	25.0' (LOT 57)
HEIGHT (MAIN BUILDING)	45 FT.
HEIGHT (DETACHED GARAGE)	25 FT.
ROOF ELEV. - ASE+ BUILDING HEIGHT	116.76' / 275.48' = 41.28'
ROOF ELEV. - ASE+ BUILDING HEIGHT	291.81' - 277.85' = 13.96' (LOT 56)
	291.31' - 277.37' = 13.94' (LOT 57)

(SEE HEIGHT CALCULATIONS, THIS SHEET)

**SETRBACK REQUIREMENTS:**

MAIN BUILDING	REQUIRED	PROVIDED
FRONT	25' TO PL	19.3' (MOD REQUESTED)
REAR	25' TO PL	58.0'
SIDE	10' + 1/2.5' ABOVE 25'	4.6' (MOD REQUESTED)
	16.48' FOR 41.27' BUILDING	
DETACHED GARAGE	REQUIRED	PROVIDED
FRONT	25' TO PL	19.3' = 88.5'
		LOT 57 = 88.5'
REAR	1' TO PL	LOT 56 = 5.0' TO EAVE
		LOT 57 = 5.0' TO EAVE
SIDE	1' TO PL	LOT 56 = 4.0' TO EAVE
		LOT 57 = 4.0' TO EAVE
		0.0' (MOD REQUESTED)

**COVERAGE REQUIREMENTS:**

MAXIMUM SEX ALLOWED	LOT 56	LOT 57	TOTAL SITE
BUILDING COVERAGE:	1,431 SF	1,431 SF	2,862 SF
VEHICULAR AREA:	- 98.56'	- 98.56'	- 197.12'
COVERAGE:	1,529 SF	1,530 SF	3,059 SF

**PARKING TABULATIONS**

SPACE PER DWELLING UNIT	TOTAL SPACES
REQUIRED	1
PROPOSED	4

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BRAND: DL/SH/CS/SC/EE/WR  
DATE: 10/20/23

**1129 NORTH UTAH STREET**  
4.1 SITE PLAN SUBDIVISION

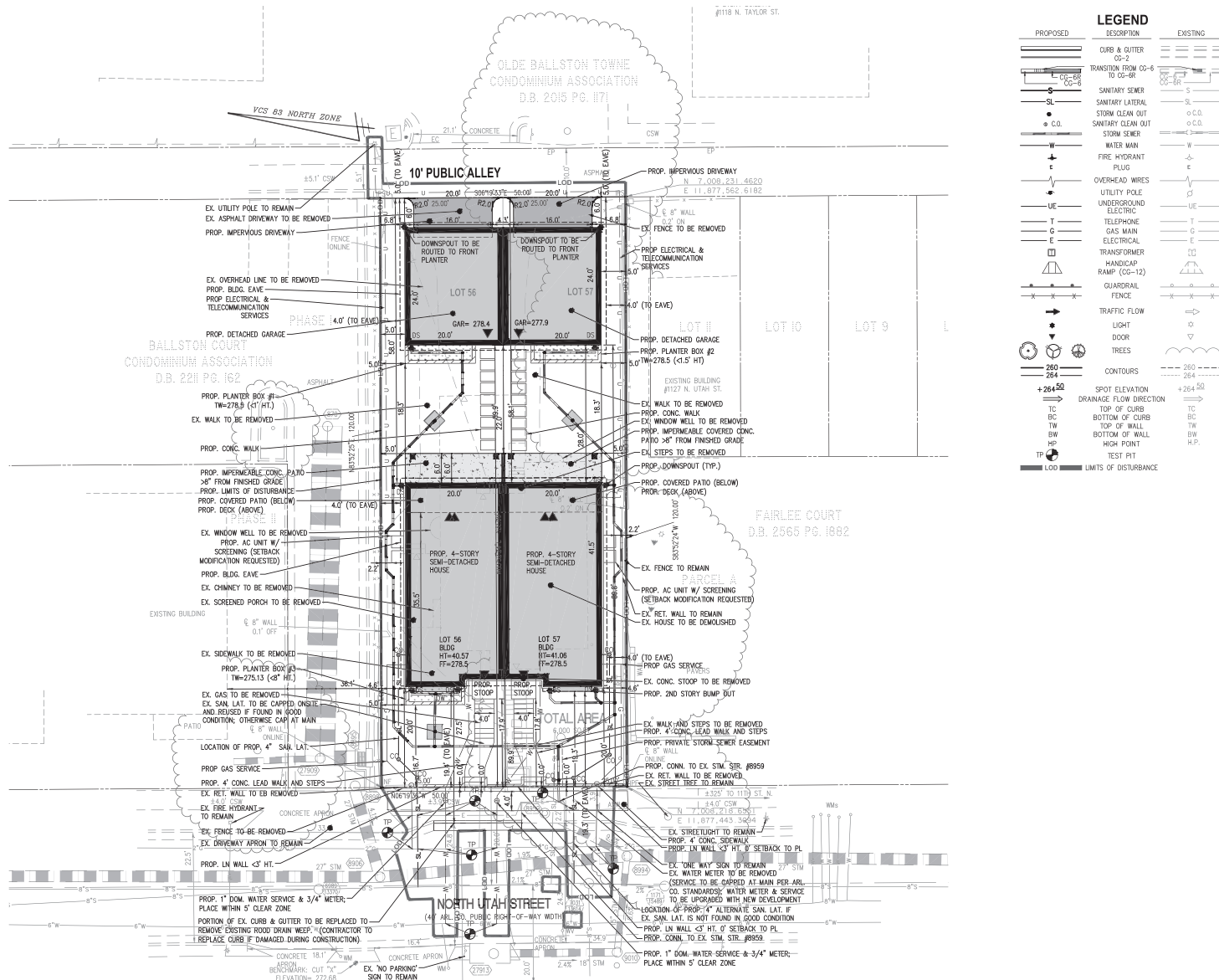
ARLINGTON COUNTY, VIRGINIA



**SUBMISSIONS**

NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023
3	SUBMISSION #03	11/20/2023
4	SUBMISSION #04	1/05/2024

SCALE: 1"=10'  
SHEET TITLE:  
**PLOT AND LOCATION PLAN**  
SHEET #:  
**C-0401**



PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER	
	TRANSITION FROM CC-6 TO CC-BR	
	SANITARY SEWER	
	SANITARY LATERAL	
	STORM CLEAN OUT	
	SANITARY CLEAN OUT	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT	
	PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	TELEPHONE	
	GAS MAIN	
	ELECTRICAL	
	TRANSFORMER	
	HANDICAP RAMP (55-12)	
	GUARDRAIL FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TO TOP OF CURB	
	BC BOTTOM OF CURB	
	TW TOP OF WALL	
	BW BOTTOM OF WALL	
	HP HIGH POINT	
	TP TEST PIT	
	LOD LIMITS OF DISTURBANCE	



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# 1129 NORTH UTAH STREET

## 4.1 SITE PLAN SUBDIVISION

ARLINGTON COUNTY, VIRGINIA

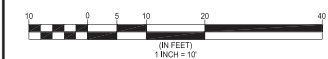


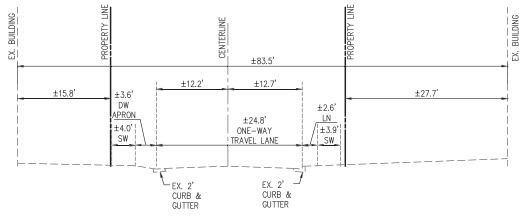
SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023
3	SUBMISSION #03	11/20/2023
4	SUBMISSION #04	1/05/2024

SCALE: 1" = 10'  
 SHEET TITLE:

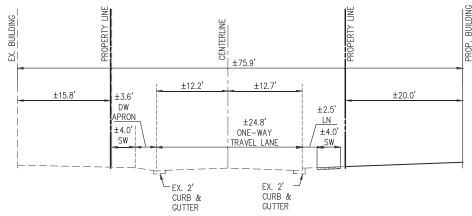
**PRESENTATION PLAN**

SHEET #:  
**C-0402**

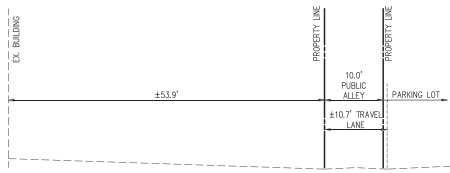




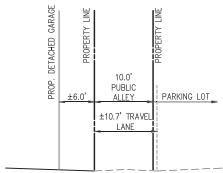
EXISTING NORTH UTAH STREET SECTION A-A  
SCALE: 1"=10'



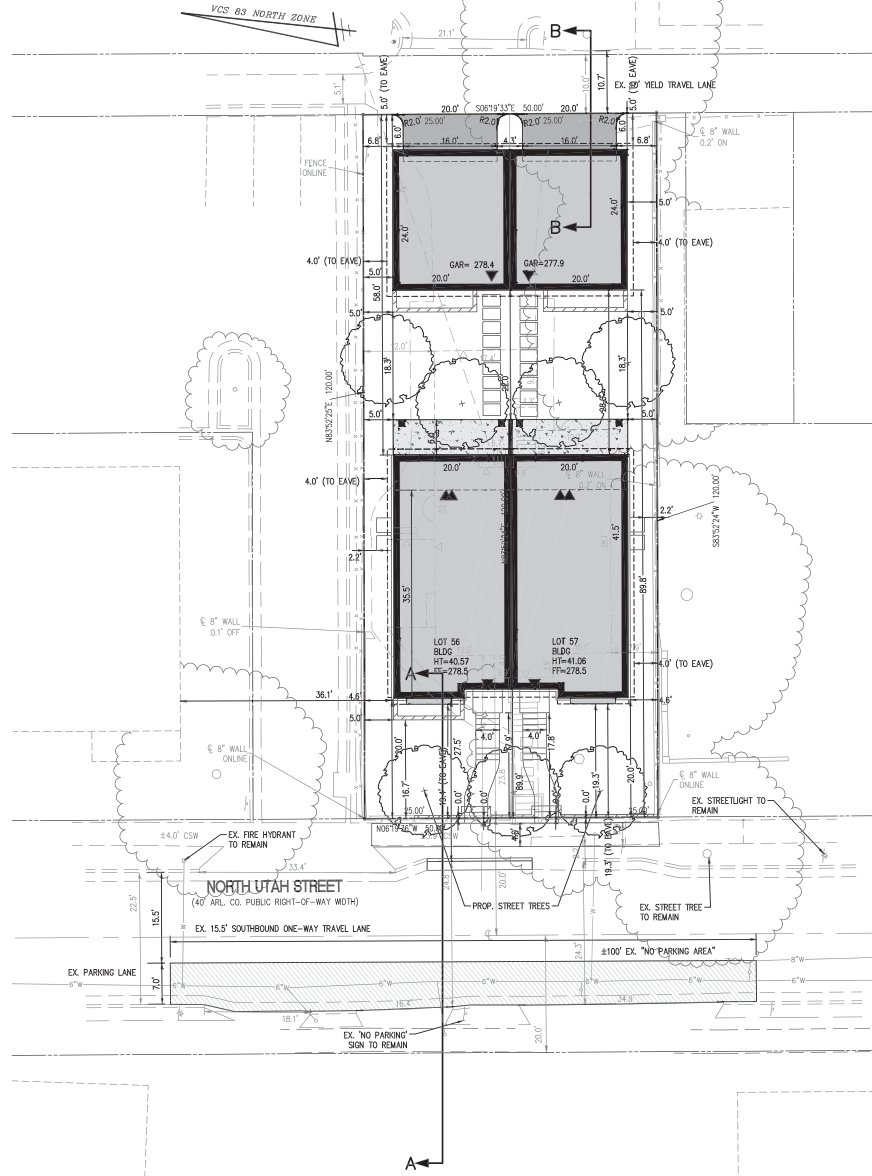
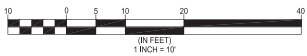
PROPOSED NORTH UTAH STREET SECTION A-A  
SCALE: 1"=10'



EXISTING PUBLIC ALLEY SECTION B-B  
SCALE: 1"=10'



PROPOSED PUBLIC ALLEY SECTION B-B  
SCALE: 1"=10'



PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER	
	SANITARY SEWER	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT	
	PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN	
	TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL	
	FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	BOTTOM OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	TEST PIT	
	LIMITS OF DISTURBANCE	

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ISSUED: 03/14/2023  
DATE: 03/20/2023

**1129 NORTH UTAH STREET**  
4.1 SITE PLAN SUBDIVISION  
ARLINGTON COUNTY, VIRGINIA

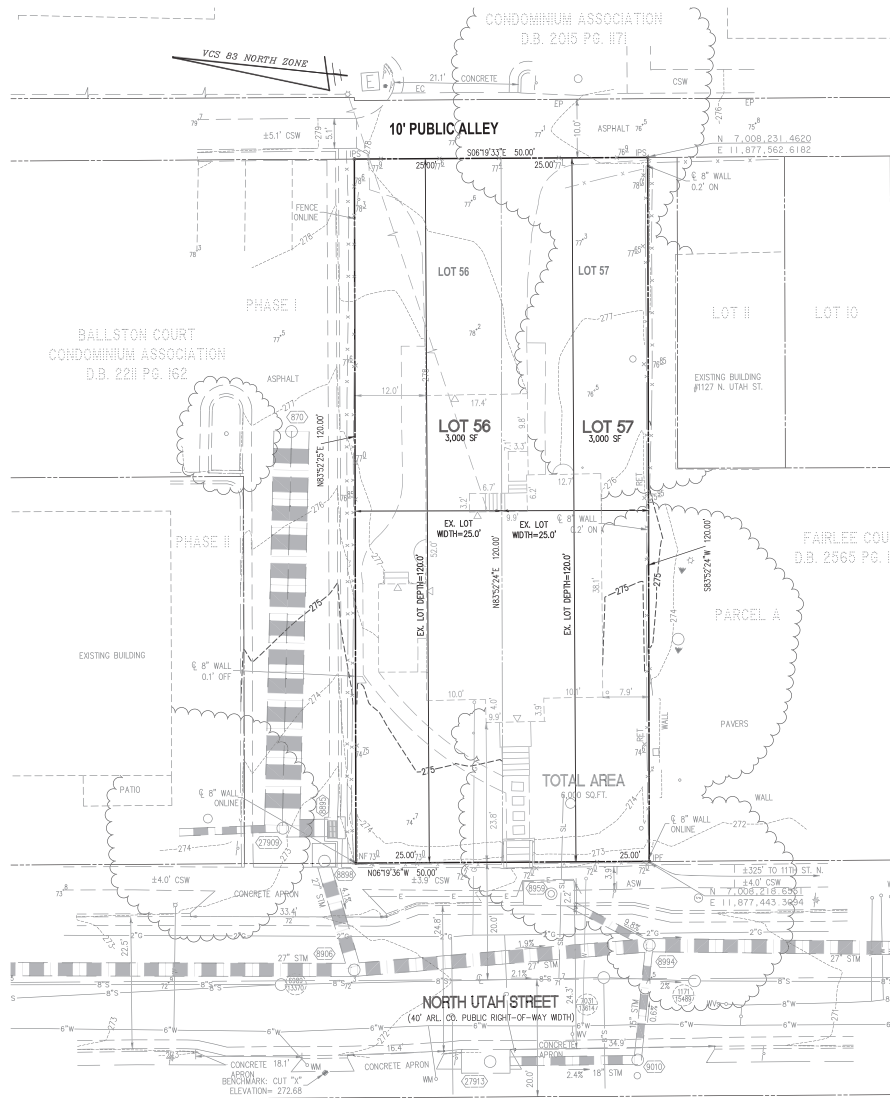


SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023
3	SUBMISSION #03	11/20/2023
4	SUBMISSION #04	1/05/2024

SCALE: 1" = 10'  
SHEET TITLE:

**STRIPING & MARKING PLAN**

SHEET #:  
**C-0403**



**LEGEND**

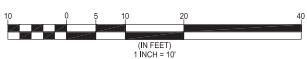
PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER	
	TRANSITION FROM CC-6 TO CC-BR	
	SANITARY SEWER	
	SANITARY LATERAL	
	STORM CLEAN OUT	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN	
	ELECTRICAL TRANSFORMER	
	RAMP (CC-12)	
	QUARTER RAIL FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	BOTTOM OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	TEST PIT	
	LIMITS OF DISTURBANCE	

**LOT AREA TAB**

LOT #	LOT AREA (SQ)	DEPTH (FT)	NET AREA/DEPTH (SQ)	MIDPOINT LOT WIDTH (FT)
56	3,000	120.00	25.00	25.00
57	3,000	120.00	25.00	25.00
TOTAL	6,000			

EX. R.P.C.# 4019007  
NOTE: NO SUBDIVISION IS PROPOSED WITH THIS DEVELOPMENT.

**LOT WIDTH EXHIBIT**  
SCALE: 1"=10'



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ISSUED DATE: 10/05/2024  
DRAWN BY: JSH/CS/SC/EE/WR  
DATE: 10/05/2024

**1129 NORTH UTAH STREET**  
4.1 SITE PLAN SUBDIVISION  
ARLINGTON COUNTY, VIRGINIA



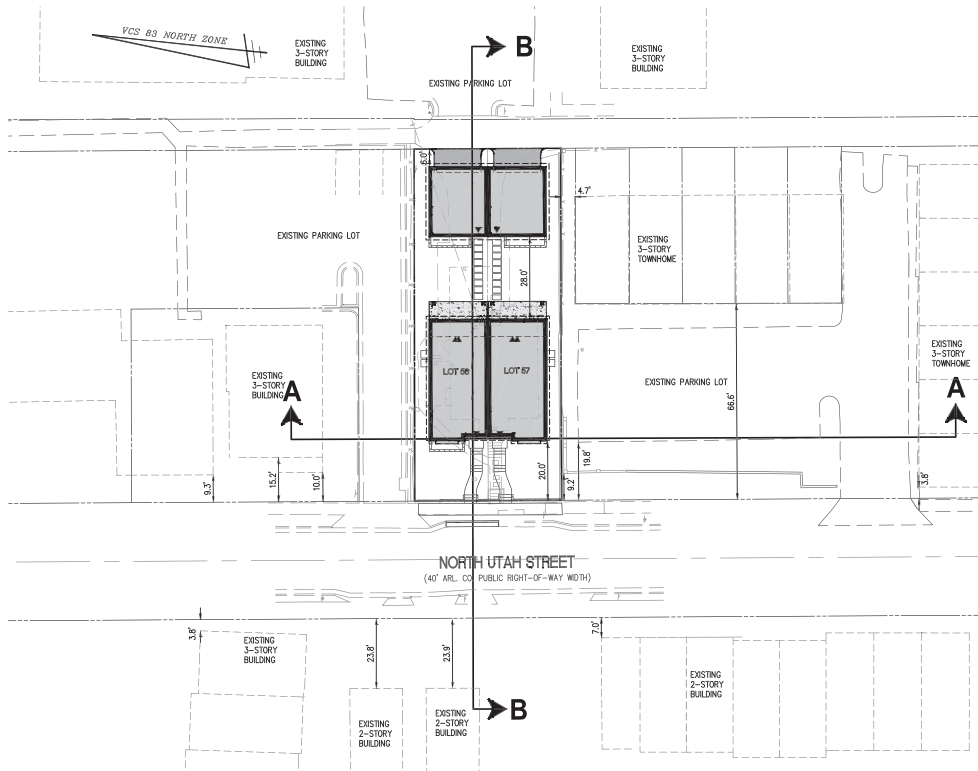
**SUBMISSIONS**

NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
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SCALE: 1" = 10'  
SHEET TITLE:

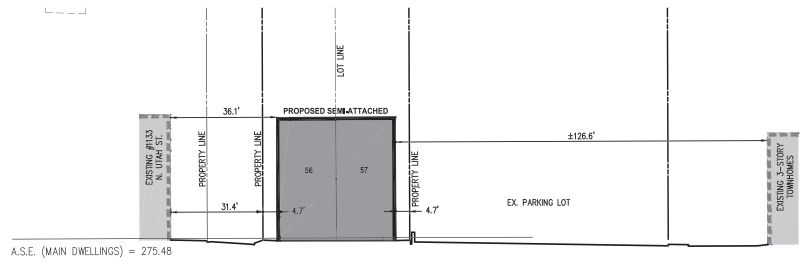
**EXISTING LOT EXHIBIT**

SHEET #:  
**C-0404**

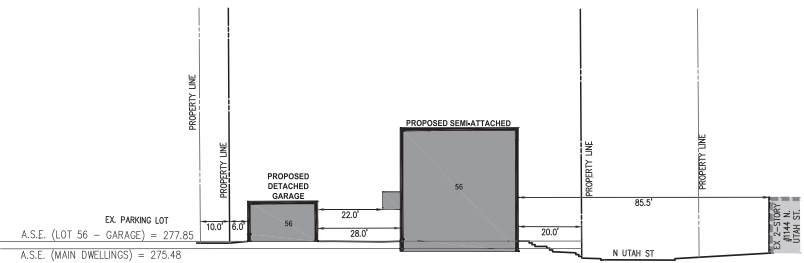


**PLAN VIEW**  
SCALE: 1"=20'

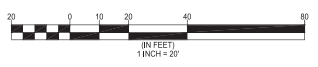
PROPOSED	DESCRIPTION	EXISTING
	CURB & OUTER TO CG-2	
	TRANSITION FROM CG-6 TO CG-8	
	SANITARY SEWER	
	SANITARY LATERAL	
	STORM CLEAN OUT	
	SANITARY CLEAN OUT	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT	
	PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN	
	ELECTRICAL TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	TEST PIT	
	LIMITS OF DISTURBANCE	



**SECTION A-A**  
SCALE: 1"=20'



**SECTION B-B**  
SCALE: 1"=20'



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ISSUED FOR PERMIT  
DATE: 10/20/2023

**1129 NORTH UTAH STREET**  
4.1 SITE PLAN SUBDIVISION  
ARLINGTON COUNTY, VIRGINIA



SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
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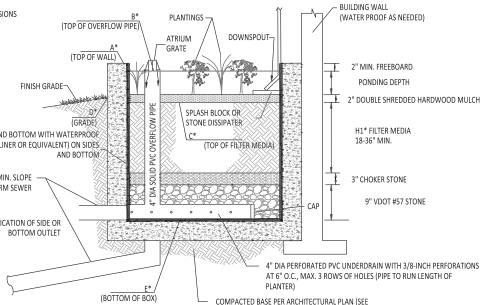
SCALE: 1" = 20'  
SHEET TITLE:  
**COMPARATIVE HEIGHT SECTIONS**  
SHEET #:  
**C-0405**

NOTE: ARLINGTON COUNTY DOES NOT REVIEW THE WATERPROOFING DESIGN AND THE OWNER/DEVELOPER AGREES TO HOLD ARLINGTON COUNTY HARMLESS IN THE EVENT OF FAILURE.

NOTE: WALTER L. PHILLIPS INC. IS NOT RESPONSIBLE FOR WATERPROOFING DESIGN REQUIRED AT BUILDING FOUNDATION. CONTRACTOR AND OWNER TO PROVIDE PROPER WATER PROOFING ESPECIALLY NEAR BMP FACILITIES.

\* SEE CHARTS BELOW FOR DIMENSIONS AND ELEVATION REFERENCES  
SEE BMP SCHEMATIC FOR ORIENTATION AND PLACEMENT

STRUCTURE WALL AND BOTTOM WITH WATERPROOF MEMBRANE (OR MIL PVC LINER OR EQUIVALENT) ON SIDES AND BOTTOM  
6" RIGID SCHED. 40 PVC (MIN. SLOPE 0.5%) TO DOWNSTREAM STORM SEWER  
SEE SCHEMATIC FOR INDICATION OF SIDE OR BOTTOM OUTLET



- NOTES:
- LENGTH (L) AND WIDTH (W) DIMENSIONS MUST BE A MINIMUM OF 2 FEET EACH.
  - NO STORAGE VOLUME CREDITS IS GIVEN FOR THE MULCH LAYER.
  - SEE VIRGINIA'S STORMWATER DESIGN SPECIFICATION NO. 3 FOR ADDITIONAL DESIGN AND CONSTRUCTION INFORMATION.
  - THE PLANTER BOX MAY BE CONTAINED IN A PRECAST CONCRETE, CAST-IN-PLACE CONCRETE OR 6"X6" PRESSURE TREATED WOOD VAULT (WALLS AND BASE). OTHER MATERIALS MAY INCLUDE MOLDED POLYPROPYLENE CELLS AND PRECAST MODULAR BLOCK SYSTEMS (VIRGINIA SOG DESIGN SPECIFICATION NO. 5, SECTION 94.3.1).
  - SINCE PLANTER BOXES ARE LOCATED NEAR THE BUILDING FOUNDATION, WATERPROOFING BY USING A WATER TIGHT CONCRETE SHELL OR AN IMPERMEABLE LINER IS REQUIRED TO PREVENT SEEPAGE.
  - AN ATRIUM GRATE OR EQUIVALENT MAY BE USED FOR THE OVERFLOW ON TOP OF THE PVC STANDPIPE.
  - CONTRACTOR TO ENSURE THAT THE PROPER DOWNSPOUTS DISCHARGE INTO THE PLANTER BOX. RIVER ROCK OR OTHER ENERGY DISSIPATION SHALL BE USED WHERE DOWNSPOUTS DISCHARGE INTO THE PLANTER BOX.
  - FOR PLANTER BOXES ATTACHED TO THE FOUNDATION AND/OR A RETAINING WALL, SEE ARCHITECTURAL PLANS FOR STRUCTURAL DETAILS/REQUIREMENTS.

**IMPERVIOUS AREA CALCULATIONS**

PIPE DEVELOPMENT	PIPE DEVELOPMENT		POST-DEVELOPMENT	
	FOOTING TO ADJACENT (FOA)	FOOTING TO ROW (FOA)	FOOTING TO ADJACENT (FOA)	FOOTING TO ROW (FOA)
ROOF AREA (MAIN BUILDING, ACCESSORY BUILDINGS, SHEDS, COVERED PORCHES, GARAGE)	329	1215	0	2617
VEHICULAR AREA (DRIVEWAY, ROAD, PARKING PADS)	154	682	0	198
PATIOES (PATIOES, IMPERVIOUS DECKS)	0	0	0	240
WALKWAYS (WALKS, STEPS, STOOPS, LANDINGS)	220	284	0	304
MISCELLANEOUS (PORCHES, WINDOW WELLS, WALLS)	7	114	0	107
POOLS (INGROUND POOLS AND HOT TUBS)	0	0	0	0
TOTAL	710	2265	0	3466
FOREST AREA	0	0	0	0
PERVIOUS AREA	478	2510	0	2439
TOTAL	1188	4814	0	6000
CA =	61	86		90

**VRRM practices**

NODAS	1. To Neighboring Practice	Impervious area (SQ)	Perforated area (SQ)	Retention credit (SQ)	Drainage loss credit (SQ)	WQV (FT)
1	N-UPB-1	480	390	39.0	No	38.0
2	N-UPB-2	480	390	39.0	No	38.0
3	N-UPB-3	480	390	39.0	No	34.4

**Soil Storage**

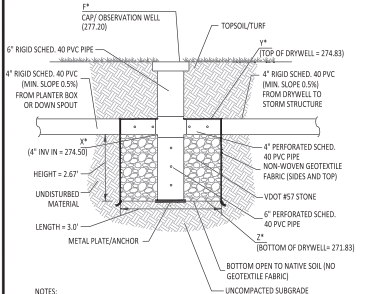
Soil Storage Volume (cu ft)	Gravel Storage Volume (cu ft)	Water Storage Volume (cu ft)	Water Quality Volume (cu ft)	WQV (cu ft)	WQV (inches)
14.6	15.6	182.26	182.26	182.26	182.26
14.6	15.6	182.26	182.26	182.26	182.26
12.0	12.8	120.78	120.78	120.78	120.78

**Elevations**

1 - Top of planter wall	2 - Top of overflow pipe	3 - Top of filter media	4 - Rise grade	5 - Bottom of filter media	6 - Top of gravel storage	7 - Top of gravel storage	8 - Bottom of gravel storage	9 - Invert in driveway
278.50	278.15	277.00	276.00	276.00	276.00	276.00	276.00	276.00
278.50	278.15	277.00	276.00	276.00	276.00	276.00	276.00	276.00
275.15	274.80	273.65	272.65	272.65	272.65	272.65	272.65	272.65

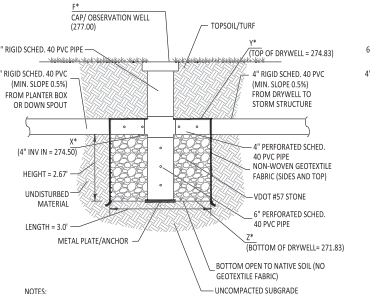
**IMPERVIOUS AREA CALCULATIONS**

PIPE DEVELOPMENT	PIPE DEVELOPMENT		POST-DEVELOPMENT	
	FOOTING TO ADJACENT (FOA)	FOOTING TO ROW (FOA)	FOOTING TO ADJACENT (FOA)	FOOTING TO ROW (FOA)
ROOF AREA (MAIN BUILDING, ACCESSORY BUILDINGS, SHEDS, COVERED PORCHES, GARAGE)	329	1215	0	2617
VEHICULAR AREA (DRIVEWAY, ROAD, PARKING PADS)	154	682	0	198
PATIOES (PATIOES, IMPERVIOUS DECKS)	0	0	0	240
WALKWAYS (WALKS, STEPS, STOOPS, LANDINGS)	220	284	0	304
MISCELLANEOUS (PORCHES, WINDOW WELLS, WALLS)	7	114	0	107
POOLS (INGROUND POOLS AND HOT TUBS)	0	0	0	0
TOTAL	710	2265	0	3466
FOREST AREA	0	0	0	0
PERVIOUS AREA	478	2510	0	2439
TOTAL	1188	4814	0	6000
CA =	61	86		90



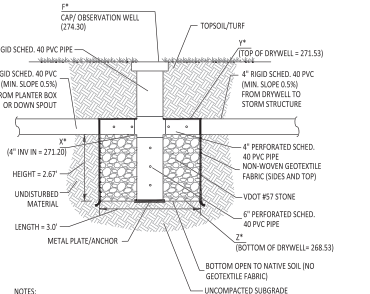
- NOTES:
- MINIMUM SIZE IS 2 FEET LONG BY 2 FEET WIDE BY 2 FEET HIGH.
  - MAXIMUM HEIGHT IS 3 FEET.
  - FACILITIES SHALL BE SET BACK A MINIMUM OF 10 FEET FROM THE PROPERTY LINE FOR A DOWN-GRADE PROPERTY, AND A MINIMUM OF 5 FEET FROM THE PROPERTY LINE FOR AN UP-GRADE PROPERTY.
  - ANCHOR PLATE MUST BE 8" SQUARE METAL PLATE.

**DRYWELL #1 DETAIL**  
N.T.S.



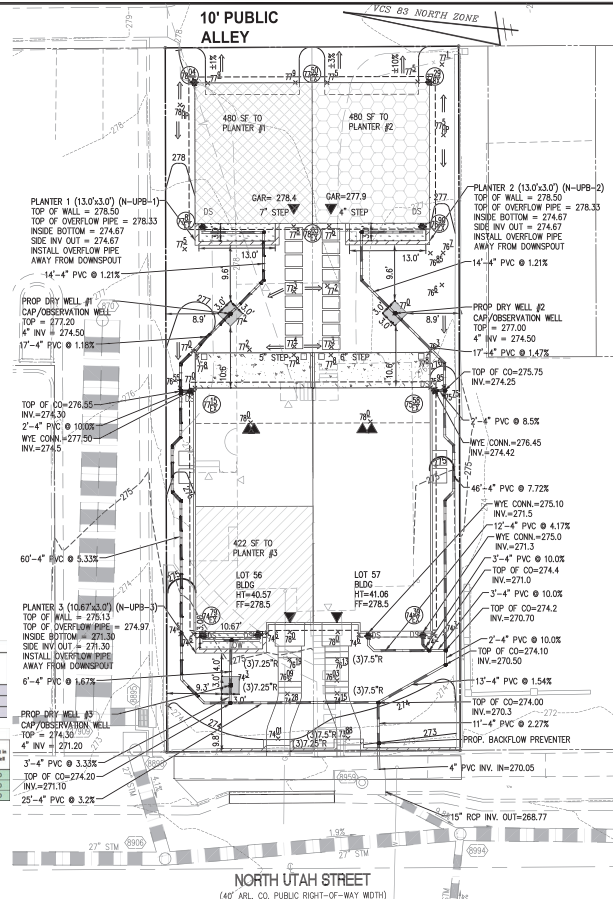
- NOTES:
- MINIMUM SIZE IS 2 FEET LONG BY 2 FEET WIDE BY 2 FEET HIGH.
  - MAXIMUM HEIGHT IS 3 FEET.
  - FACILITIES SHALL BE SET BACK A MINIMUM OF 10 FEET FROM THE PROPERTY LINE FOR A DOWN-GRADE PROPERTY, AND A MINIMUM OF 5 FEET FROM THE PROPERTY LINE FOR AN UP-GRADE PROPERTY.
  - ANCHOR PLATE MUST BE 8" SQUARE METAL PLATE.

**DRYWELL #2 DETAIL**  
N.T.S.



- NOTES:
- MINIMUM SIZE IS 2 FEET LONG BY 2 FEET WIDE BY 2 FEET HIGH.
  - MAXIMUM HEIGHT IS 3 FEET.
  - FACILITIES SHALL BE SET BACK A MINIMUM OF 10 FEET FROM THE PROPERTY LINE FOR A DOWN-GRADE PROPERTY, AND A MINIMUM OF 5 FEET FROM THE PROPERTY LINE FOR AN UP-GRADE PROPERTY.
  - ANCHOR PLATE MUST BE 8" SQUARE METAL PLATE.

**DRYWELL #3 DETAIL**  
N.T.S.



**LEGEND**

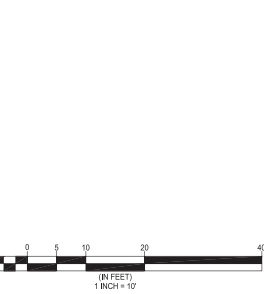
PROPOSED	DESCRIPTION	EXISTING
[Symbol]	CURB & GUTTER	[Symbol]
[Symbol]	TRANSITION FROM CO-6 TO CE-6R	[Symbol]
[Symbol]	SANITARY SEWER	[Symbol]
[Symbol]	SANITARY LATERAL	[Symbol]
[Symbol]	STORM CLEAN OUT	[Symbol]
[Symbol]	STORM SEWER	[Symbol]
[Symbol]	WATER MAIN	[Symbol]
[Symbol]	FIRE HYDRANT	[Symbol]
[Symbol]	PLUG	[Symbol]
[Symbol]	UTILITY POLE	[Symbol]
[Symbol]	UNDERGROUND ELECTRICAL	[Symbol]
[Symbol]	TELEPHONE	[Symbol]
[Symbol]	GAS MAIN	[Symbol]
[Symbol]	TRANSFORMER	[Symbol]
[Symbol]	HANDICAP RAMP (CG-12)	[Symbol]
[Symbol]	GUARDRAIL	[Symbol]
[Symbol]	FENCE	[Symbol]
[Symbol]	TRAFFIC FLOW	[Symbol]
[Symbol]	LIGHT DOOR	[Symbol]
[Symbol]	TREES	[Symbol]
[Symbol]	CONTOURS	[Symbol]
[Symbol]	SPOT ELEVATION	[Symbol]
[Symbol]	DRAINAGE FLOW DIRECTION	[Symbol]
[Symbol]	TOP OF CURB	[Symbol]
[Symbol]	TOP OF WALL	[Symbol]
[Symbol]	BOTTOM OF WALL	[Symbol]
[Symbol]	HIGH POINT	[Symbol]
[Symbol]	TEST PIT	[Symbol]
[Symbol]	LIMITS OF DISTURBANCE	[Symbol]

**OUTFALL NARRATIVE**  
UNDER THE EXISTING CONDITIONS THE SITE OUTFALLS INTO NORTH UTAH STREET TO THE WEST AND THE 10' ALLEY TO THE EAST (ON-90). THE REMAINDER OF THE SITE OUTFALLS TO THE ADJACENT PROPERTY TO THE NORTH (ON-91) UNDER PROPOSED CONDITIONS. THE ENTIRE SITE OUTFALLS TO THE PUBLIC STREET AND PUBLIC ALLEY (ON-90).

SINCE THERE IS NO INCREASE IN RUNOFF ONTO ADJACENT PROPERTIES IT IS OUR OPINION THAT THIS DESIGN MEETS THE PROVISION IN THE ARLINGTON COUNTY STORMWATER GUIDANCE MANUAL FOR THE DEVELOPMENT OF TWO- SINGLE-FAMILY RESIDENCES THAT DISTURB LESS THAN 1 ACRE AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT.

**SWM FACILITIES PRIVATE MAINTENANCE NOTES**  
THE STORMWATER MANAGEMENT FACILITIES SHALL BE PRIVATELY INSPECTED AND MAINTAINED ACCORDING TO COUNTY REQUIREMENTS.

**BMP NARRATIVE**  
THE STORMWATER QUALITY REQUIREMENTS WILL BE MET WITH THE USE OF FOUR URBAN BIURETATION PLANTERS. SEE BMP CALCULATIONS ON SHEET C-0702.



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**1129 NORTH UTAH STREET**  
4.1 SITE PLAN SUBDIVISION  
ARLINGTON COUNTY, VIRGINIA



**SUBMISSIONS**

NO.	DESCRIPTION	DATE
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2	SUBMISSION #02	06/29/2023
3	SUBMISSION #03	11/20/2023
4	SUBMISSION #04	1/05/2024

SCALE: 1" = 10'  
SHEET TITLE: **PRELIMINARY STORMWATER MANAGEMENT PLAN**  
SHEET #:

**C-0701**

Project Name: 1129 N Utah St  
 Date: 6/26/2023  
 CLEAR ALL (Ecology)  
 data input cells constant values calculation cells final result

**Site Information**

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → 0.1377  
 Minimum reduction required: 0.0%  
 The site's net increase in impervious cover (acres) is: 0.2126  
 Post-Development TP Load Reduction for Site (lb/yr): 0.0369

Check:  
 BMP Design Specifications List: 2013 Draft Sids & Seeps  
 Linear project? No ✓  
 Land cover areas entered correct? ✓  
 Total disturbed area entered? ✓

Pre-Development Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) - undisturbed					0.0000
Managed Turf (acres) - disturbed, graded for use or other turf to be			0.0688		0.0688
Impervious Cover (acres)			0.0650		0.0650
					0.1377

Post-Development Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) - undisturbed					0.0000
Managed Turf (acres) - disturbed, graded for use or other turf to be			0.0582		0.0582
Impervious Cover (acres)			0.0796		0.0796
					0.1377

**Constants**

Annual Rainfall (inches)	43
Target Rainfall Excess (inches)	1.00
Total Phosphorus (TP) (mg/L)	0.36
Total Nitrogen (TN) (mg/L)	1.86
Target TP load (lb/acre/yr)	0.41
TP Reduction Factor	0.90

**Runoff Coefficients (R)**

A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.00	0.00	0.00
Managed Turf	0.15	0.20	0.25
Impervious Cover	0.95	0.95	0.95

**LAND COVER SUMMARY - PRE-DEVELOPMENT**

Land Cover Summary - Pre	Land	Adjusted
Pre-Development		
Forest/Open Space Cover (acres)	0.0000	0.0000
Weighted Runoff	0.0000	0.0000
% Forest	0%	0%
Managed Turf Cover (acres)	0.0688	0.0582
Weighted Runoff	0.2300	0.2300
% Managed Turf	50%	46%
Impervious Cover (acres)	0.0650	0.0690
Runoff (Impervious)	0.9500	0.9500
% Impervious	50%	54%
Total Runoff (acres)	0.1377	0.1377
Site R <sub>o</sub>	0.0656	0.0256

**LAND COVER SUMMARY - POST DEVELOPMENT**

Land Cover Summary - Post	Post-Development	Post-Development New Impervious
Forest/Open Space Cover (acres)	0.0000	0.0000
Weighted Runoff	0.0000	0.0000
% Forest	0%	0%
Managed Turf Cover (acres)	0.0582	0.0582
Weighted Runoff	0.2300	0.2300
% Managed Turf	42%	46%
Impervious Cover (acres)	0.0796	0.0690
Runoff (Impervious)	0.9500	0.9500
% Impervious	54%	54%
Total Runoff Site Area (acres)	0.1377	0.1377
ReDev Site R <sub>o</sub>	0.0256	

**Treatment Volume and Nutrient Load**

Pre-Development Treatment Volume (acre-ft)	Post-Development Treatment Volume (acre-ft)	Pre-Development TP Load (lb/yr)	Post-Development TP Load (lb/yr)
0.069	0.0675	0.1887	0.1826
300.2917	327.1833	1.3700	1.4400
0.0522	0.0522		

\*Adjusted land cover Summary:  
 Pre-Development land cover minus previous land cover (Forest/Open Space or Managed Turf) average projected for new impervious cover.  
 Adjusted land cover is consistent with Post-Development average (total) average of new impervious cover.  
 Column 1 shows land reduction requirement for new impervious cover (based on new development land loss, 0.41 lb/acre/yr).

**Post-Development Requirement for Site Area**

TP Load Reduction Required (lb/yr): 0.0369  
 Linear Project TP Load Reduction Required (lb/yr): N/A

**Nitrogen Loads (Informational Purposes Only)**

Pre-Development TN Load (lb/yr)	1.3487	Final Post-Development TN Load (Post-Development & New Impervious) (lb/yr)	1.4705
---------------------------------	--------	--	--------

NOID	Facility Type**	Description	Location	LDA Permit #	Project SWM #	Building Permit #	Facility ID	BMP downstream of another BMP (in Series)?	Upstream (Priority) BMP	Pre-treatment	Checkdike Bay Sequence	Wetland	HUC	Soils	Runoff Treated (in)	Surface Area (ft <sup>2</sup> )	Water Quality Volume Provided (cu ft)	Detention Credits (hrs)	Storage Volume (ft <sup>3</sup> )	Treated Area (acres)	Forest Area (acres)	Turf Area (acres)	Impervious Area (acres)	BIC	Phosphorus Efficiency (%)	Nitrogen Efficiency (%)	Sediment Efficiency (%)	Trees Conserved	Trees Planted	Total Tree Detention Credit (hrs)
NUPE-1	B-1 Stormwater Retention	Urban Stormwater (Open W. Appendix A)	Plaster Box #1	Lot 16/Garage	0	0	0	0A	No	Leaf Screens/Gutter/Curb	POTF1_VA	Lubber Run	PL25	C-D	1.00	39.00	38.00	38.00	69.2	0.0100	0.0000	0.0100	0.0000	1401003	50.00	64.00	75.00	N/A	N/A	N/A
NUPE-2	B-1 Stormwater Retention	Urban Stormwater (Open W. Appendix A)	Plaster Box #2	Lot 17/Garage	0	0	0	0B	No	Leaf Screens/Gutter/Curb	POTF2_VA	Lubber Run	PL25	C-D	1.00	39.00	38.00	38.00	69.2	0.0100	0.0000	0.0100	0.0000	1401003	50.00	64.00	75.00	N/A	N/A	N/A
NUPE-3	B-1 Stormwater Retention	Urban Stormwater (Open W. Appendix A)	Plaster Box #3	Lot 16/Front of House	0	0	0	0C	No	Leaf Screens/Gutter/Curb	POTF3_VA	Lubber Run	PL25	C-D	1.00	32.01	31.41	32.01	56.8	0.0097	0.0000	0.0097	0.0000	1401007	50.00	64.00	75.00	N/A	N/A	N/A

**Site Information - Version 3.0 - Revised 7/18/2022**

Project SWM #	LDA Permit #	Building Permit #	Real Property Code	Disturbed Area (acres)	% Pre-Impervious	% Post-Impervious	Pre-Development TP load (lb/yr)	Post-Development TP load (lb/yr)	TP load reduction achieved (lb/yr)	Pre-Development TN load (lb/yr)	Post-Development TN load (lb/yr)	TN load reduction achieved (lb/yr)	Total Site Area (acres)	Pre-Forest Area (acres)	Pre-Turf Area (acres)	Pre-Impervious Area (acres)	Post-Forest Area (acres)	Post-Turf Area (acres)	Post-Impervious Area (acres)	Pre-Runoff Volume	Post-Runoff Volume	Runoff Volume Reduction Achieved	Site Latitude (Decimal Degrees)	Site Longitude (Decimal Degrees)	Anticipate 0 Start Date	Chesapeake Bay Segment	Watershed	HUC6
14019007			14019007	0.1377	50.1	57.8	0.19	0.21	0.04	1.35	1.47	0.31	0.1377	0.0688	0.0650	0.0582	0.0796	0.0796	300.2917	327.1833	43.7833	38.88480	-77.11389		POTTF_VA	Lubber Run	PL25	

TOTAL SITE AREA	Areas (SF)	Detention (CF)	Rainfall volume (IN)	
Site area	6000		3.0	Reset Compliance Summary Worksheet tab
Total impervious area	3466			
	57.8%			
Roof	2452			
Paving	1109			
Impervious area increase	461	109	110	100%
		Required	Achieved	
<b>DOWNHILL DRAINAGE AREA (DDA)</b>				
Total impervious increase	0	0	0	NA
Roof area increase	0	0	0	NA
		Required	Achieved	
<b>WATER QUALITY COMPLIANCE</b>				
		75% requirement	102.5%	OK
		No net increase requirement	NA	OK
		Area treated (SF)	1382	OK

VRRM practices	DDA		NDDA		Area Check D.A.A., D.A.R., and D.A.C
	Area (sf)	Detention credit (ft)	Area (sf)	Detention credit (ft)	
2.1. To Stormwater Planter, Urban Bioretention	0	0	1382	110	100% OK
2.2. To Rain Garden #1, Micro-Bioretention #1	0	0	0	0	0% OK
2.3. To Rain Garden #2, Micro-Bioretention #2	0	0	0	0	0% OK
1a. Vegetated Roof #1	0	0	0	0	0% OK
1a. Vegetated Roof #2	0	0	0	0	0% OK
3a. Permeable Pavement #1	0	0	0	0	0% OK
3a. Permeable Pavement #2	0	0	0	0	0% OK
<b>Subtotal</b>	<b>0</b>	<b>0</b>	<b>1382</b>	<b>110</b>	<b>100%</b> OK
Tanks	0	0	0	0	0%
Detention-only dry wells	0	0	0	0	0%
Trees	N/A	0	N/A	0	0%
<b>Subtotal</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0%</b> FAIL
<b>Total</b>	<b>0</b>	<b>0</b>	<b>1382</b>	<b>110</b>	<b>100%</b>



**1129 NORTH UTAH STREET**  
 4.1 SITE PLAN SUBDIVISION  
 ARLINGTON COUNTY, VIRGINIA



**SUBMISSIONS**

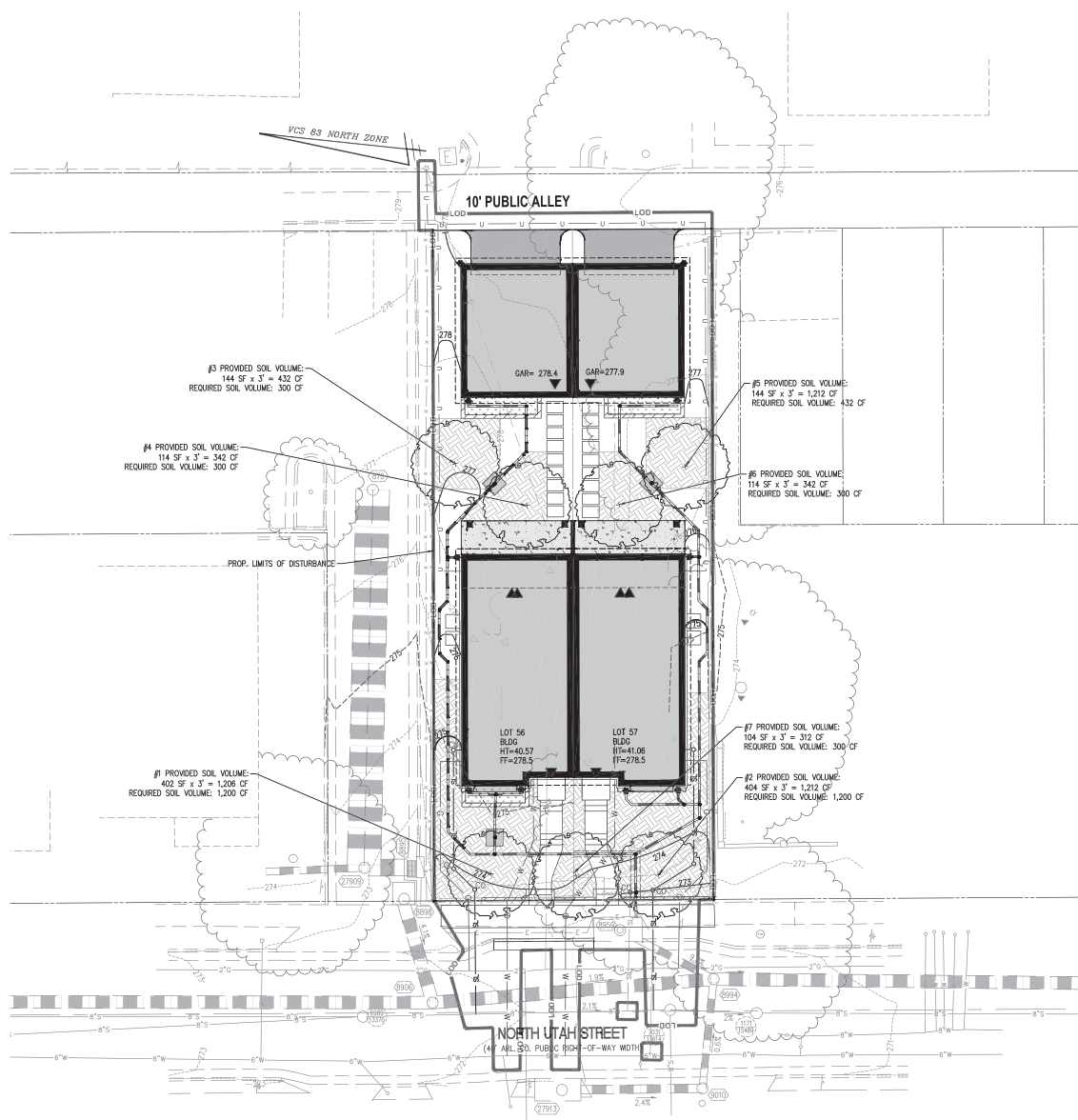
NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023
3	SUBMISSION #03	11/20/2023
4	SUBMISSION #04	1/05/2024

SCALE: NONE

SHEET TITLE:  
**SWM & BMP CALCULATIONS**

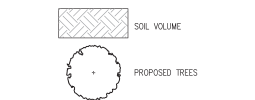
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**C-0702**





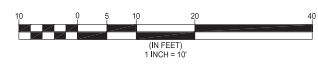
**LEGEND**

PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER	
	TRANSITION FROM CC-6 TO CG-GR	
	SANITARY SEWER	
	SANITARY LATERAL	
	STORM CLEAN OUT	
	SANITARY CLEAN OUT	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN	
	ELECTRICAL TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	BOTTOM OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	TEST PIT	
	LIMITS OF DISTURBANCE	



**1129 N UTAH ST - SOIL VOLUME TABLE**

TREE #	SOIL VOLUME (CU. FT.)	DESIGNATION
1	1,206	SITE/STREET
2	1,212	SITE/STREET
3	432	SITE
4	342	SITE
5	432	SITE
6	342	SITE
7	312	SITE



**WALTER L. PHILLIPS**  
INCORPORATED  
ESTABLISHED 1948

Engineers • Surveyors • Planners  
Architects • Arborists

BRAND, VA (VA) LICENSE NO. 1000000000  
DATE: 10/20/2023

207 PARK AVENUE  
FALLS CHURCH, VIRGINIA, 22046  
(703) 532-8183 Fax: (703) 533-1301  
www.WLPHINC.com

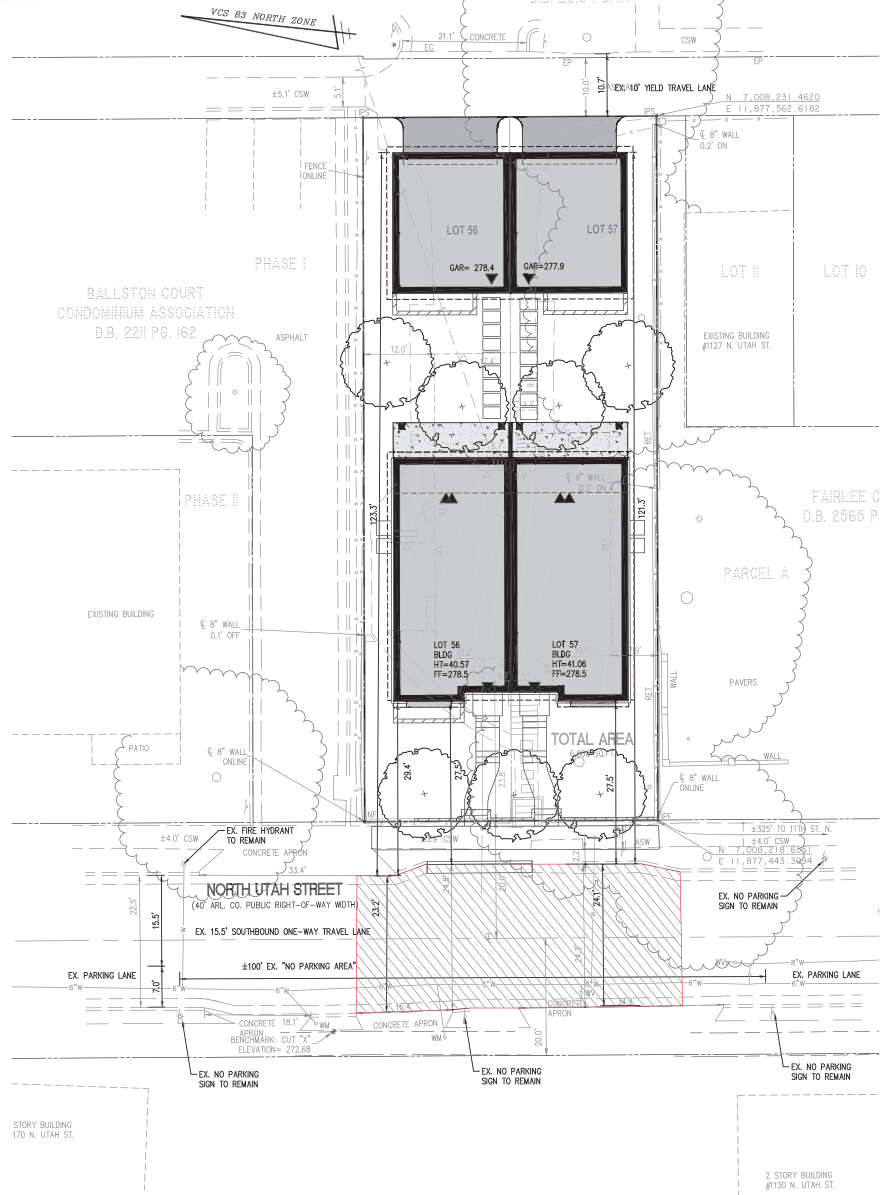
**1129 NORTH UTAH STREET**  
4.1 SITE PLAN SUBDIVISION  
ARLINGTON COUNTY, VIRGINIA



**SUBMISSIONS**

NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023
3	SUBMISSION #03	11/20/2023
4	SUBMISSION #04	1/05/2024

SCALE: 1" = 10'  
SHEET TITLE:  
**SOIL VOLUMES**  
SHEET #:  
**C-1201**



### LEGEND

PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER	
	TRANSITION FROM CG-6 TO CG-6R	
	SANITARY SEWER	
	SANITARY LATERAL	
	STORM CLEAN OUT	
	SANITARY CLEAN OUT	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT	
	PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN	
	ELECTRICAL	
	TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	BOTTOM OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	TEST PIT	
	LIMITS OF DISTURBANCE	
	AERIAL ACCESS FIRE LANE	

**WALTER L. PHILLIPS**  
INCORPORATED  
ESTABLISHED 1948

Engineers • Surveyors • Planners  
Architects • Arborists

BRANDY DUNN (REGISTERED PE)  
DATE: 10/20/2023

207 PARK AVENUE  
FALLS CHURCH, VIRGINIA, 22046  
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**1129 NORTH UTAH STREET**  
4.1 SITE PLAN SUBDIVISION  
ARLINGTON COUNTY, VIRGINIA

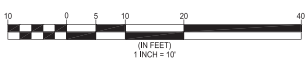


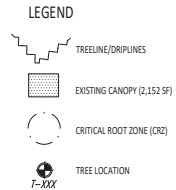
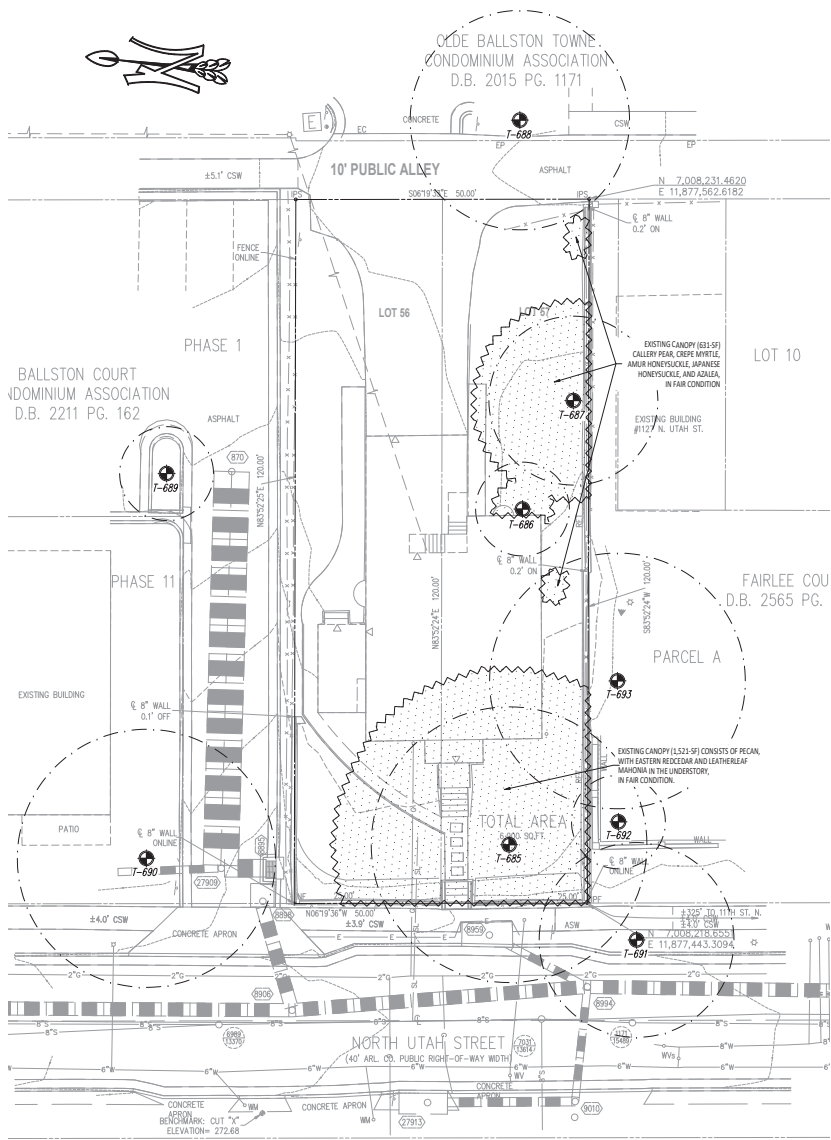
SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023
3	SUBMISSION #03	11/20/2023
4	SUBMISSION #04	1/05/2024

SCALE: 1" = 10'  
SHEET TITLE:

**FIRE MARSHAL PLAN**

SHEET #:  
**C-1301**

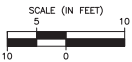




- NOTES:**
1. THE PROPERTY DELINEATED HEREON IS LOCATED AT 1120 NORTH UTAH STREET.
  2. BOUNDARY AND TOPOGRAPHIC INFORMATION FROM FIELD SURVEY BY WALTER PHILLIPS, INC., 2022.
  3. PROPOSED DEVELOPMENT PLAN BY WALTER PHILLIPS, INC., 2023.
  4. TREE EVALUATIONS AND COMPUTATIONS BY TNT ENVIRONMENTAL, INC., NOVEMBER 2022. (MR. DILLON JEWELL, CERTIFICATION # MA-62544).
  5. CRZ MEASUREMENTS IN RADII.
  6. TOTAL CANOPY COVER: 2,152 SQUARE FEET (SF).
  7. TOTAL SITE AREA: 6,000 SF.
  8. PERCENT OF SITE COVERED: 35.8%.
  9. PERCENT COVER REQUIRED BY ZONING: 20%.
  10. QUALIFYING CANOPY TO BE PRESERVED: 0 SF (0%).
  11. MINIMUM CANOPY AREA TO BE PLANTED TO MEET REQUIREMENT: 1,200 SF (20%).

Tree Number	Common Name	Scientific Name	Size (inches DBH)	Critical Root Zone (feet)	Dripline Radius (feet)	Condition Rating %	Approx. % of CRZ Impact	Remove	Offsite or Shared	Notes & Recommendations	Preservation Canopy Square Footage (SF)
685	Pecan	<i>Carya illinoensis</i>	23.5	23.5	30'	84%	78%	X		Root flare overfilled with soil, multiple old pruning cuts partially occluded	0
686	Crape Myrtle	<i>Lagerstroemia sp.</i>	3.9	3.0	3'	98%	100%	X		Minor debris piled around base	0
687	Callery Pear	<i>Pyrus calleryana</i>	14.4	14.4	17'	81%	63%	X		Masonry and other debris piled around base, epicormic growth throughout canopy	0
688	Japanese Zelkova	<i>Zelkova serrata</i>	18.7	18.7	-	47%	8%	OFFSITE		Crowded branches with narrow attachments and included bark	0
689	Firetree	<i>Schinus molle</i>	7.6	3.0	-	60%	0%	OFFSITE		Minor epicormic growth on trunk and 100% crown dieback	0
690	Pin Oak	<i>Quercus palustris</i>	22.0	22.0	-	72%	0%	OFFSITE		Large aspect ratio scaffolded branches with narrow attachments and included bark, minor crown dieback	0
691	Pin Oak	<i>Quercus palustris</i>	16.6	16.6	-	84%	8%	OFFSITE		Good condition of old pruning cuts	0
692	Flowering Dogwood	<i>Cornus florida</i>	15.5	3.0	-	60%	12%	OFFSITE		Mechanical damage to several branches, multiple cavities with decay, low vigor, and response growth	0
693	Crape Myrtle	<i>Lagerstroemia</i>	21.8	21.8	-	78%	36%	OFFSITE		Mechanical and bird damage to several branches, infected with crape myrtle bark scale	0
<b>total</b>											<b>0</b>

- NOTES:**
1. OFFSITE/SHARED/ROW TREES SHALL NOT BE REMOVED WITHOUT WRITTEN PERMISSION FROM AFFECTED ADJACENT PROPERTY OWNERS.
  2. TREES NOTED FOR REMOVAL WITHIN THE SAVE AREAS SHALL BE DONE SO BY HAND WITHOUT THE USE OF HEAVY MACHINERY.
  3. OFFSITE TREES WERE ASSESSED FOR THE SUBJECT PROPERTY SO NOT TO TRESPASS ONTO ADJACENT PROPERTY. DBH MEASUREMENTS AND TREE LOCATIONS ARE APPROXIMATE.
  4. TREES LOCATED WITHIN OR ON THE LIMITS OF DISTURBANCE, OR RATED AS BEING "POOR" IN CONDITION, ARE RECOMMENDED FOR REMOVAL BY TNT ARBORISTS DUE TO THE LIKELIHOOD OF TREE FAILURE. HOWEVER, AT THE DISCRETION OF THE APPLICANT, SOME OF THESE MAY BE PRESERVED DURING CONSTRUCTION WITH THE APPROVAL OF URBAN FORESTRY.
  5. TREES NOTED FOR REMOVAL OUTSIDE THE LIMITS OF DISTURBANCE SHALL BE REMOVED BY HAND WITH TREE BRANCHES BEING REMOVED FROM THE AREA BY HAND. WOOD CHIPS OR SIMILAR WILL BE USED TO PROTECT THE CRZ OF ADJACENT TREES AS DIRECTED BY ARLINGTON COUNTY UFGD. THE TRUNK WILL BE CUT AT GROUND LEVEL AND LEFT. TREE PROTECTION FENCING WILL BE REPLACED AND SIGNAGE RE-HUNG.



4455 Brookfield Corporate Drive, Suite 100  
 Chantilly, VA 20151  
 PH: 703-466-5123 WWW.TNTENVIRONMENTAL.COM



1129 NORTH UTAH STREET  
 ARLINGTON COUNTY

EXISTING VEGETATION MAP

**REVISIONS**

DATE	COMMENTS

SHEET **101** OF **104**

SCALE: 1" = 10'

PROJECT DATE: 2/14/23

DRAFT: 002 CHECK: 463

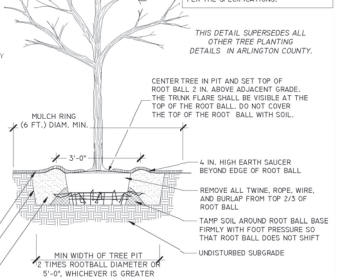
FILE NUMBER: 3011

Kinshah H. Sarron  
 Certified Arborist  
 Certification # MA-47274



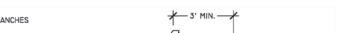
NOTES:  
1. AT PLANTING PRUNE ONLY CROSS LIMBS, BROKEN OR DEAD BRANCHES, AND JIB BRANCHES THAT POSE A HAZARD TO PEDESTRIANS AND VEHICULAR TRAFFIC. DO NOT PRUNE INTO OLD WOOD OR SPRINGING.

ALL PLANTS MUST BE WATERED THICE ONCE AT INSTALLATION AND AGAIN WITHIN 48 HOURS OF INSTALLATION PER THE SPECIFICATIONS.



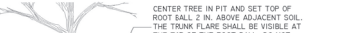
**TREE PLANTING DETAIL**  
FOR OPEN PLANTING AREAS FREE OF PAVING OR GRATES  
329300.1 (2021)

NOTES:  
1. AT PLANTING PRUNE ONLY BROKEN OR DEAD BRANCHES PER ANSI 300 STANDARD.



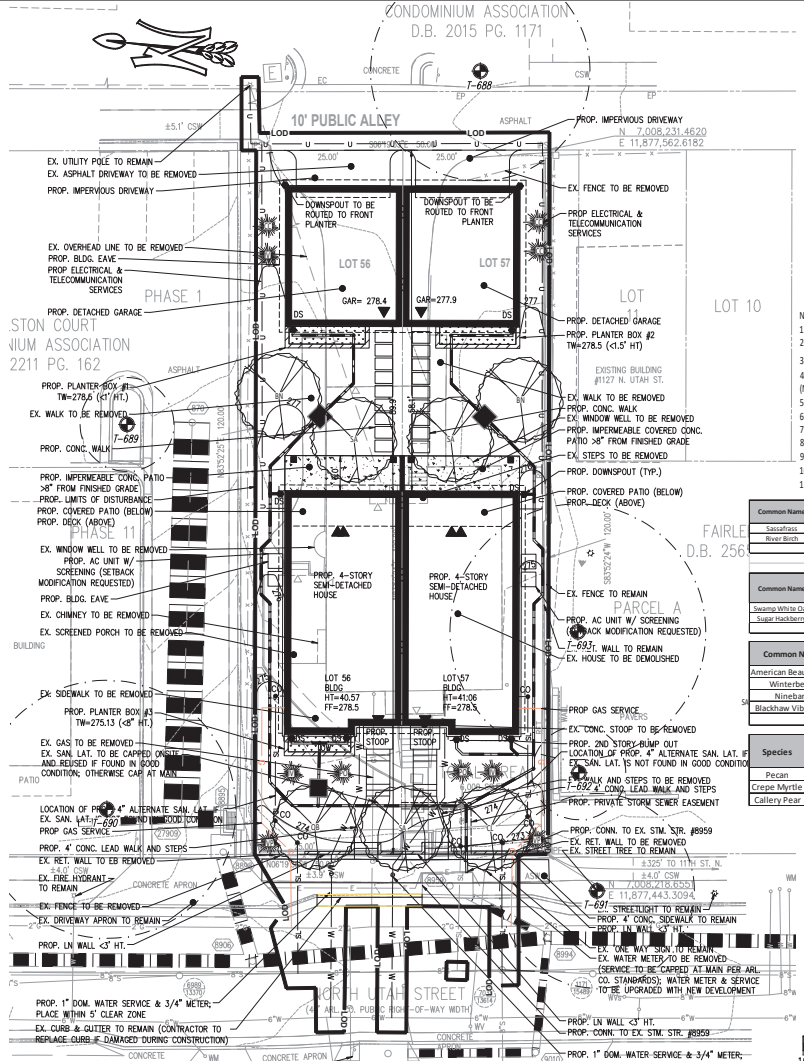
**SHRUB PLANTING**  
ELEVATION 329300.2 (2020/2021)

NOTES:  
1. REFER TO STREET TREE PIT DETAIL (329300.5) FOR PIT CONSTRUCTION AND INFORMATION ON ADJACENT PARAPETS, CURB, AND DRAINAGE.

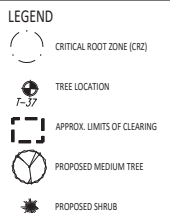


**STREET TREE PLANTING PIT (SHEET 2 OF 2)**  
FOR TREE PLANTING FITS IN RIGHT-OF-WAY & ADJACENT TO PAVING  
329300.3B (2019)

1/2" = 1'-0"



NOTES:  
1. OFFSITE (SHARED) ROW TREES SHALL NOT BE REMOVED WITHOUT WRITTEN PERMISSION FROM AFFECTED ADJACENT PROPERTY OWNERS.  
2. TREES NOTED FOR REMOVAL WITHIN THE SAVE AREAS SHALL BE DONE SO BY HAND WITHOUT THE USE OF HEAVY MACHINERY.  
3. OFFSITE TREES WERE ASSESSED FROM THE SUBJECT PROPERTY SO NOT TO TRESPASS ONTO ADJACENT PROPERTY. DBH MEASUREMENTS AND TREE LOCATIONS ARE APPROXIMATE.  
4. TREES LOCATED WITHIN OR ON THE LIMITS OF DISTURBANCE, OR RATED AS BEING "POOR" IN CONDITION, ARE RECOMMENDED FOR REMOVAL.  
5. BY THE ARBORISTS DUE TO THE LIKELIHOOD OF TREE FAILURE. HOWEVER, AT THE DISCRETION OF THE APPLICANT, SOME OF THESE MAY BE PRESERVED DURING CONSTRUCTION WITH THE APPROVAL OF URBAN FORESTRY.  
6. TREES NOTED FOR REMOVAL OUTSIDE THE LIMITS OF DISTURBANCE SHALL BE REMOVED BY HAND WITH TREE BRANCHES BEING REMOVED FROM THE AREA BY HAND. WOOD CHIPS OR SIMILAR WILL BE USED TO PROTECT THE CRZ OF ADJACENT TREES AS DIRECTED BY ARLINGTON COUNTY UFM. THE TRUNK WILL BE CUT AT GROUND LEVEL AND LEFT. TREE PROTECTION FENCING WILL BE REPLACED AND SIGNAGE RE-HUNG.  
7. TREES WITH A CALIPER OF 10 INCHES OR LESS THAT ARE REMOVED FROM THE RIGHTS-OF-WAY WILL BE REPLACED ON A ONE-FOR-ONE-BASIS (ARLINGTON COUNTY ADMINISTRATIVE REGULATION 4.3).



NOTES:  
1. THE PROPERTY DELINEATED HEREON IS LOCATED AT 1129 NORTH UTAH STREET.  
2. BOUNDARY AND TOPOGRAPHIC INFORMATION FROM FIELD SURVEY BY WALTER PHILLIPS INC., 2022.  
3. PROPOSED DEVELOPMENT PLAN BY WALTER PHILLIPS INC., 2023.  
4. TREE EVALUATIONS AND COMPUTATIONS BY THE ENVIRONMENTAL INC., NOVEMBER 2022. (MR. DILLON JEWELL CERTIFICATION # MA-62544).  
5. CRZ MEASUREMENTS IN RADIUS.  
6. TOTAL CANOPY COVER: 2,152 SQUARE FEET (SF).  
7. TOTAL SITE AREA: 6,000 SF.  
8. PERCENT OF SITE COVERED: 35.8%  
9. PERCENT COVER REQUIRED BY ZONING: 20%  
10. QUALIFYING CANOPY TO BE PRESERVED: 0.5F (0%)  
11. MINIMUM CANOPY AREA TO BE PLANTED TO MEET REQUIREMENT: 1,200 SF (20%)

Common Name	Botanical Name	Key	Quantity	Stock Size (Height/Caliper)	Spread at Planting (Feet)	Canopy Size	Total 20-Year Coverage (SF)	Native to Region	Bonus Multiplier	Sub-total (SF)
Sassafras	<i>Sassafras albidum</i>	SA	1	24"	8'-5"	Medium	375	x	1.25	469.25
River Birch	<i>Betula nigra</i>	BN	2	8'-10"	9'-7"	Medium	375	x	1.25	473.75
Total Trees:							750			943.00

Common Name	Botanical Name	Key	Quantity	Stock Size (Height/Caliper)	Spread at Planting (Feet)	Canopy Size	Total 20-Year Coverage (SF)	Native to Region	Bonus Multiplier	Sub-total (SF)
Swamp White Oak	<i>Quercus bicolor</i>	QB	1	24"	9'-7"	Large	315	x	1.25	393.75
Sugar Hackberry	<i>Celtis occidentalis</i>	CO	1	24"	9'-7"	Large	315	x	1.25	393.75
Total Shrubs:							630			787.50

Common Name	Botanical Name	Key	Quantity	Stock Size (Height)	Canopy Size at Maturity (Height/Width)	Native to Region	
American Beautyberry	<i>Callicarpa americana</i>	CA	3	24"	3'-6"/3'-6"	x	
Winterberry	<i>Ilex verticillata</i>	IV	3	24"	5'-8"/5'-8"	x	
Ninebark	<i>Physocarpus opulifolius</i>	PO	2	24"	5'-10"/5'-12"	x	
Blackhaw Viburnum	<i>Viburnum prinosifolium</i>	VP	2	24"	12'-25"/6'-12"	x	
Total Shrubs:							10

Species	Number	Size (inches)	Condition Rating	Species Rating	Total Score	Number of Replacements
Pecan	1	23.5	0.88	0.75	14.805	4
Crape Myrtle	1	3.3	0.88	0.78	2.26512	1*
Gallery Pear	1	14.4	0.81	0.5	5.832	2

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**THE ENVIRONMENTAL INC.**

1129 NORTH UTAH STREET  
ARLINGTON COUNTY

LANDSCAPE PLAN

REVISIONS

DATE	REVISIONS	COMMENTS
3/14/23	REVISED BY DGG	
6/26/23	REVISED BY AMS	
11/20/23	REVISED BY AMS	

SHEET **L03** OF **L04**

SCALE: 1" = 10'

PROJECT DATE: 2/14/23

DRAWN: 092 CHECK: 466

FILE NUMBER: 3011

ISA  
Vivian M. Soren  
Certified Arborist  
Certification # MA-47374

