

1129 NORTH UTAH STREET

1129 NORTH UTAH STREET

SITE PLAN 4.1

ARLINGTON COUNTY, VIRGINIA



SHEET INDEX

0001 COVER SHEET

ARCHITECTURAL

- A2.00 AREA TABULATIONS
- A3.00 GROUND FLOOR PLAN
- A3.01 SECOND FLOOR PLAN
- A3.02 THIRD FLOOR PLAN
- A3.03 ATTIC FLOOR PLAN
- A4.00 FRONT ELEVATION - WEST
- A4.01 RIGHT ELEVATION - SOUTH
- A4.02 REAR ELEVATION - EAST
- A4.03 LEFT ELEVATION - NORTH
- A6.00 BUILDING SECTIONS
- A7.00 ROOF PLAN
- A8.00 CONCEPT VIEWS
- A8.01 CONCEPT VIEWS - STREET CONTEXT

CIVIL

- C-0301 CERTIFIED SURVEY PLAT
- C-0302 AERIAL EXHIBIT
- C-0303 CONTEXT PLAN
- C-0401 PLOT AND LOCATION PLAN
- C-0402 PRESENTATION PLAN
- C-0403 STRIPING & MARKING PLAN
- C-0404 EXISTING LOT EXHIBIT
- C-0405 COMPARATIVE HEIGHT SECTIONS
- C-0701 PRELIMINARY STORMWATER MANAGEMENT PLAN
- C-0702 SWM & BMP CALCULATIONS
- C-1201 SOIL VOLUME

LANDSCAPE

- L01 EXISTING VEGETATION MAP
- L02 TREE PRESERVATION & PROTECTION PLAN
- L03 LANDSCAPE PLAN
- L04 TREE PRESERVATION DETAILS & NARRATIVE



WALTER L. PHILLIPS
INCORPORATED

Engineers • Surveyors • Planners
Landscape Architects • Arborists
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1129 NORTH UTAH STREET

4.1 SITE PLAN SUBDIVISION

ARLINGTON COUNTY, VIRGINIA

DEVELOPMENT TEAM

ENGINEER:
WALTER L. PHILLIPS, INC.
207 PARK AVENUE
FALLS CHURCH, VA 22046
703-532-6163
KWHITE@WLPINC.COM
ATTN: KAREN WHITE, P.E.

OWNER:
1129 N UTAH LLC
1355 BEVERLY ROAD
SUITE 330
MCLEAN, VA 22101
202-439-3031
RMALM@CRAFTMARKHOMES.COM
ATTN: ROBBY MALM

DEVELOPER:
BEACONCREST HOMES
1355 BEVERLY ROAD
SUITE 330
MCLEAN, VA 22101
202-439-3031
RMALM@CRAFTMARKHOMES.COM
ATTN: ROBBY MALM



SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023

SCALE: NONE
SHEET TITLE:

COVER SHEET

SHEET #:
0001

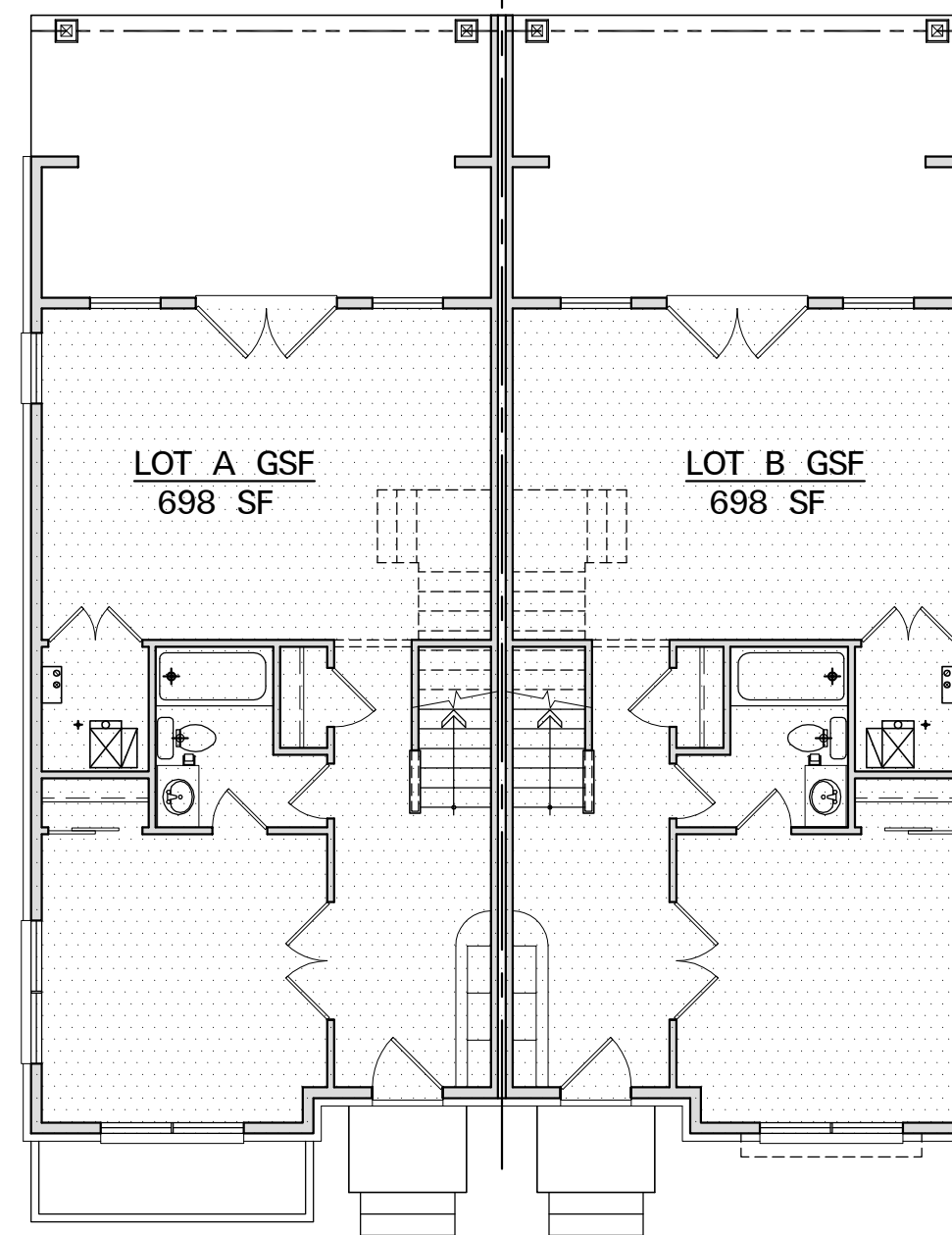
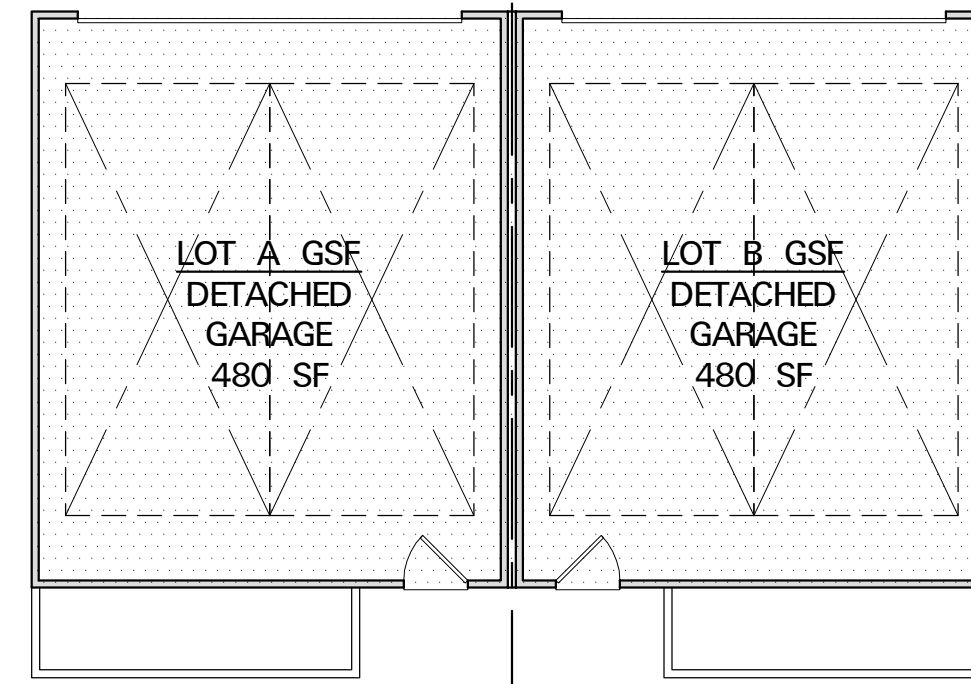
GROSS AREA - LOT A	
GROUND FLOOR GSF	698 SF
SECOND FLOOR GSF	775 SF
THIRD FLOOR GSF	775 SF
ATTIC FLOOR GSF	363 SF
TOTAL GSF	2611 SF

GROSS AREA - LOT B	
GROUND FLOOR GSF	698 SF
SECOND FLOOR GSF	783 SF
THIRD FLOOR GSF	783 SF
ATTIC FLOOR GSF	363 SF
TOTAL GSF	2627 SF

GROSS AREA - TOTAL	
LOT A - LIVING	2611 SF
LOT B - LIVING	2627 SF
DETACHED GARAGE GSF	960 SF
TOTAL GSF	6198 SF

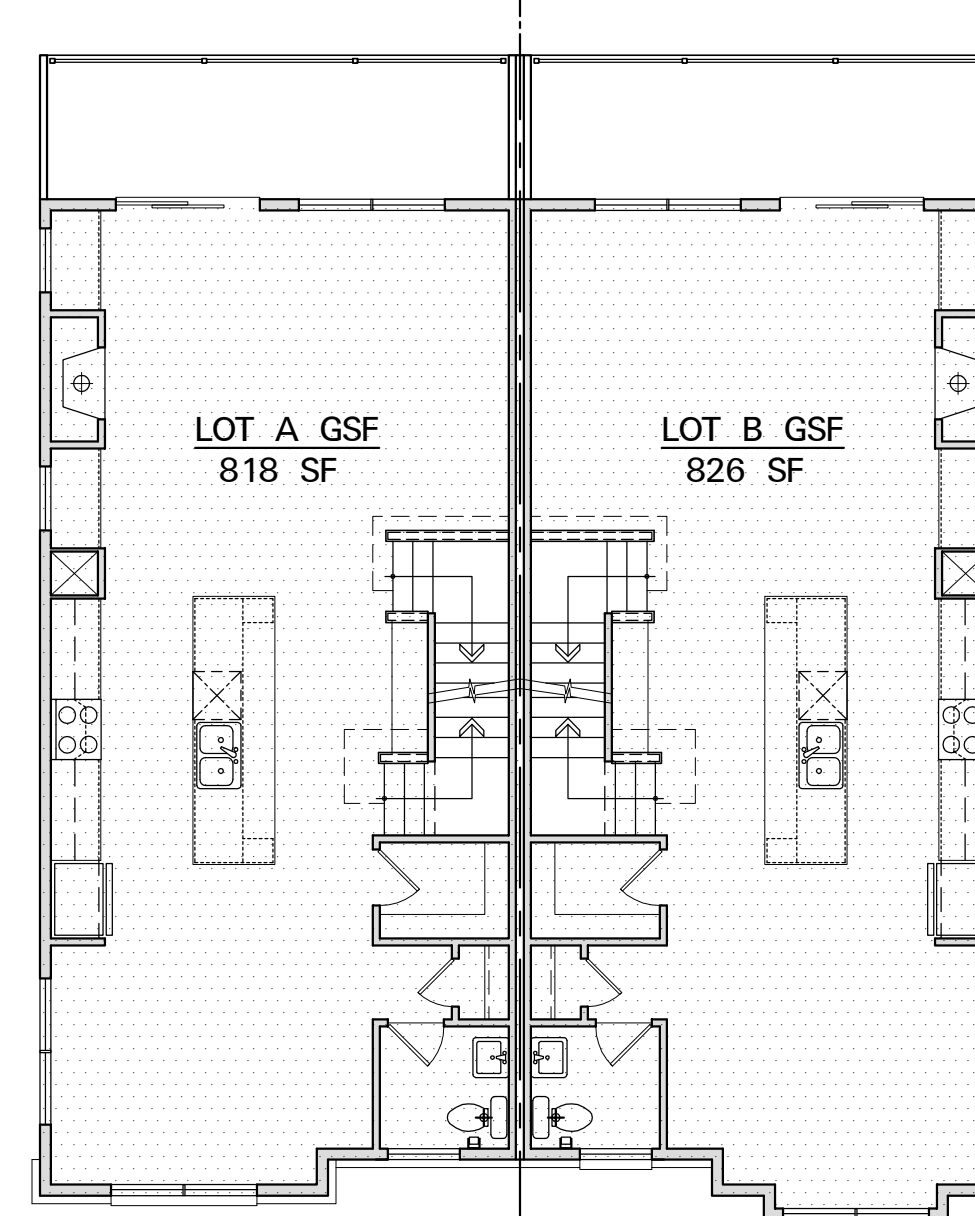
GROSS AREA - DETACHED GARAGE	
LOT A	480 SF
LOT B	480 SF
TOTAL GSF	960 SF

GROSS AREA TABULATIONS



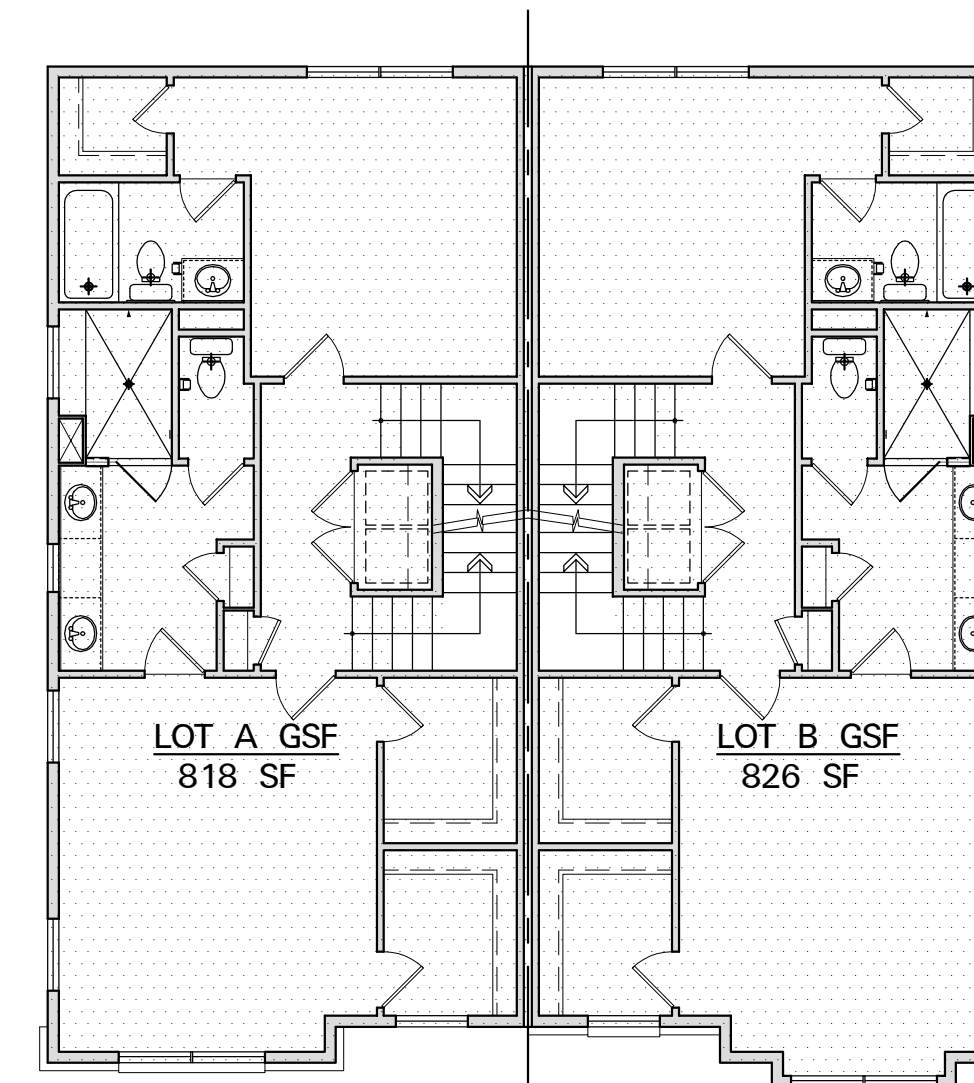
GROUND FLOOR

SCALE: 1/8" = 1'-0"



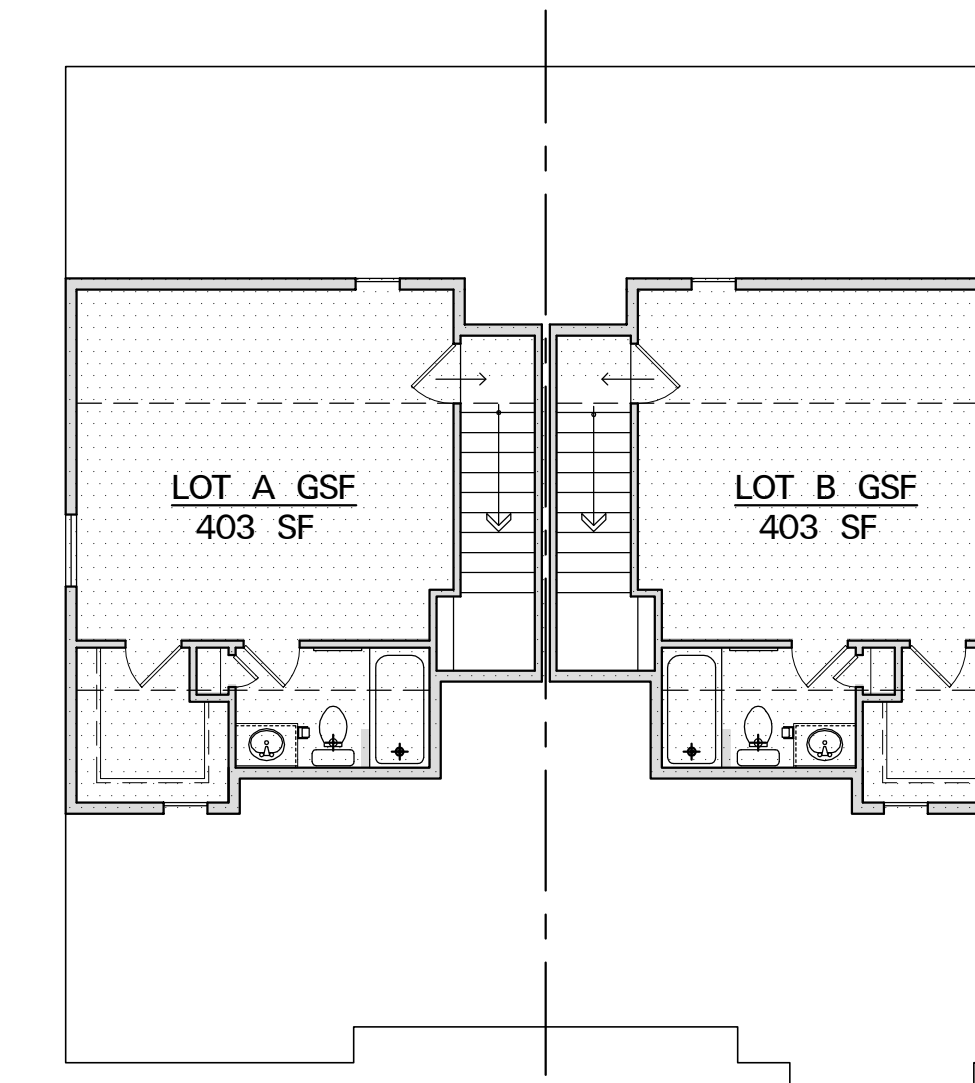
FIRST FLOOR

SCALE: 1/8" = 1'-0"



SECOND FLOOR

SCALE: 1/8" = 1'-0"



ATTIC FLOOR

SCALE: 1/8" = 1'-0"

SHEET TITLE: AREA TABULATIONS
 CLIENT INFORMATION: BEACONCREST HOMES - 1129 N. UTAH ST.
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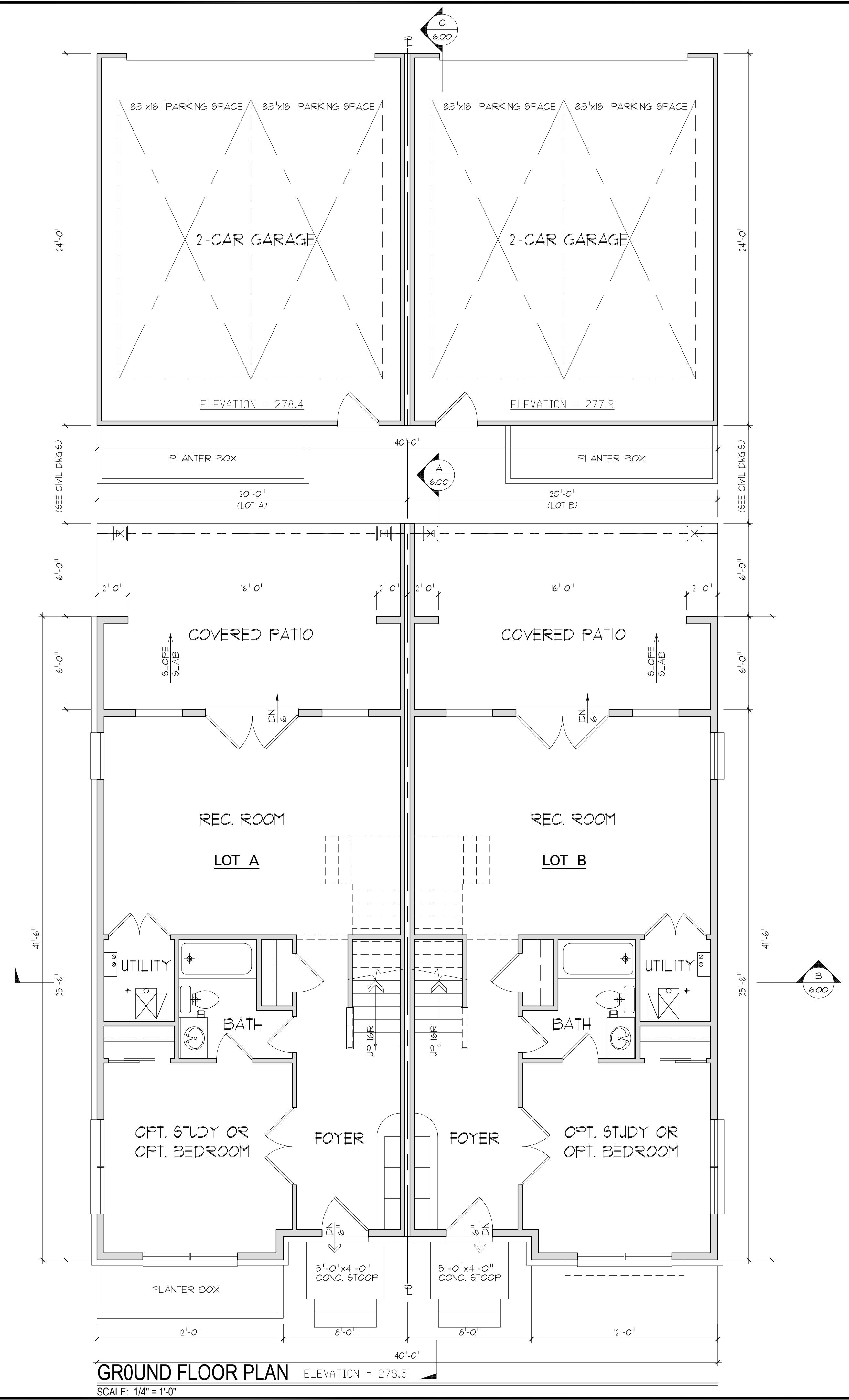
08/01/2022

REV No. DATE

P496230200

SHEET No.

2.00

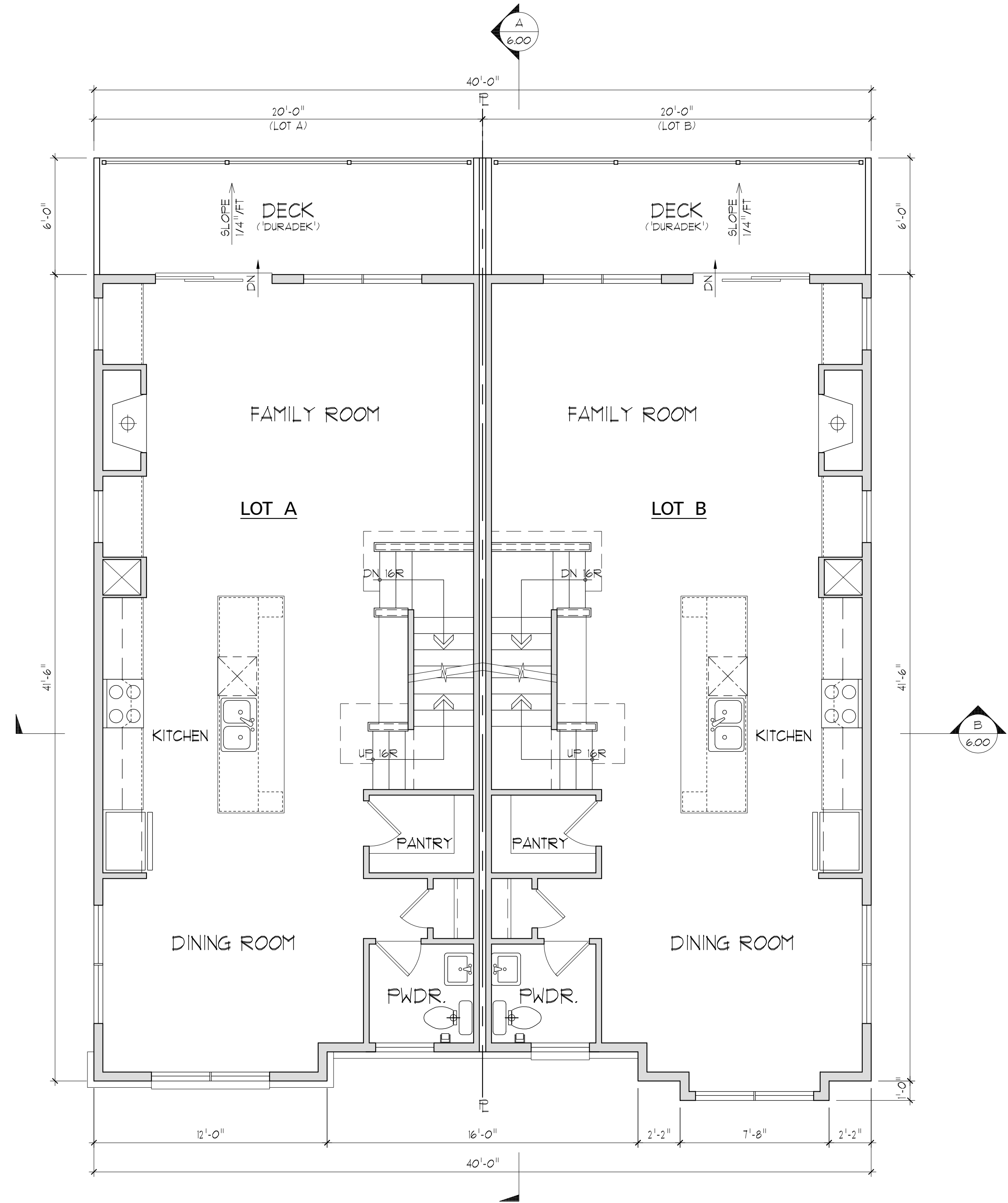


GROUND FLOOR PLAN ELEVATION = 278.5
 SCALE: 1/4" = 1'-0"

SHEET TITLE: **GROUND FLOOR PLAN**
 CLIENT INFORMATION: **BEACONCREST HOMES - 1129 N. UTAH ST.**
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REV No.	DATE



FIRST FLOOR PLAN ELEVATION = 288.82
 SCALE: 1/4" = 1'-0"

SHEET TITLE
FIRST FLOOR PLAN

CLIENT INFORMATION

BEACONCREST HOMES - 1129 N. UTAH ST.
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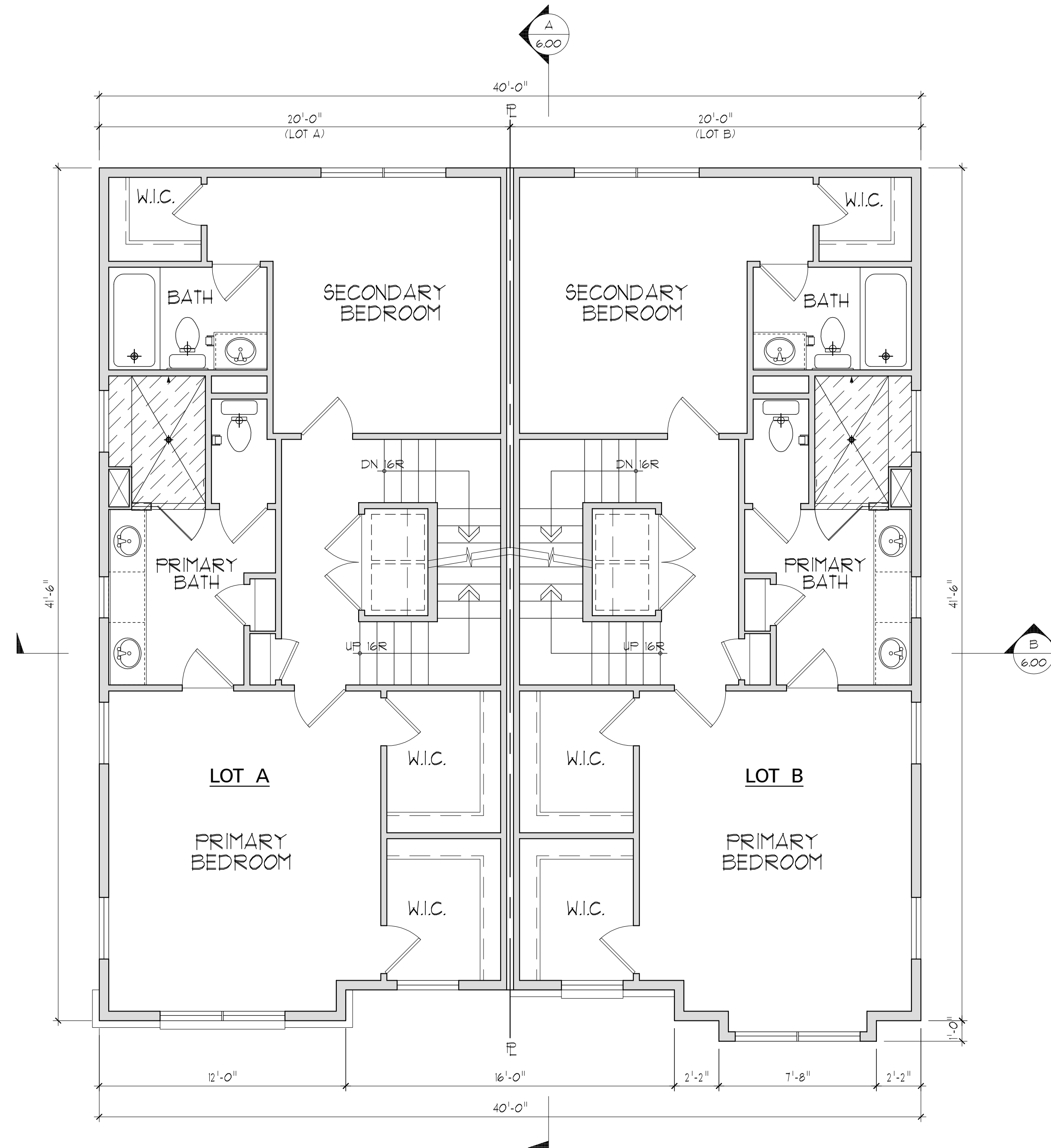
08/01/2022

REV No. DATE

P496230301

SHEET No.

3-01



SECOND FLOOR PLAN ELEVATION = 299.14
 SCALE: 1/4" = 1'-0"

SHEET TITLE
SECOND FLOOR PLAN

CLIENT INFORMATION

BEACONCREST HOMES - 1129 N. UTAH ST.
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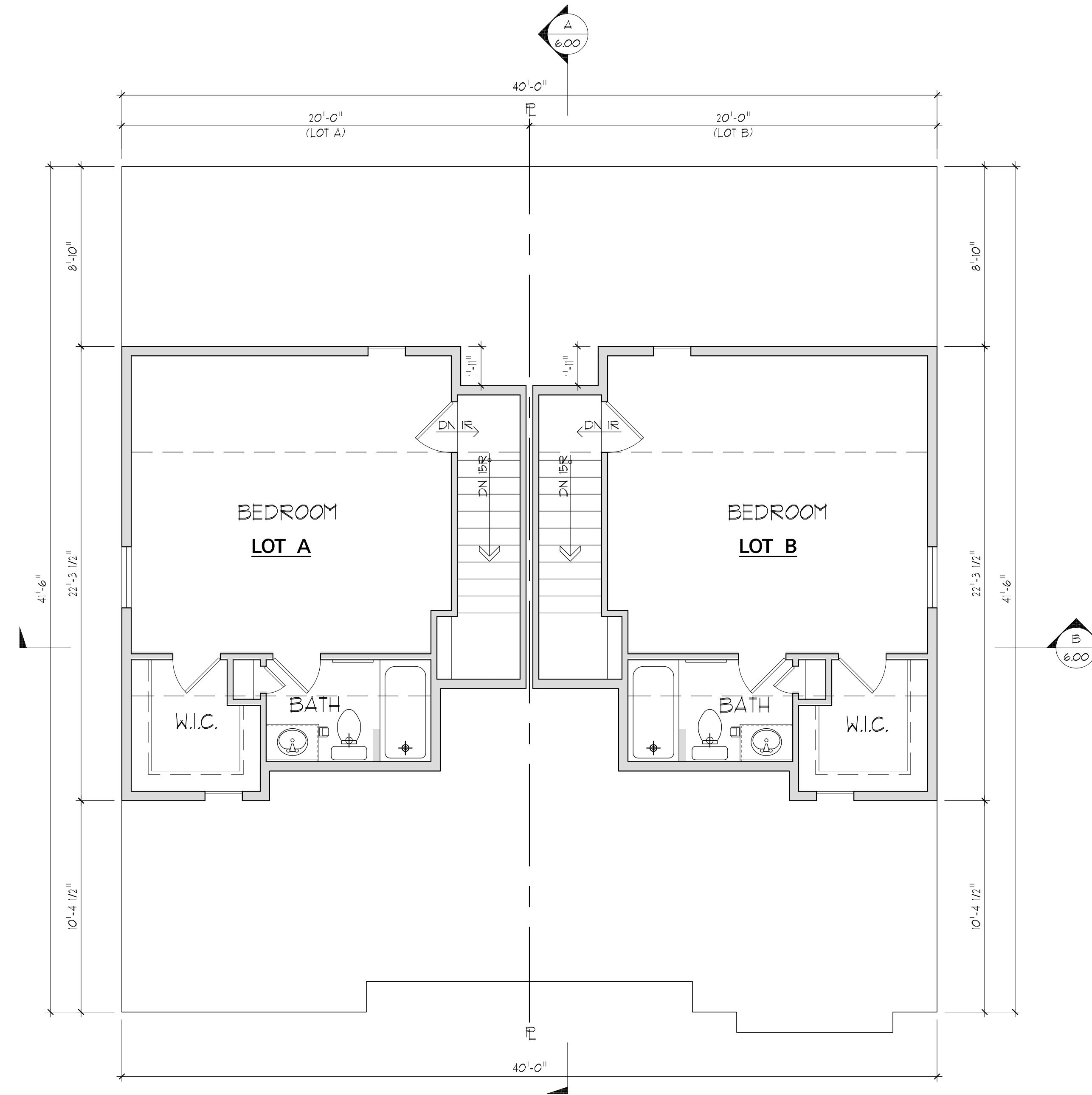
08/01/2022

REV No. DATE

P496230302

SHEET No.

3.02



ATTIC FLOOR PLAN ELEVATION = 309.47
 SCALE: 1/4" = 1'-0"

SHEET TITLE
ATTIC FLOOR PLANS

CLIENT INFORMATION
BEACONCREST HOMES - 1129 N. UTAH ST.
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REV No. DATE

P496230303

SHEET No.

3.03



FRONT ELEVATION - WEST DISTANCE TO PROPERTY LINE = 19.3'
 SCALE: 1/4" = 1'-0"

PERCENTAGE OF WALL OPENINGS	
WINDOW AREA	168 SF
WALL AREA	595 SF
OPENING PERCENTAGE	= 28.25%

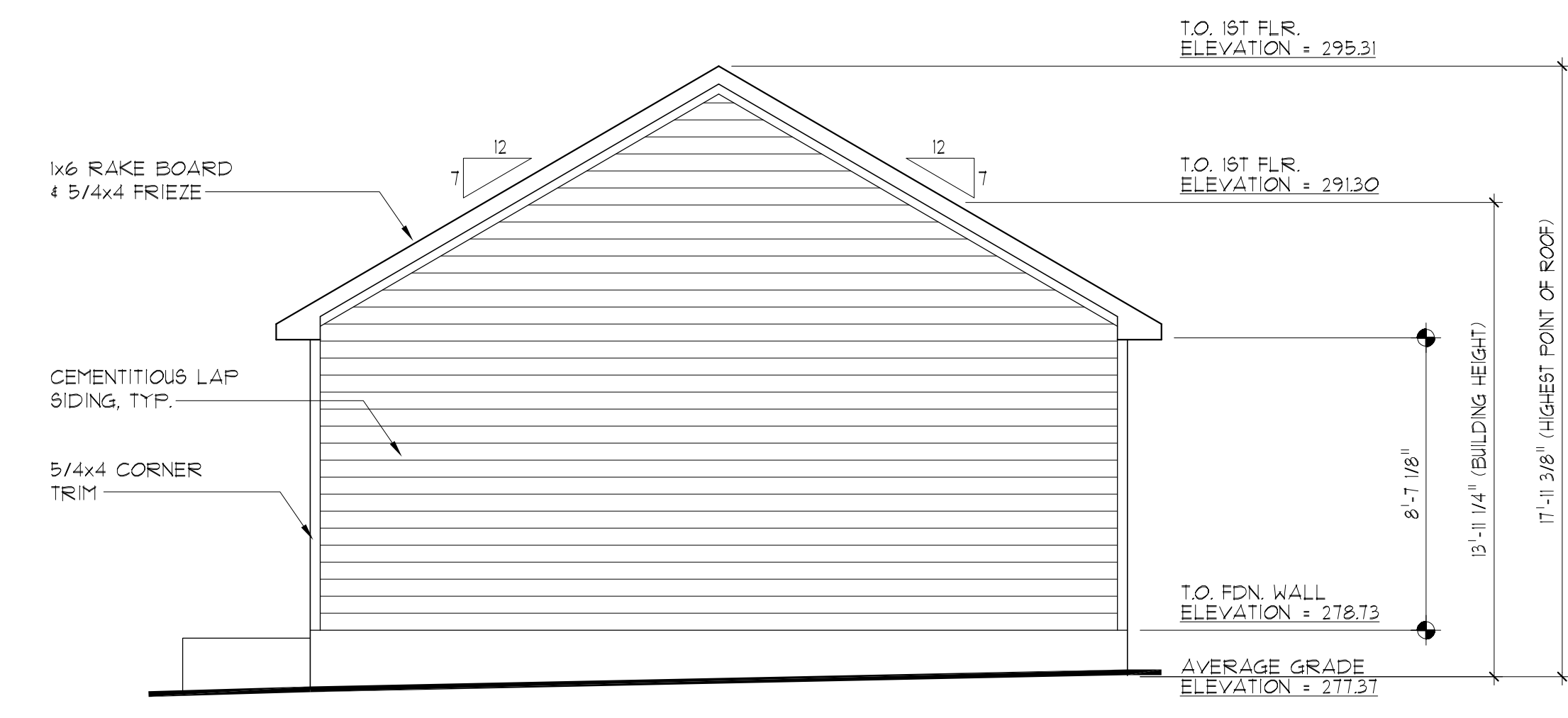
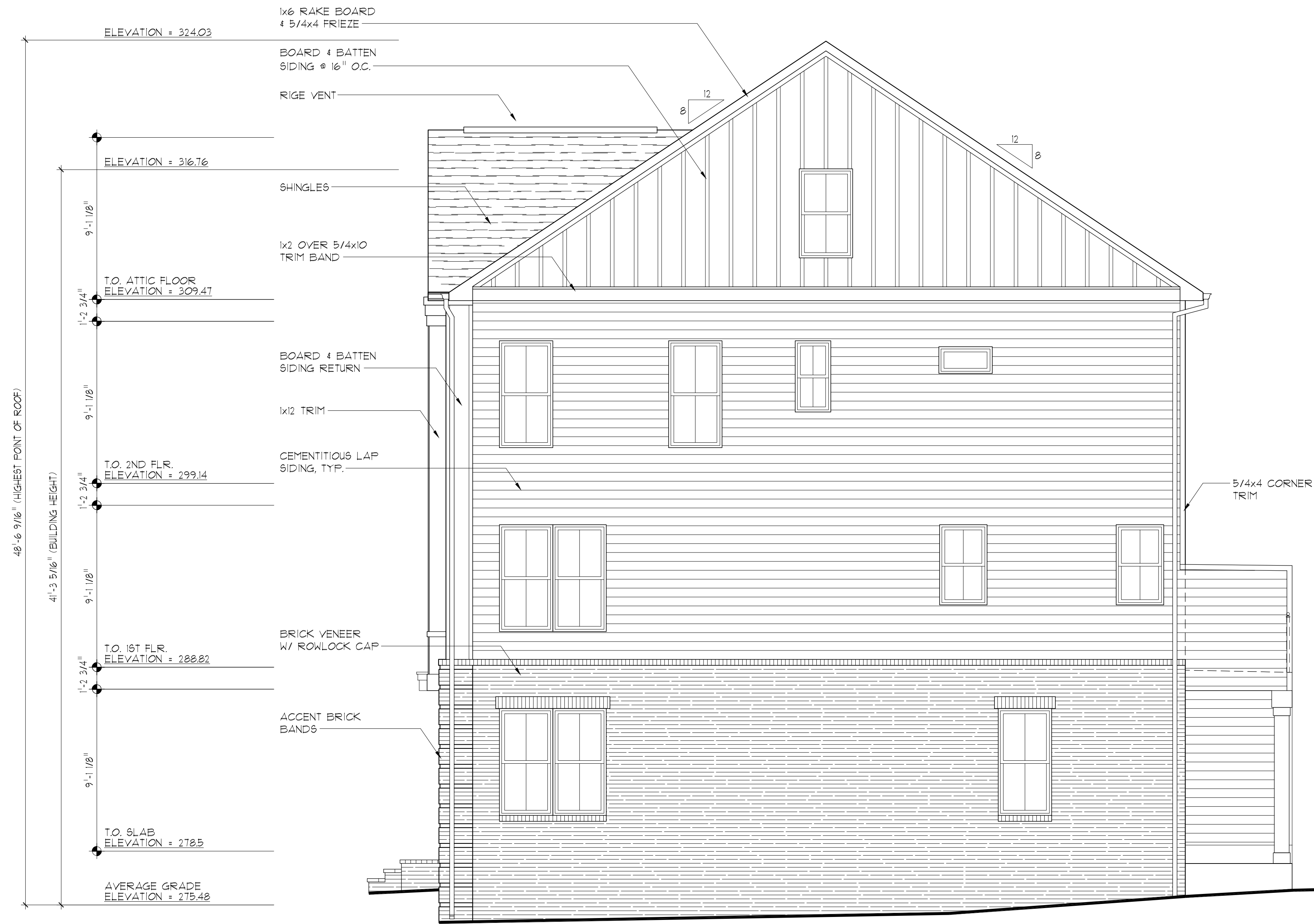
PERCENTAGE OF WALL OPENINGS	
WINDOW AREA	168 SF
WALL AREA	595 SF
OPENING PERCENTAGE	= 28.25%

SHEET TITLE: FRONT ELEVATION - WEST
 CLIENT INFORMATION: BEACONCREST HOMES - 1129 N. UTAH ST.
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 REV No. DATE

P496230400
 SHEET No.

4.00



RIGHT ELEVATION - SOUTH DISTANCE TO PROPERTY LINE = 4.6'
 SCALE: 1/4" = 1'-0"

PERCENTAGE OF WALL OPENINGS	
WINDOW AREA	177.5 SF
WALL AREA	1556 SF
OPENING PERCENTAGE	= 11.4%

DISTANCE TO PROPERTY LINE = 5'-0" (4' TO EAVE)

SHEET TITLE: **RIGHT ELEVATION - SOUTH**
 CLIENT INFORMATION: **BEACONCREST HOMES - 1129 N. UTAH ST.**
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 REV No. DATE

P496230401

SHEET No. 4.01



REAR ELEVATION - EAST (MAIN LIVING) DISTANCE TO PROPERTY LINE = 58'

SCALE: 1/4" = 1'-0"

PERCENTAGE OF WALL OPENINGS	
WINDOW AREA	234 SF
WALL AREA	595 SF
OPENING PERCENTAGE	= 39.3%

PERCENTAGE OF WALL OPENINGS	
WINDOW AREA	234 SF
WALL AREA	595 SF
OPENING PERCENTAGE	= 39.3%



REAR ELEVATION - EAST (DETACHED GARAGE) DISTANCE TO PROPERTY LINE = 6' (5' TO EAVE)

SCALE: 1/4" = 1'-0"

SHEET TITLE: **REAR ELEVATION - EAST**
 CLIENT INFORMATION: **BEACONCREST HOMES - 1129 N. UTAH ST.**
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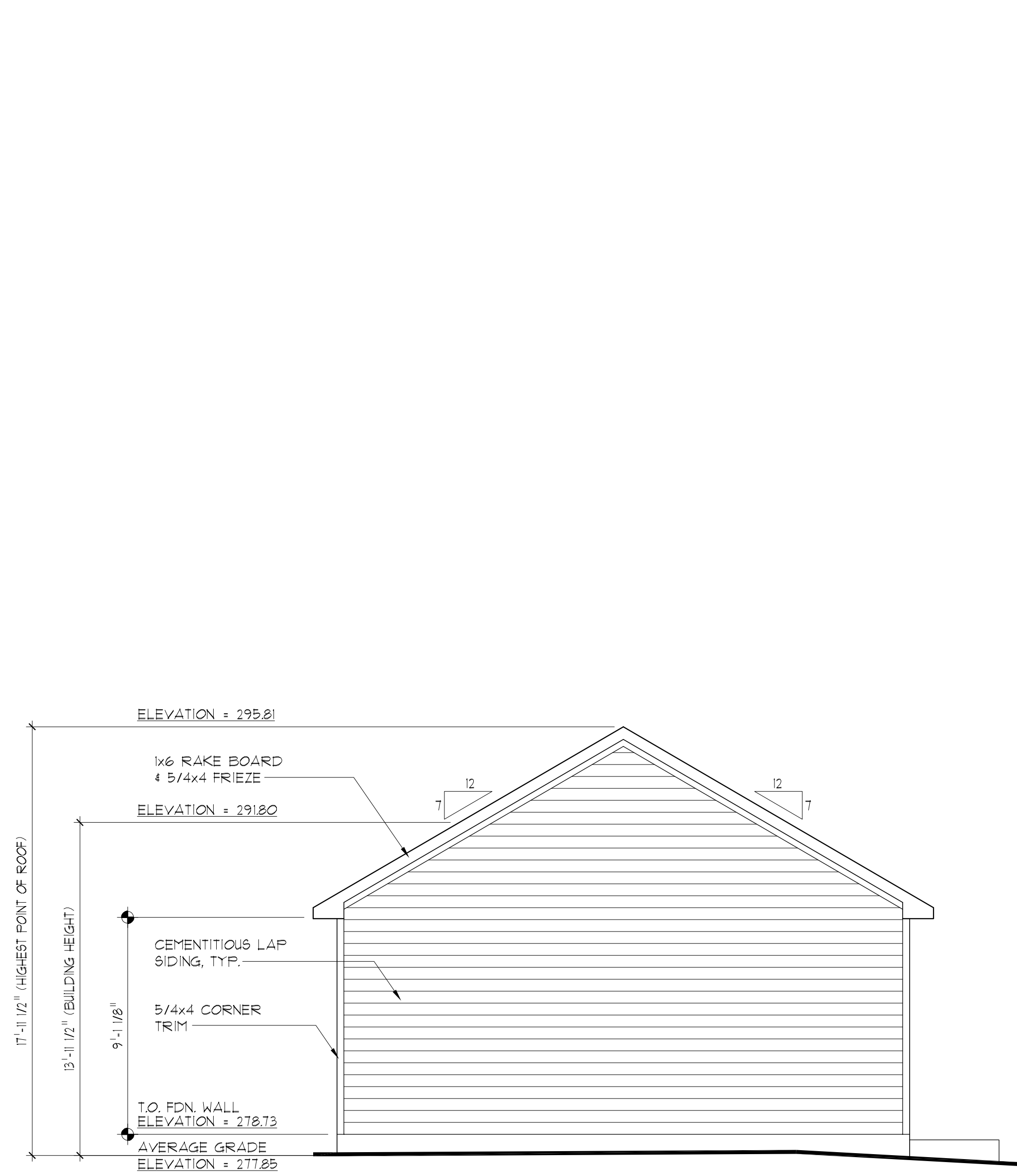
08/01/2022

REV No. DATE

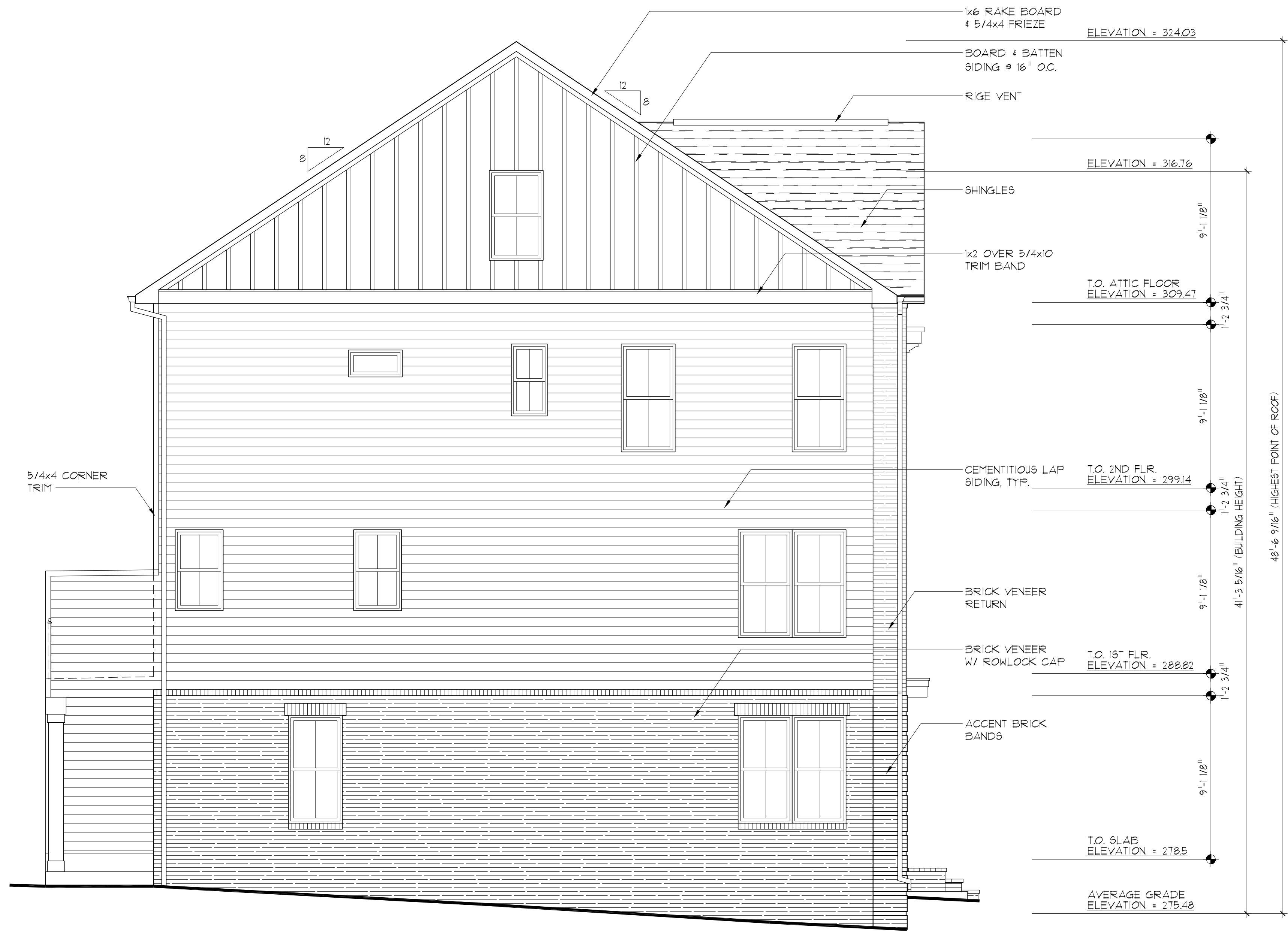
P496230402

SHEET No.

4.02



LEFT ELEVATION - NORTH (DISTANCE TO PROPERTY LINE = 5' (4' TO EAVE))
 SCALE: 1/4" = 1'-0"



DISTANCE TO PROPERTY LINE = 4.6'

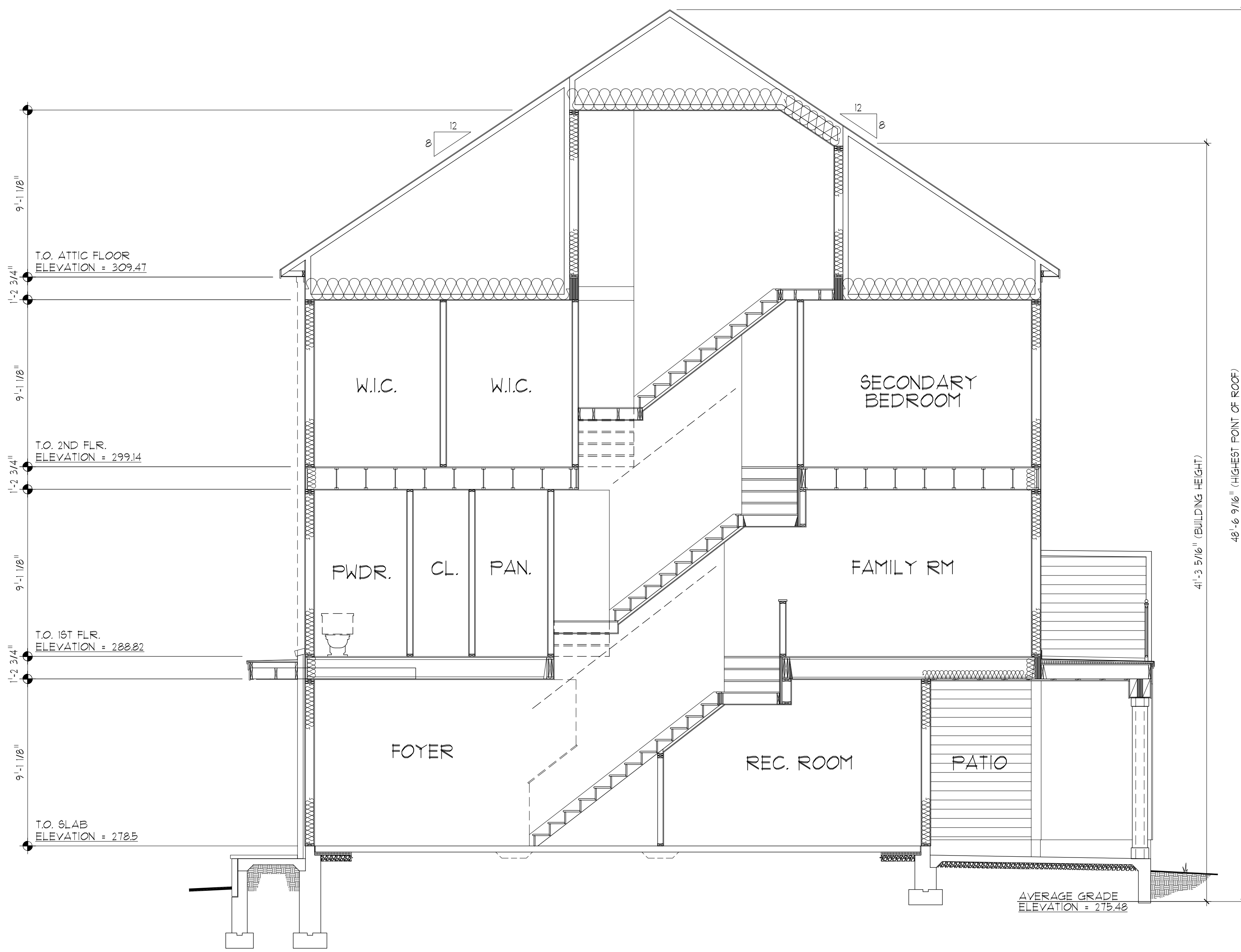
PERCENTAGE OF WALL OPENINGS	
WINDOW AREA	177.5 SF
WALL AREA	1556 SF
OPENING PERCENTAGE	= 11.4%

SHEET TITLE: **LEFT ELEVATION - NORTH**
 CLIENT INFORMATION: **BEACONCREST HOMES - 1129 N. UTAH ST.**
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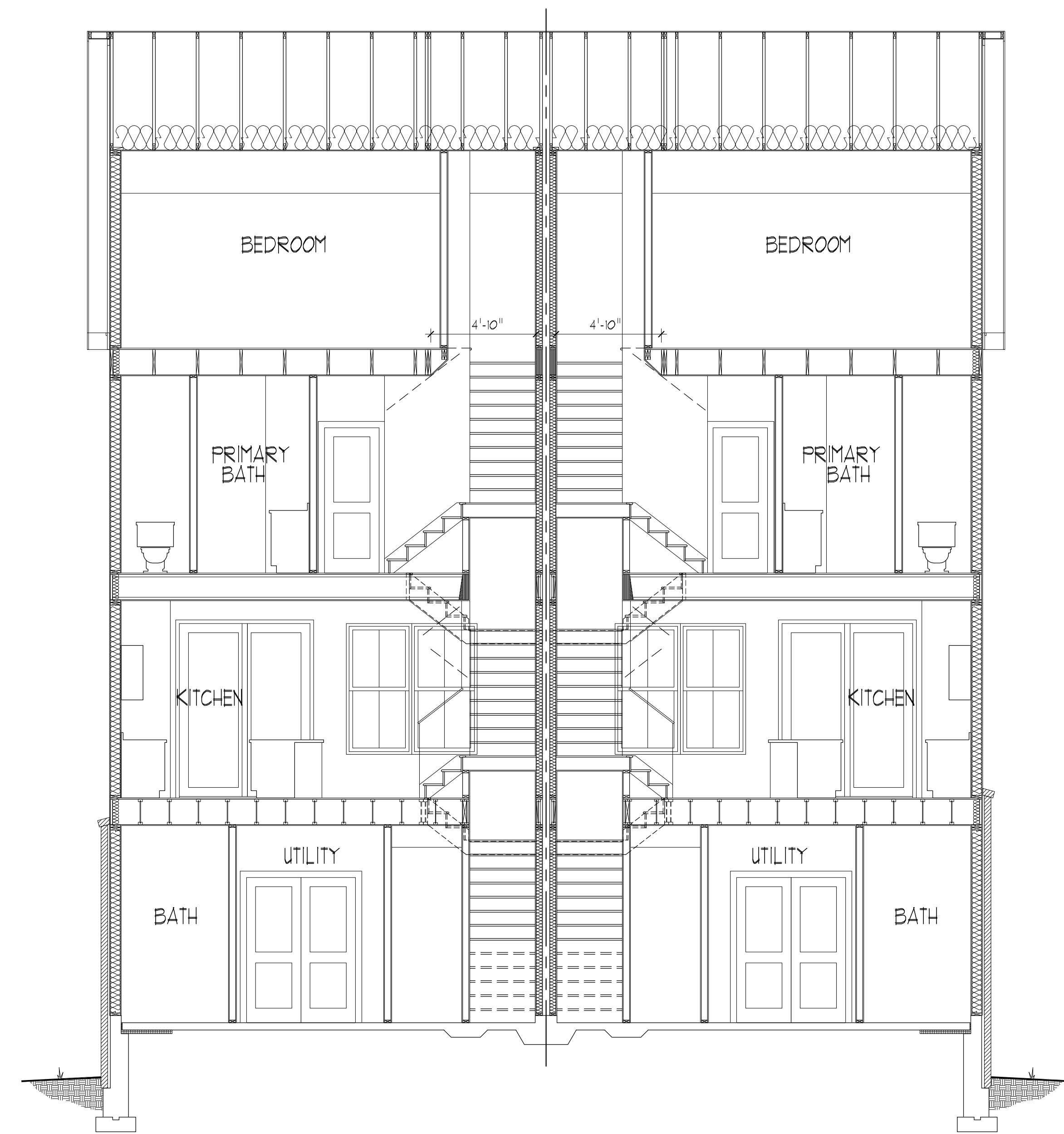
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 08/01/2022
 REV No. DATE

P496230403

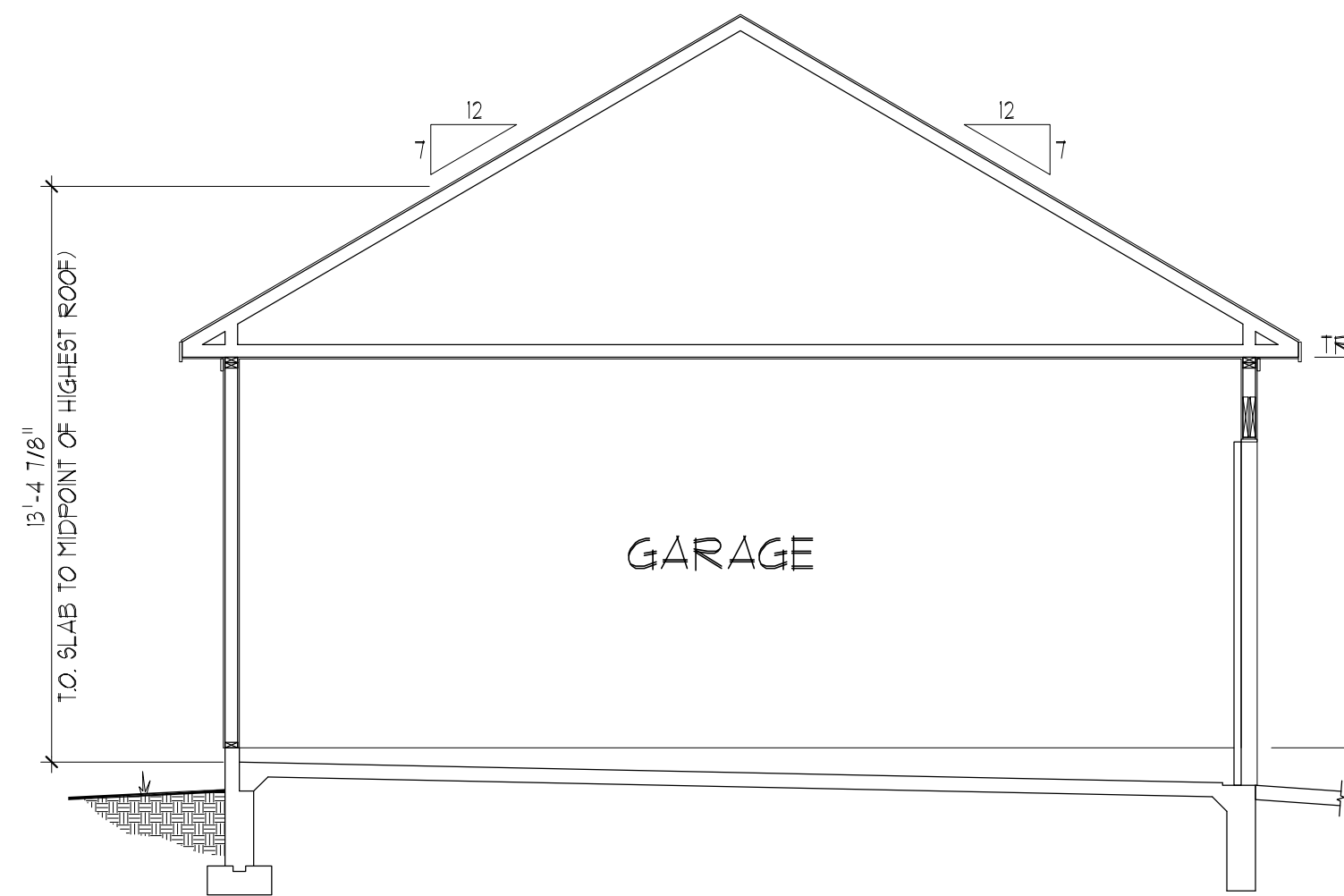
SHEET No. 4.03



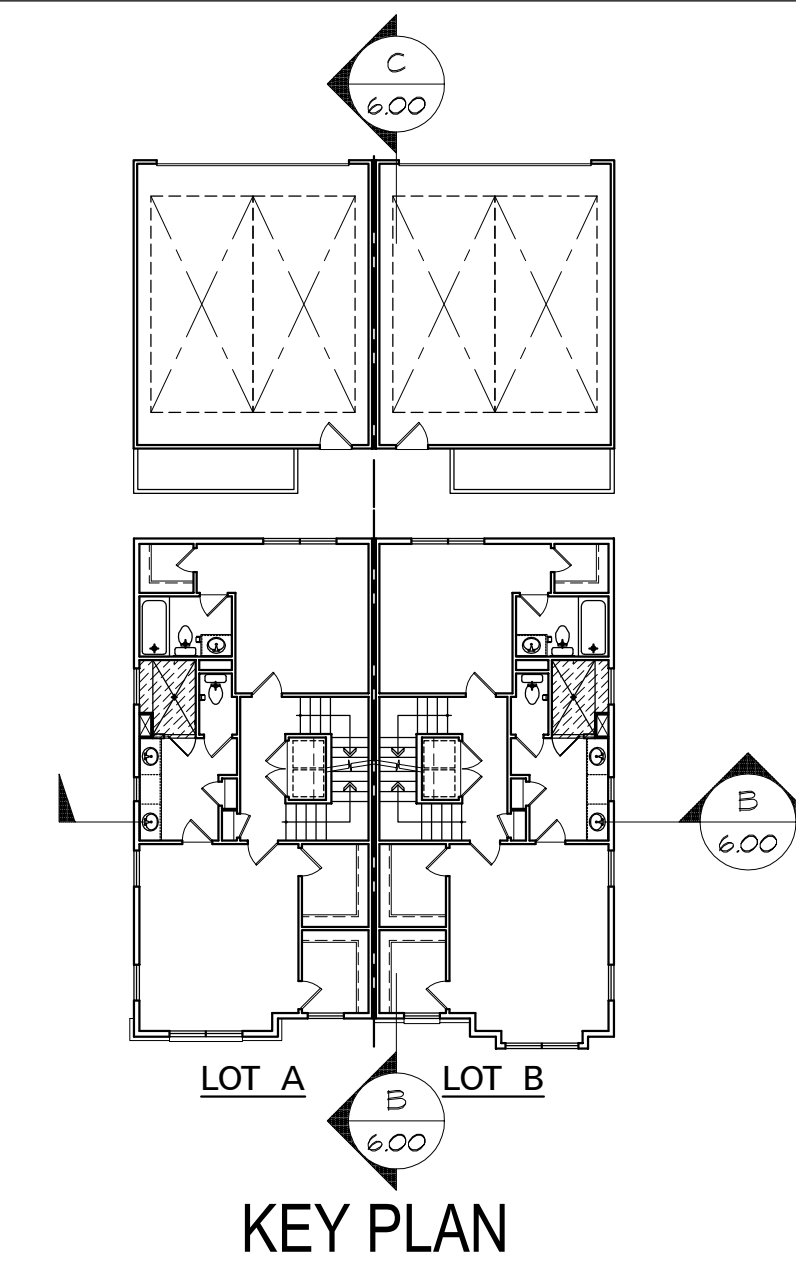
A BUILDING SECTION AT STAIR
 6.00 SCALE: 1/4" = 1'-0"



B BUILDING CROSS SECTION
 6.00 SCALE: 1/4" = 1'-0"



C DETACHED GARAGE SECTION
 6.00 SCALE: 1/4" = 1'-0"



KEY PLAN

SHEET TITLE
BUILDING SECTIONS

CLIENT INFORMATION

BEACONCREST HOMES - 1129 N. UTAH ST.
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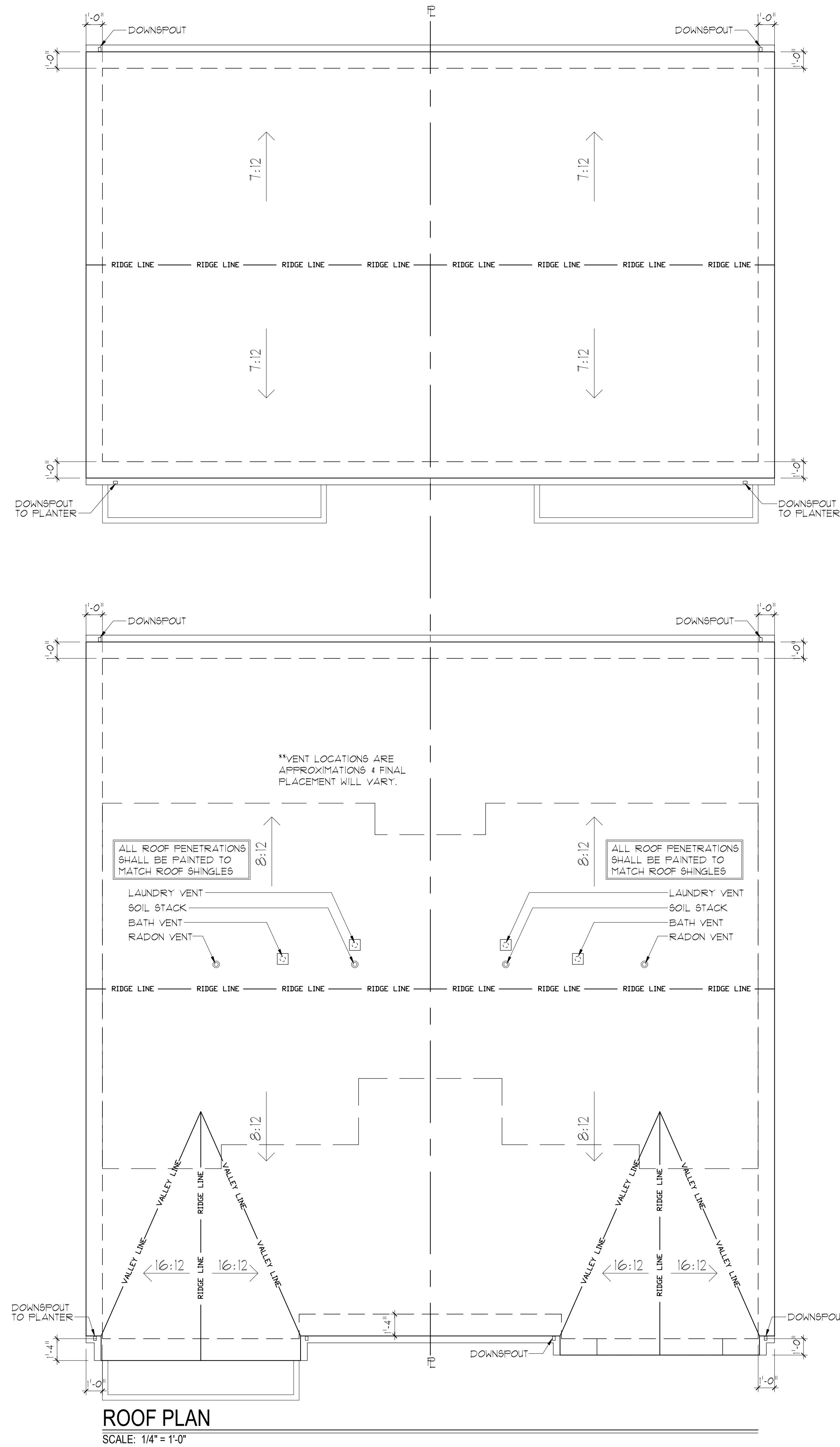
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 WSP

08/01/2022
 REV No. DATE

P496230600

SHEET No.

6.00



ROOF PLAN
 SCALE: 1/4" = 1'-0"

SHEET TITLE
ROOF PLAN

CLIENT INFORMATION:
BEACONCREST HOMES - 1129 N. UTAH ST.
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08/01/2022

REV No. DATE

(Blank revision table)

P496230700

SHEET No.

100



CONCEPT VIEWS
BEACONCREST HOMES - 1129 N. UTAH ST.
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08/01/2022	
REV No.	DATE
P496230800	

SHEET No.
8.00

AREA AND ZONING TABULATION

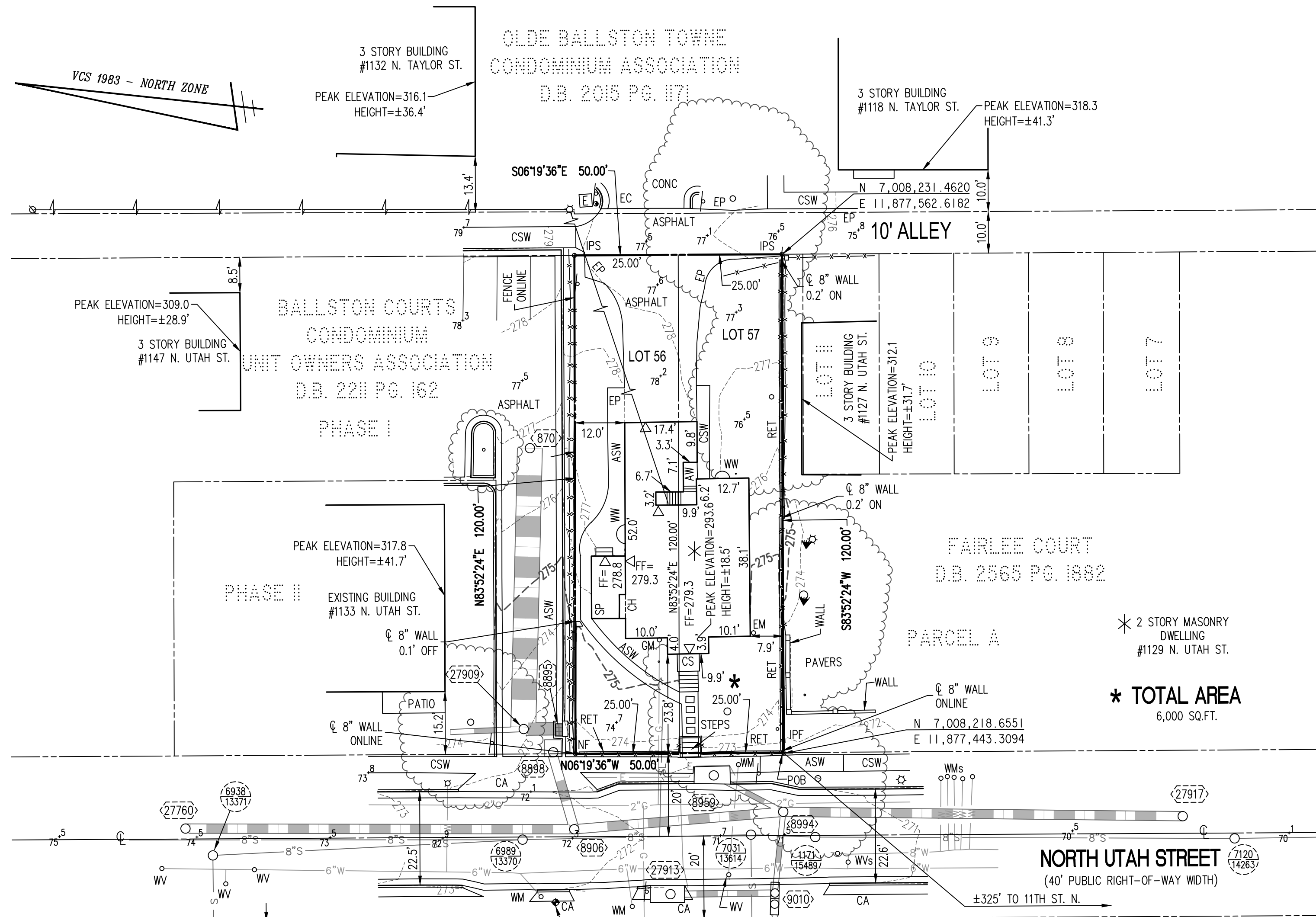
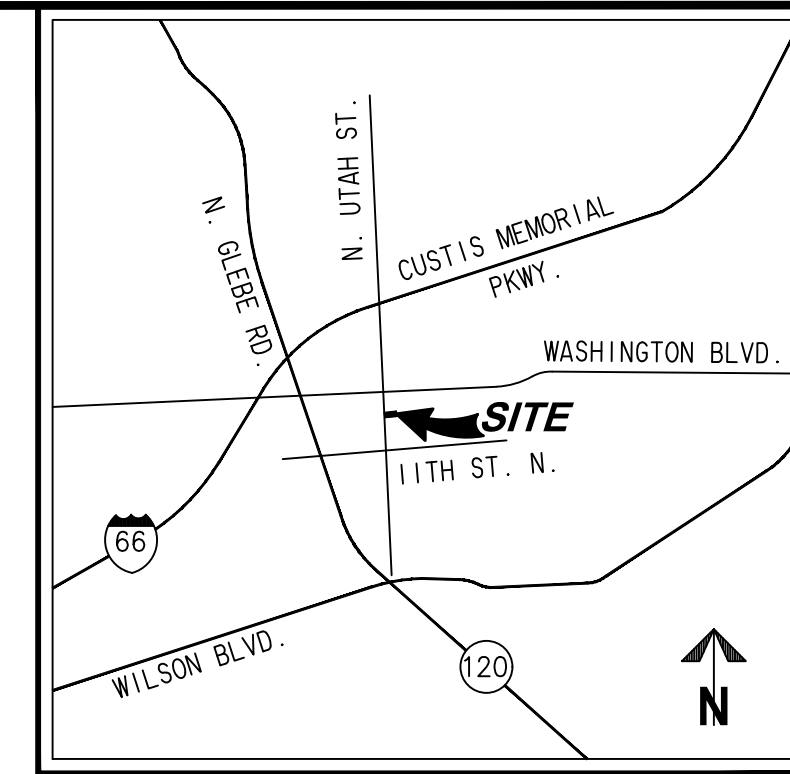
LOT 56 3,000 SQ.FT. OR 0.0688 ACRES; ZONED R-15-30T
 LOT 57 3,000 SQ.FT. OR 0.0688 ACRES; ZONED R-15-30T
 TOTAL AREA 6,000 SQ.FT. OR 0.1377 ACRES

PARKING TABULATION
 0 SPACES

LEGAL DESCRIPTION

LOTS 56 AND 57, R.C.L. MONCURE'S BALLSTON AS RECORDED IN DEED BOOK 119 AT PAGE 124, ARLINGTON COUNTY, VIRGINIA, MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT IN THE EAST RIGHT-OF-WAY LINE OF NORTH UTAH STREET, SAID POINT BEING THE NORTHWEST CORNER OF PARCEL A, FAIRLEE COURT AS RECORDED IN DEED BOOK 2565 AT PAGE 1882; THENCE WITH THE EAST RIGHT-OF-WAY LINE OF NORTH UTAH STREET, N 06°19'36" W, 50.00 FEET TO A POINT, SAID POINT BEING THE SOUTHWEST CORNER OF PHASE I, BALLSTON COURTS CONDOMINIUM AS RECORDED IN DEED BOOK 2211 AT PAGE 162; THENCE WITH PHASE I, N 83°52'24" E, 120.00 FEET TO A POINT IN THE WEST RIGHT-OF-WAY LINE OF A PUBLIC ALLEY; THENCE WITH THE WEST RIGHT-OF-WAY LINE OF A PUBLIC ALLEY, S 06°19'36" E, 50.00 FEET TO A POINT, SAID POINT BEING THE NORTHEAST CORNER OF AFORESAID PARCEL A, FAIRLEE COURT; THENCE WITH PARCEL A, S 83°52'24" W, 120.00 FEET TO THE POINT OF BEGINNING AND CONTAINING AN AREA OF 6,000 SQUARE FEET OR 0.1377 ACRES



NOTES

1. THE PROPERTY SHOWN HEREON APPEARS ON ARLINGTON COUNTY REAL PROPERTY IDENTIFICATION MAP NUMBER 052-08 AS REAL PROPERTY CODE (RPC) 14-019-007 AND IS ZONED R15-30T.
2. THE PROPERTY, CONSISTING OF LOTS 56 AND 57, AS RECORDED IN DEED BOOK 119 AT PAGE 124, IS NOW IN THE NAME OF 1129 N UTAH, LLC, AS RECORDED IN INSTRUMENT NUMBER 20220100011551 AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA.
3. THIS PLAT AND THE SURVEY UPON WHICH IT IS BASED SHOWS ONLY THOSE IMPROVEMENTS THAT ARE OBSERVABLE AND CAN BE LOCATED USING NORMAL SURVEY METHODS. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, MISS UTILITY MARKINGS AND EXISTING RECORDS. THERE ARE NO GUARANTEES, EITHER EXPRESS OR IMPLIED, THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED, OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE UNDERGROUND UTILITIES HAVE NOT BEEN PHYSICALLY LOCATED. WATER AND GAS LINE SIZES ARE FROM RECORD INFORMATION.
4. EXISTING SANITARY LATERAL SHOWN FROM ARLINGTON COUNTY REPORT FOR TAP, PERMIT NUMBER 11536, DATED 2/18/48. THE UTILIZATION AND INTERPRETATION OF THIS INFORMATION IS AT USER'S RISK. THE LATERAL WAS NOT FIELD LOCATED.
5. THE PROPERTY IS SERVED BY 5/8" WATER METER PER ARLINGTON COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES.
6. TOTAL AREA OF THE PROPERTY IS 6,000 SQUARE FEET OR 0.1377 ACRES.
7. THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR ARLINGTON COUNTY, VIRGINIA, MAP NUMBER 51013C0038C, EFFECTIVE DATE AUGUST 19, 2013, DESIGNATES THE PROPERTY AS BEING IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
8. EASEMENTS, CONDITIONS, COVENANTS AND RESTRICTIONS, SHOWN AND/OR NOTED, ARE PER THE TITLE REPORT ISSUED BY STEWART TITLE AND ESCROW, INC, COMMITMENT NUMBER 1699904 DATED MAY 20, 2022.
9. THE SITE SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AS COMPUTED FROM A FIELD RUN VERTICAL CONTROL SURVEY AND IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983, [NAD 83(2011) (EPOCH:2010.0000)] AS COMPUTED FROM A FIELD RUN BOUNDARY AND HORIZONTAL CONTROL SURVEY. THE COMBINED FACTOR APPLIED TO THE FIELD DISTANCES TO DERIVE THE REFERENCED COORDINATES IS 0.99995089. THE FOOT DEFINITION USED FOR CONVERSION OF THE MONUMENT COORDINATES AND IN THE PERFORMANCE OF THIS SURVEY IS THE U.S. SURVEY FOOT. CONTOUR INTERVAL IS ONE FEET.
10. THIS SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF, DAVID N. ISHERWOOD, L.S., FROM AN ACTUAL [X] GROUND OR [] AIRBORNE SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON NOVEMBER 23, 2022; AND THAT THIS PLAT, MAP, OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
11. THIS SURVEY WAS PERFORMED AT THE REQUEST OF BEACON CREST HOMES.
12. THERE ARE NO RESOURCE PROTECTION AREAS ON THE SITE PER ARLINGTON COUNTY CHESAPEAKE BAY PRESERVATION AREA MAP, EFFECTIVE JANUARY 1, 2018.
13. THERE ARE NO HISTORIC DISTRICTS AND/OR STRUCTURES ON THE SITE PER THE ARLINGTON COUNTY HISTORIC SITES AND DISTRICTS MAP.

LEGEND

- ASW ASPHALT SIDEWALK
- AW AREAWAY
- CA CONCRETE APRON
- CH CHIMNEY
- CONC CONCRETE
- CSW CONCRETE SIDEWALK
- DB DEED BOOK
- EC EDGE OF CONCRETE
- EM ELECTRIC METER
- EP EDGE OF PAVEMENT
- FF FIRST/FINISH FLOOR ELEVATION
- FM GAS METER
- INV INVERT
- IPF IRON PIN FOUND (PROPERTY CORNER)
- IPS IRON PIN SET (PROPERTY CORNER)
- PG PAGE
- RPC REINFORCED CONCRETE PIPE
- RET RETAINING WALL
- SD STORM SEWER STRUCTURE
- SMH SANITARY SEWER STRUCTURE
- SP SCREENED PORCH
- SQ.FT SQUARE FEET
- WM WATER METER
- WV WATER VALVE
- WW WINDOW WELL
- WHD FIRE HYDRANT
- DELTA DOORWAY/ENTRANCE
- UPPER CASE 8 UTILITY POLE
- LOWER CASE 8 LIGHT POLE
- GL GROUND LIGHT
- FENCE FENCE
- OW OVERHEAD WIRES
- EL UNDERGROUND ELECTRIC LINE
- GL UNDERGROUND GAS LINE
- SL UNDERGROUND SANITARY LINE
- SL UNDERGROUND SANITARY LATERAL LINE
- SL UNDERGROUND STORM SEWER LINE
- W UNDERGROUND WATER LINE
- TREE TREE
- LIMITS OF TREE CANOPY/VEGETATION
- CG CURB AND GUTTER
- BOLLARD
- ET ELECTRIC TRANSFORMER
- SPOT SPOT ELEVATION
- SIGN
- UTILITY MANHOLE

AS-BUILT DATA TABLES

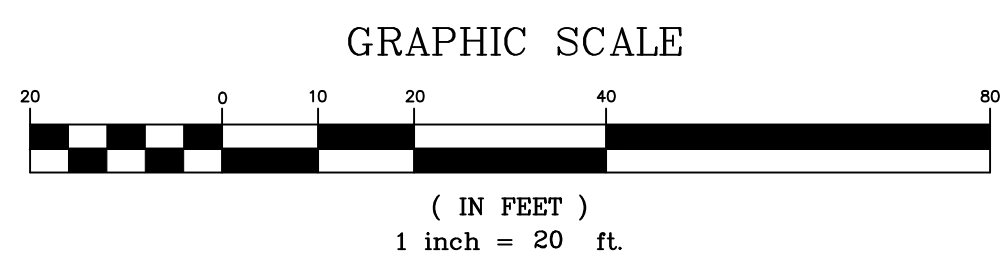
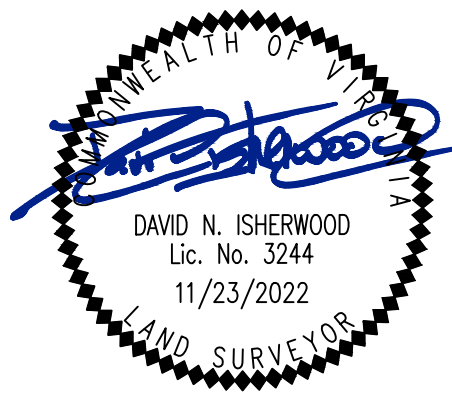
SANITARY SEWER

SMH 6938/13371	MANHOLE TOP = 274.33
	CENTERLINE INV 266.98
SMH 6989/13370	MANHOLE TOP = 272.53
	8" INV IN (SMH 6938/13371) = 266.33
	8" INV IN (NORTH) = 266.24
	INV IN (WEST) = 266.65
	INV IN (EAST) = 266.61
	8" INV OUT (SMH 7031/13614) = 266.20
SMH 7031/13614	MANHOLE TOP = 271.53
	8" INV IN (SMH 6989/13370) = 265.02
	8" INV IN (WEST) = 265.12
	8" INV OUT (SMH 1171/15489) = 265.01
SMH 1171/15489	MANHOLE TOP = 271.41
	8" INV IN (SMH 7031/13614) = 264.70
	8" INV OUT (SMH 7120/14263) = 264.70

PIPE DIAMETERS TAKEN FROM RECORD INFORMATION.
 *INVERT TAKEN FROM RECORD INFORMATION

STORM SEWER

SD 27909	MANHOLE TOP = 273.03
	15" RCP IN (NORTH) = 268.53
	36" RCP IN (EAST) = 268.53
	36" RCP IN (EAST) = 268.53
	36" RCP OUT (SD 8895) = 268.53
SD 8895	CURB/GRATE INLET TOP = 272.49
	36" RCP IN (SD 27909) = 268.44
	4" PVC OUT (SD 8898) = 268.49
	2.45" WIDE X 0.35" HIGH WEIR 271.31
SD 8898	MANHOLE TOP = 272.78
	4" PVC (SD 8895) = 268.53
	2.45" WIDE X 0.35" HIGH WEIR 271.31
	27" RCP OUT (SD 8906) = 268.31
SD 8906	MANHOLE TOP = 272.24
	27" RCP IN (SD 27760) = 268.14
	27" RCP IN (SD 8898) = 267.99
	27" RCP OUT (SD 8994) = 267.94



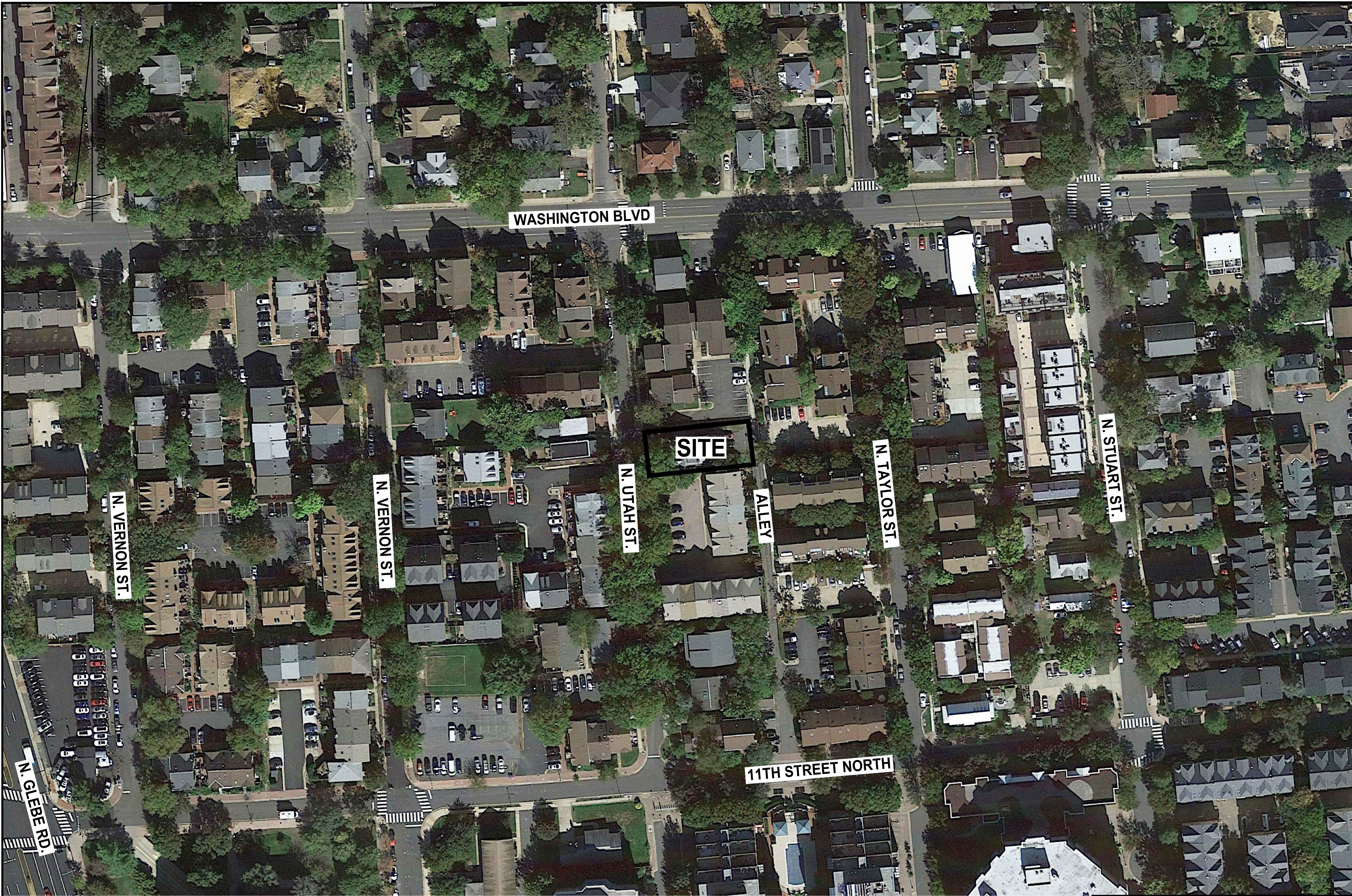
WALTER L. PHILLIPS
 INCORPORATED
 ESTABLISHED 1945
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1129 NORTH UTAH STREET
 4.1 SITE PLAN SUBDIVISION
 ARLINGTON COUNTY, VIRGINIA

SUBMISSIONS

NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023

SCALE: 1" = 20'
 SHEET TITLE:
CERTIFIED SURVEY PLAT
 SHEET #:
C-0301



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DRAWN: DL/RH CHECKED: RW
DATE: 06/29/2023

1129 NORTH UTAH STREET
4.1 SITE PLAN SUBDIVISION
ARLINGTON COUNTY, VIRGINIA

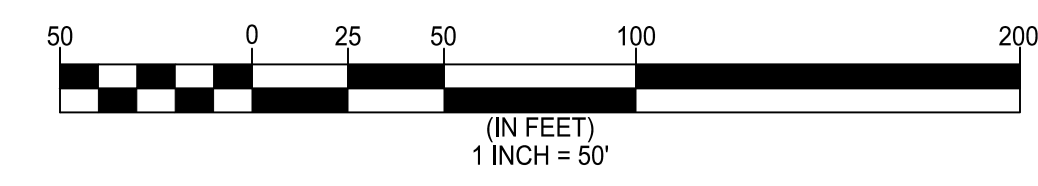


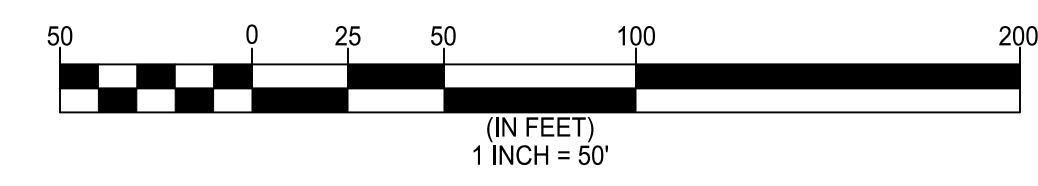
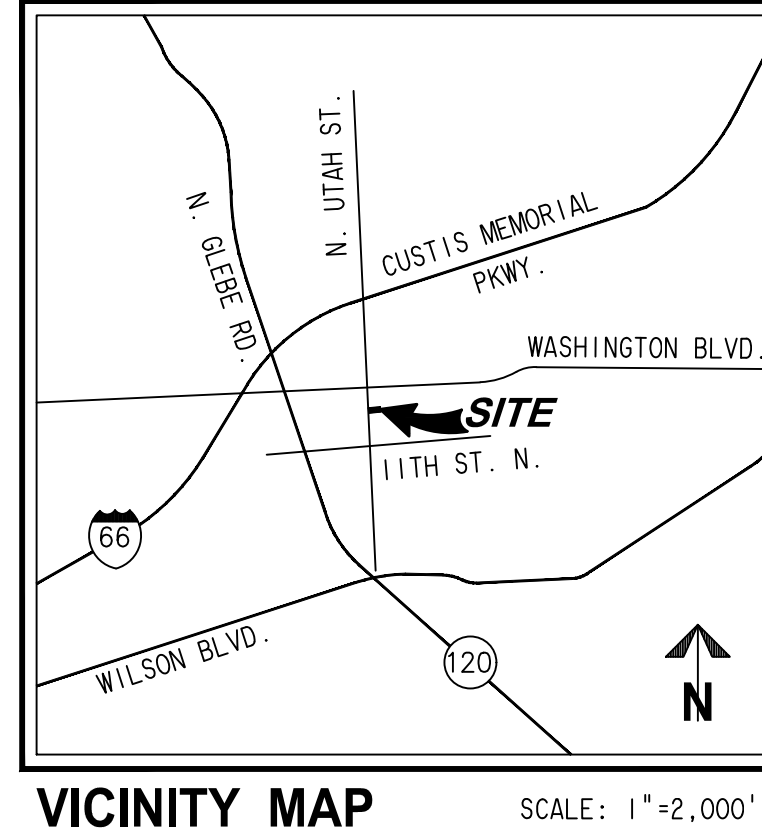
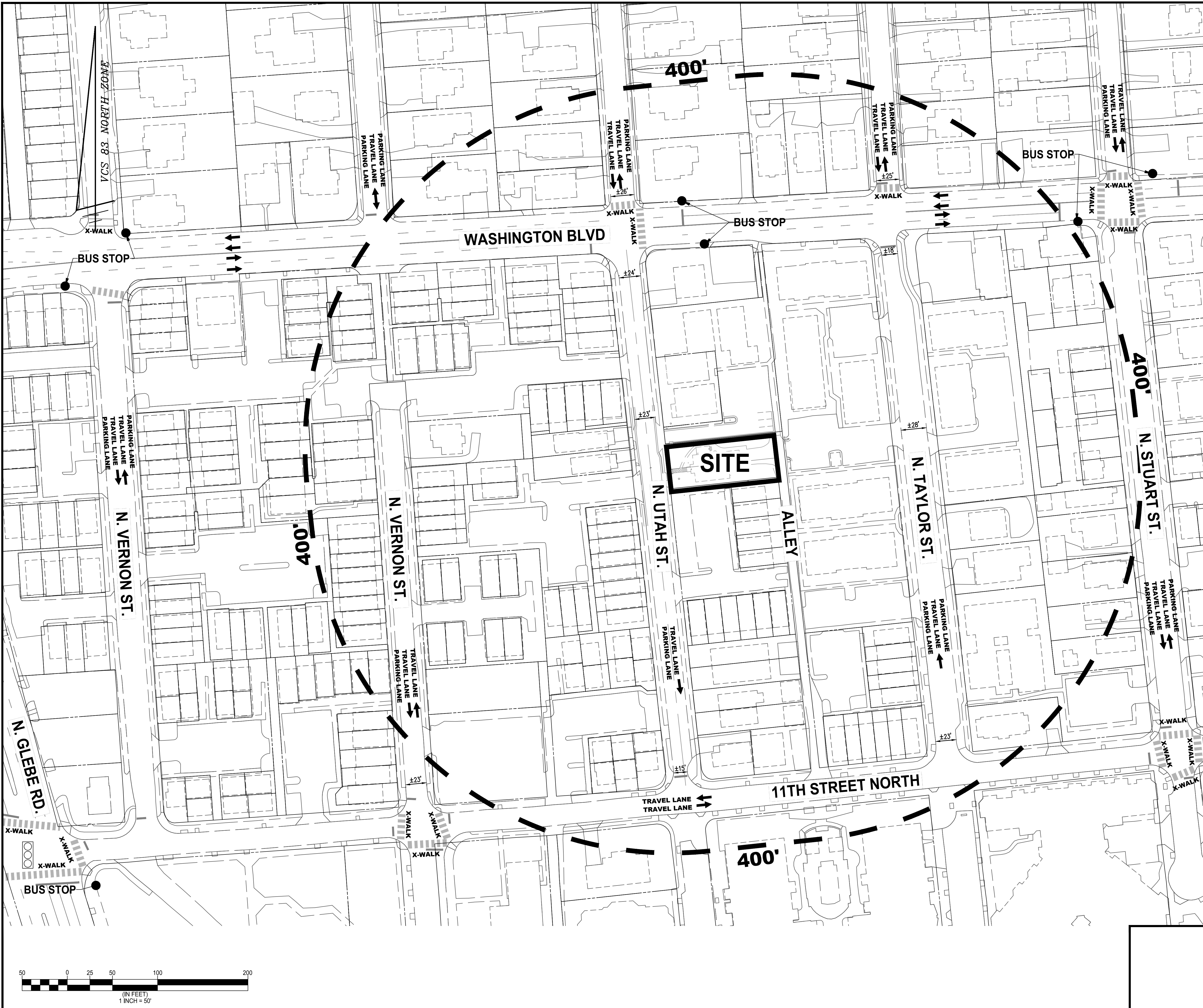
SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023

SCALE: 1" = 50'
SHEET TITLE:

AERIAL EXHIBIT

SHEET #:
C-0302





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DATE: 06/29/2023

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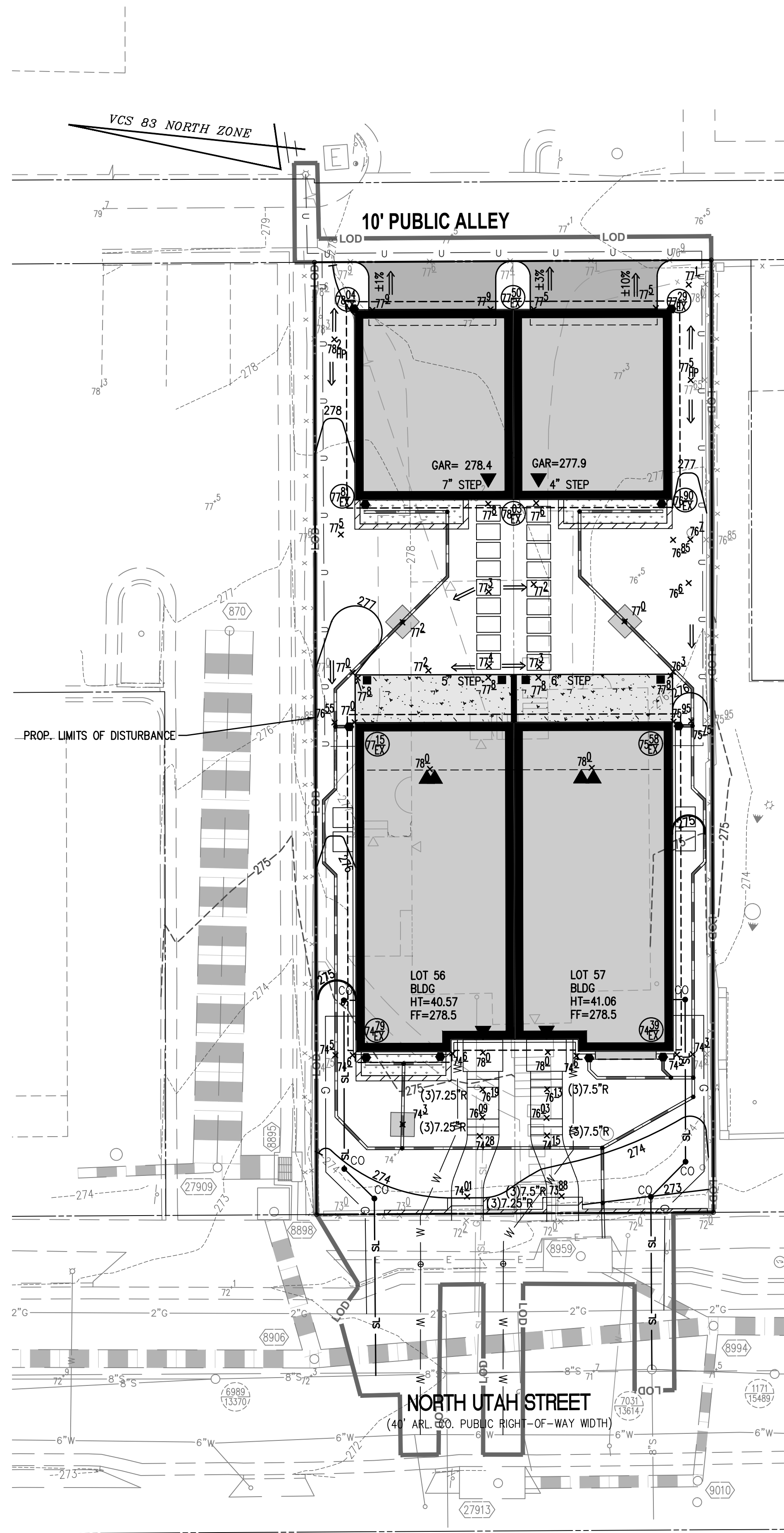
1129 NORTH UTAH STREET
4.1 SITE PLAN SUBDIVISION
ARLINGTON COUNTY, VIRGINIA



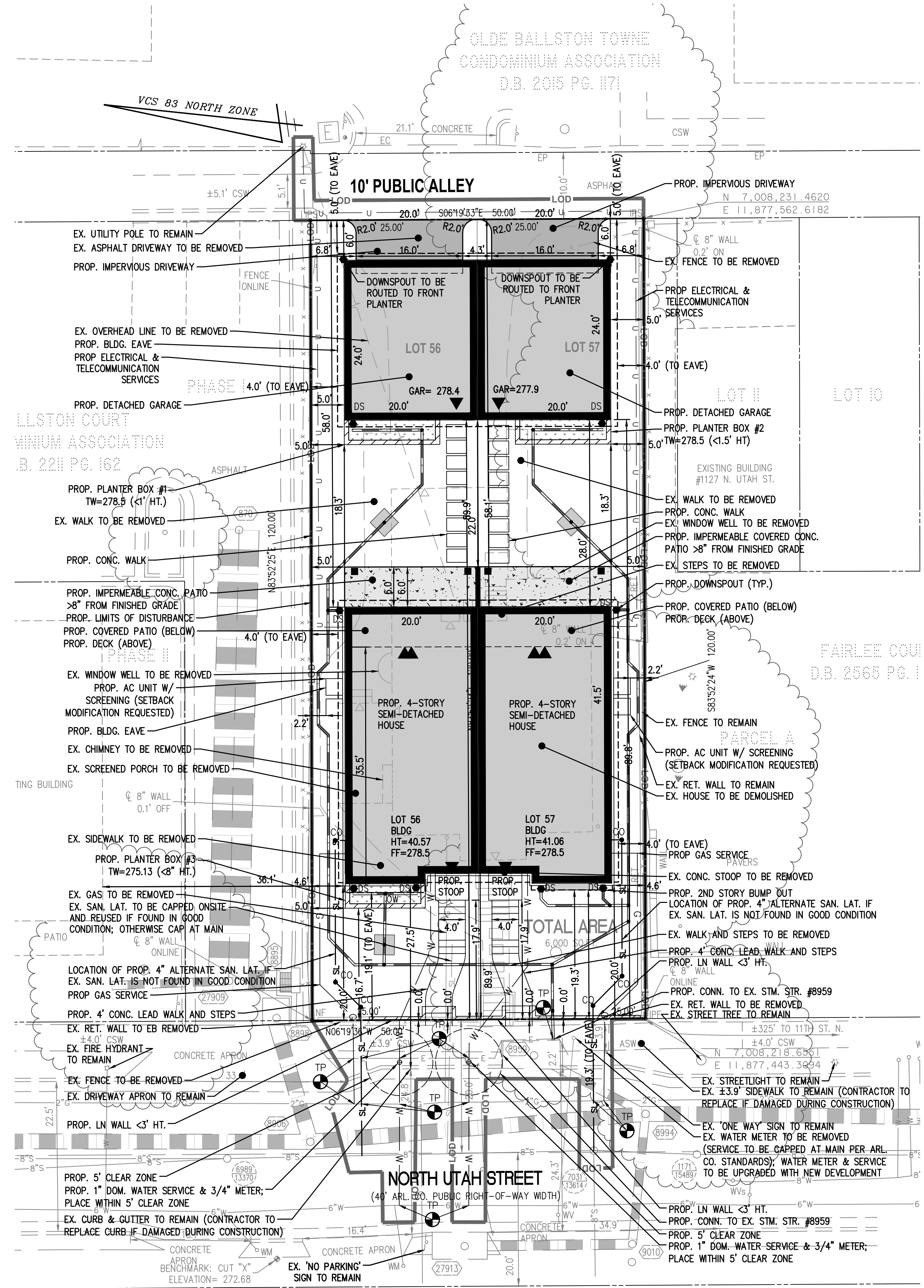
SUBMISSIONS

NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023

SCALE: 1" = 50'
SHEET TITLE:
CONTEXT PLAN
SHEET #:
C-0303



GRADING PLAN
SCALE: 1"=10'



LAYOUT PLAN
SCALE: 1"=10'

DETACHED GARAGE HEIGHT CALCULATION (LOT 56)
 AVERAGE SITE ELEVATION (ASE)
 $278.04 + 277.5 + 278.03 + 277.81 = (1111.38 / 4) = 277.85$
 FF ELEVATION= 278.4'
 BUILDING HT. FROM FF = 13.41'
 ROOF ELEV = 13.41 + 278.4 = 291.81

DETACHED GARAGE HEIGHT CALCULATION (LOT 57)
 AVERAGE SITE ELEVATION (ASE)
 $277.5 + 277.17 + 276.7 + 278.09 = (1109.46 / 4) = 277.37$
 FF ELEVATION= 277.9'
 BUILDING HT. FROM FF = 13.41'
 ROOF ELEV = 13.41 + 277.9 = 291.31

MAIN BUILDING HEIGHT CALCULATION
 AVERAGE SITE ELEVATION (ASE)
 $274.79 + 277.15 + 275.58 + 274.39 = (1101.91 / 4) = 275.48$
 FF ELEVATION= 278.5'
 BUILDING HT. FROM FF = 38.26'
 ROOF ELEV = 38.26 + 278.5 = 316.76

- NOTES:
- THERE IS NO RESOURCE PROTECTION AREA ONSITE PER ARLINGTON COUNTY RECORD INFORMATION.
 - THERE ARE NO HISTORIC STRUCTURES ONSITE PER THE HISTORIC RESOURCES INVENTORY.
 - MODIFICATION REQUESTED FOR PLANTER BOX, EAVE AND FRONT STOOP FRONT YARD SETBACKS.
 - MODIFICATION REQUESTED FOR PLANTER BOX AND EAVE SIDE YARD SETBACKS.
 - MODIFICATION REQUESTED FOR THE FRONT YARD SETBACK FOR THE RETAINING WALL AND STEPS ALONG THE FRONT PROPERTY LINE.

LEGEND

PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2	
	TRANSITION FROM CG-6 TO CG-6R	
	SANITARY SEWER	
	SANITARY LATERAL	
	CLEAN OUT	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN	
	ELECTRICAL	
	TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	TEST PIT	
	LIMITS OF DISTURBANCE	

ZONING

TOTAL SITE AREA: 6,000 SF 0.1377 AC
 ZONE: R15-30T
 SPECIAL EXCEPTION REQUESTED FOR SEMI-DETACHED, TWO-FAMILY DWELLINGS

	REQUIRED	PROVIDED
LOT, MINIMUM	5,808 SF	6,000 SF
LOT AREA	2,904 SF	3,000 SF (LOT 56) 3,000 SF (LOT 57)
LOT WIDTH, MIN. (BY SITE PLAN)	25 FT.	25.0' (LOT 56) 25.0' (LOT 57)
HEIGHT (MAIN BUILDING)	45 FT.	ROOF ELEV - ASE = BUILDING HEIGHT 316.76 - 275.48 = 41.28
HEIGHT (DETACHED GARAGE)	25 FT.	ROOF ELEV - ASE = BUILDING HEIGHT 291.81 - 277.85 = 13.96' (LOT 56) 291.31 - 277.37 = 13.94' (LOT 57)
(SEE HEIGHT CALCULATIONS, THIS SHEET)		
SETBACK REQUIREMENTS:		
MAIN BUILDING		
FRONT	25' TO PL	19.3' (MOD REQUESTED)
REAR	25' TO PL	58.0'
SIDE	10' + 1/2 25' ABOVE 25' 16.48' FOR 41.21' BUILDING	4.6' (MOD REQUESTED)
DETACHED GARAGE		
FRONT	25' TO PL	LOT 56 - 89.8' LOT 57 - 89.8'
REAR	1' TO PL	LOT 56 - 5.0' TO EAVE LOT 57 - 5.0' TO EAVE
SIDE	1' TO PL	LOT 56 - 4.0' TO EAVE, 0.0' (MOD REQUESTED) LOT 57 - 4.0' TO EAVE, 0.0' (MOD REQUESTED)
COVERAGE REQUIREMENTS:		
MAXIMUM 56% ALLOWED	LOT 56	LOT 57
BUILDING COVERAGE:	1,428 SF	1,431 SF
VEHICULAR AREA:	98 SF	99 SF
COVERAGE:	1,524 SF	1,530 SF
TOTAL SITE	3,054 SF	3,054 SF
LOT 56:	1,524 SF / 3,000 SF = 50.8%	
LOT 57:	1,530 SF / 3,000 SF = 51.0%	
TOTAL:	3,054 SF / 6,000 SF = 50.9%	

PARKING TABULATIONS

REQUIRED	SPACE PER DWELLING UNIT	TOTAL SPACES
1	1	1
2	2	2

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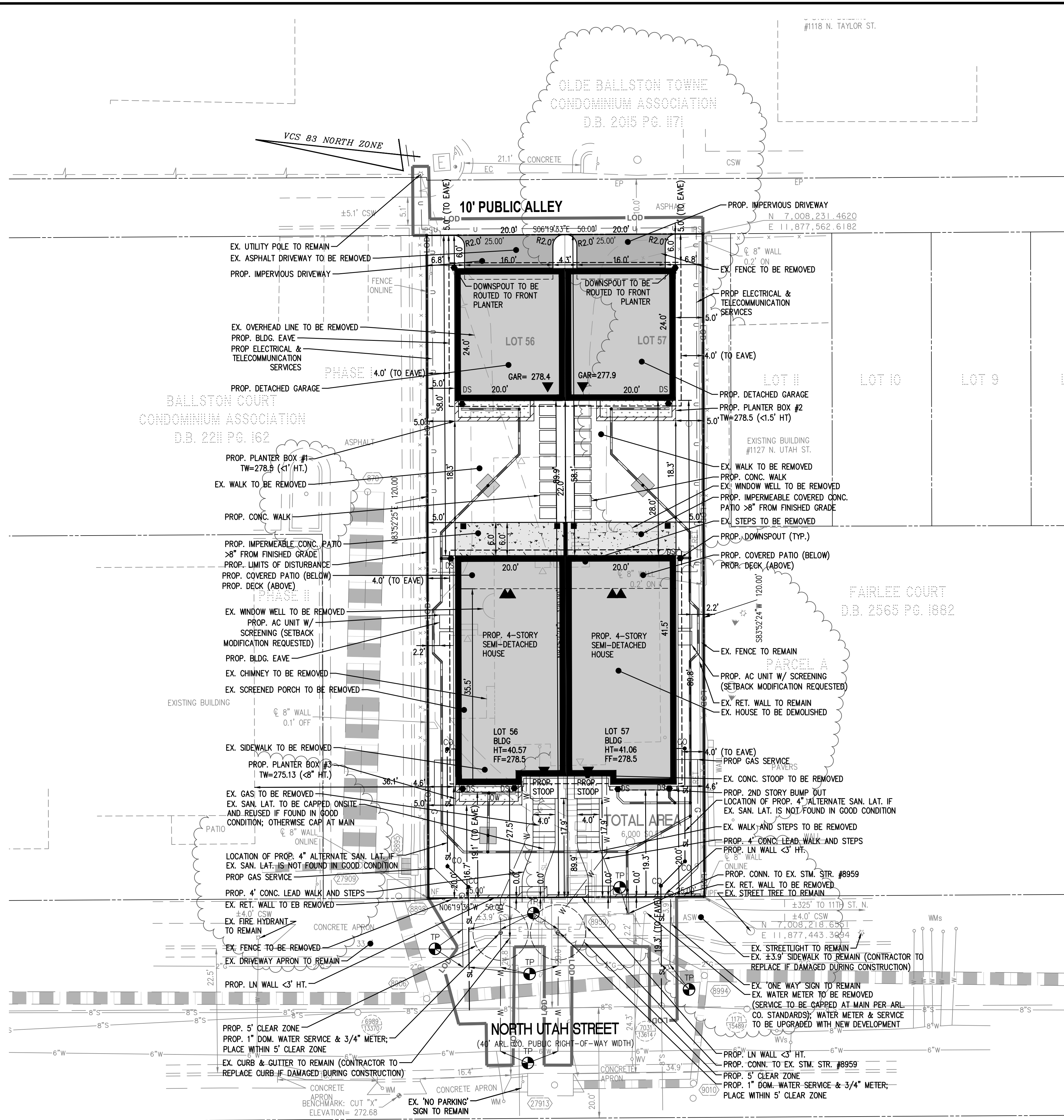
1129 NORTH UTAH STREET
 4.1 SITE PLAN SUBDIVISION
 ARLINGTON COUNTY, VIRGINIA



SUBMISSIONS

NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023

SCALE: 1" = 10'
 SHEET TITLE:
PLOT AND LOCATION PLAN
 SHEET #:
C-0401



PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2	
	TRANSITION FROM CG-6 TO CG-6R	
	SANITARY SEWER	
	SANITARY LATERAL	
	CLEAN OUT	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN	
	ELECTRICAL	
	TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS 260 264	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	BOTTOM OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	TEST PIT	
	LIMITS OF DISTURBANCE	

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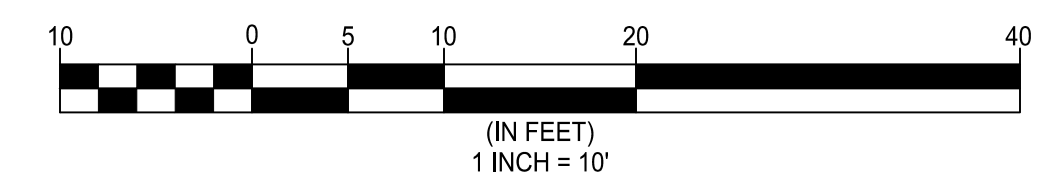
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DATE: 06/29/2023

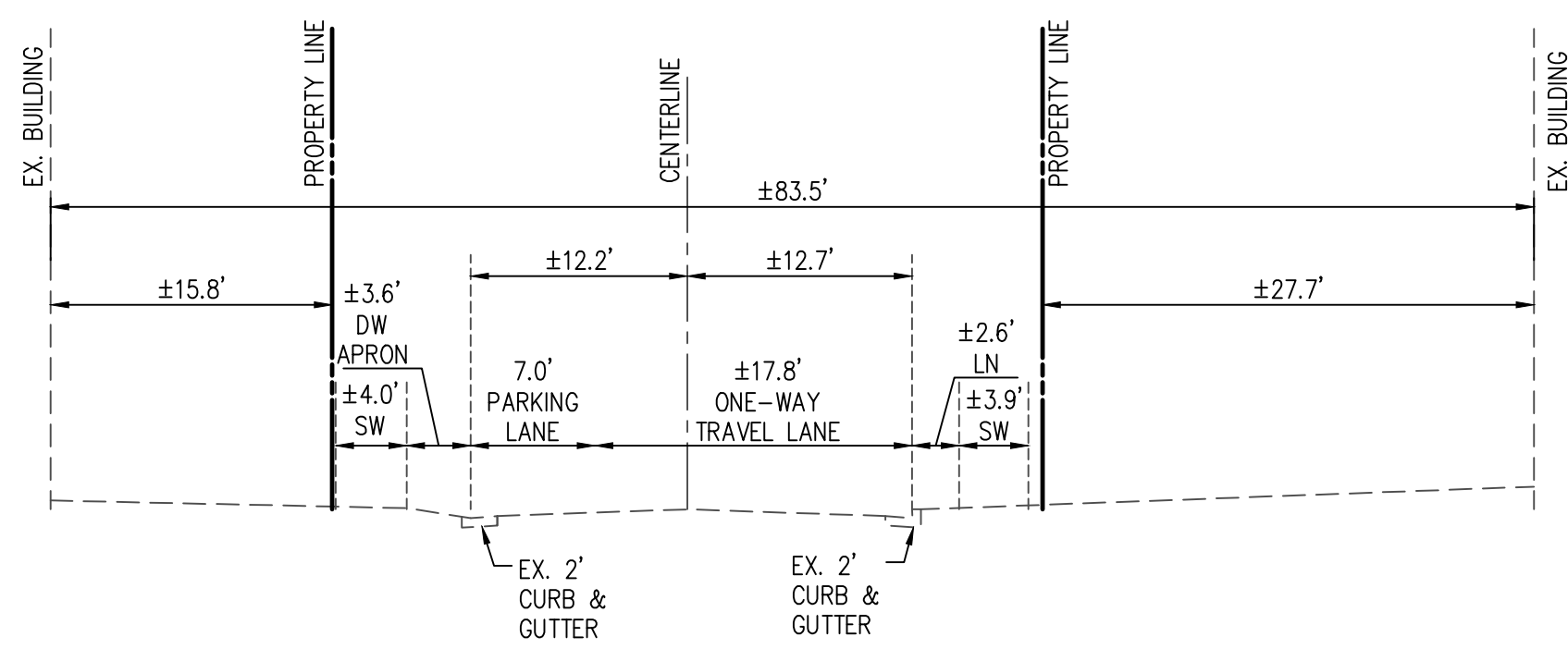
1129 NORTH UTAH STREET
4.1 SITE PLAN SUBDIVISION
ARLINGTON COUNTY, VIRGINIA



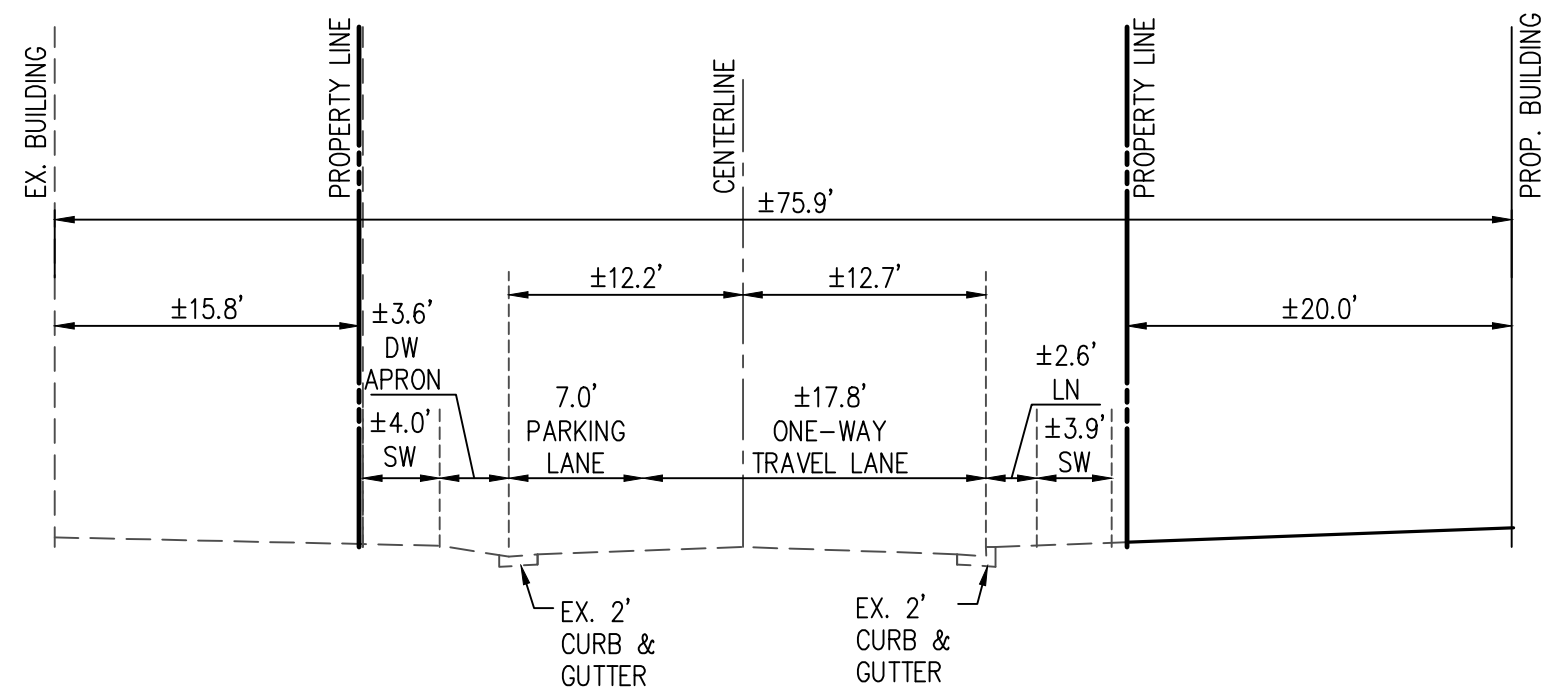
SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023

SCALE: 1" = 10'
SHEET TITLE:
PRESENTATION PLAN
SHEET #:
C-0402

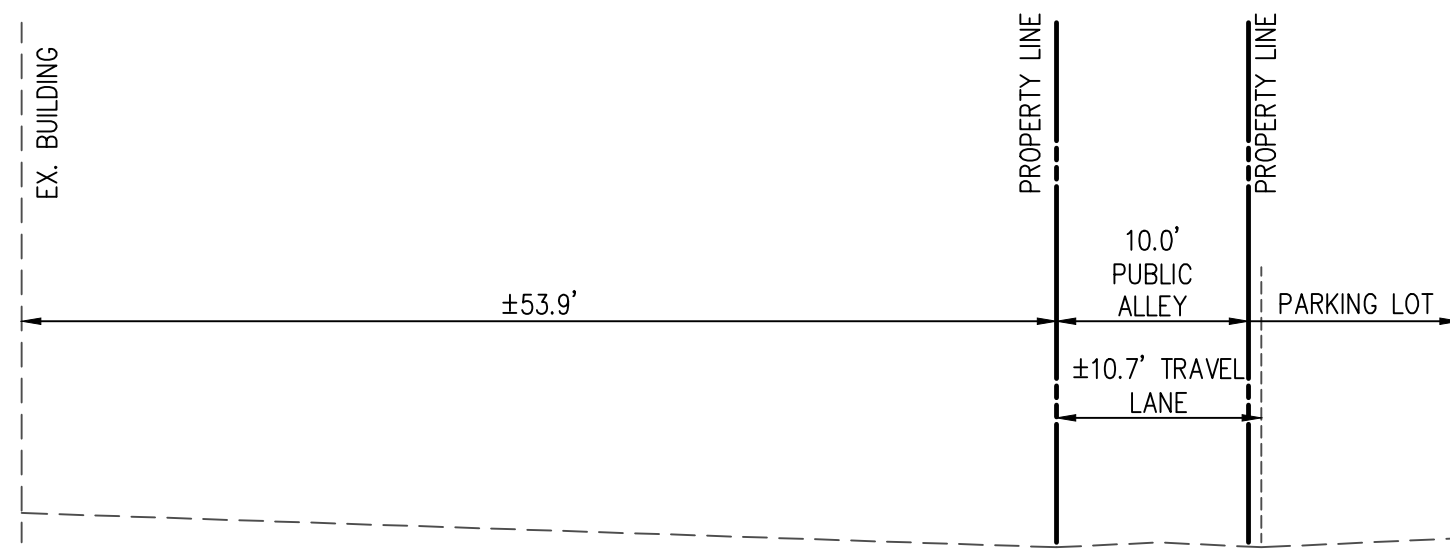




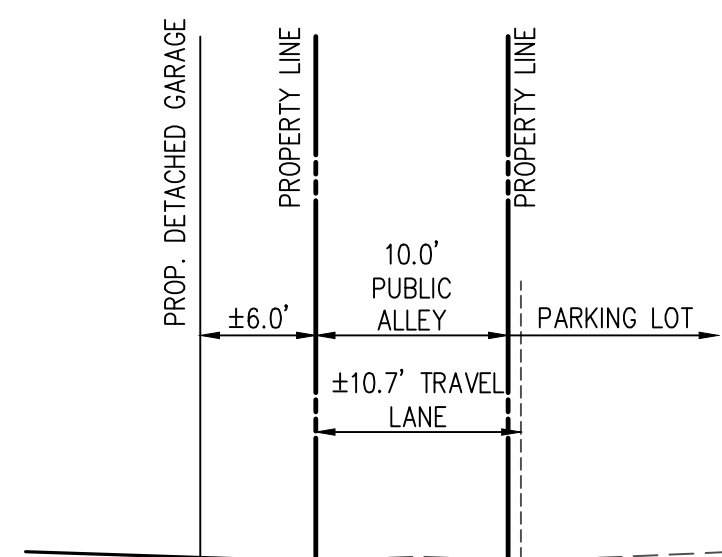
EXISTING NORTH UTAH STREET SECTION A-A
SCALE: 1"=10'



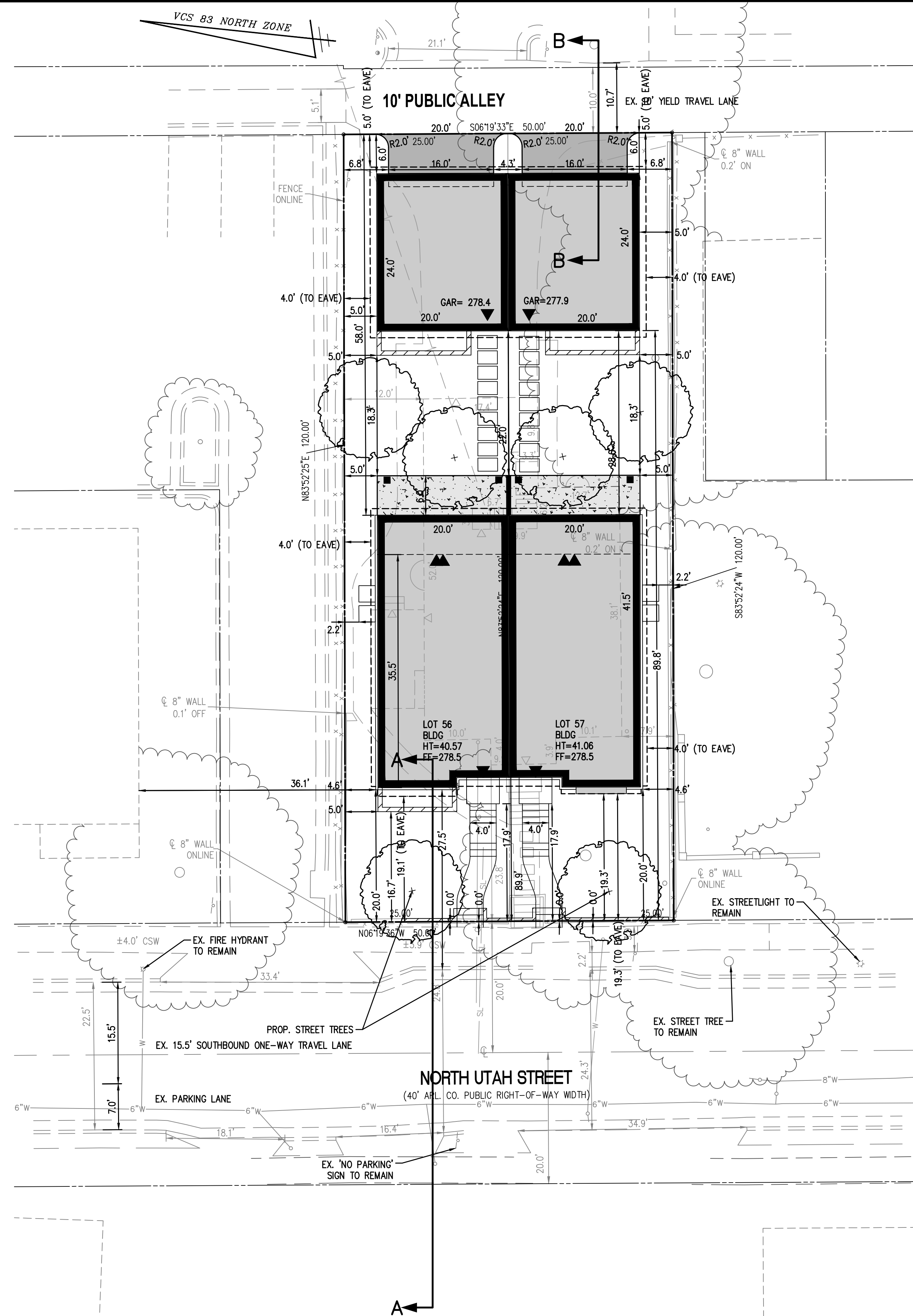
PROPOSED NORTH UTAH STREET SECTION A-A
SCALE: 1"=10'



EXISTING PUBLIC ALLEY SECTION B-B
SCALE: 1"=10'



PROPOSED PUBLIC ALLEY SECTION B-B
SCALE: 1"=10'



PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2	
	TRANSITION FROM CG-6 TO CG-6R	
	SANITARY SEWER	
	SANITARY LATERAL	
	CLEAN OUT	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN	
	ELECTRICAL	
	TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL	
	FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS 260	
	CONTOURS 264	
	SPOT ELEVATION +264.50	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	BOTTOM OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	TEST PIT	
	LIMITS OF DISTURBANCE	

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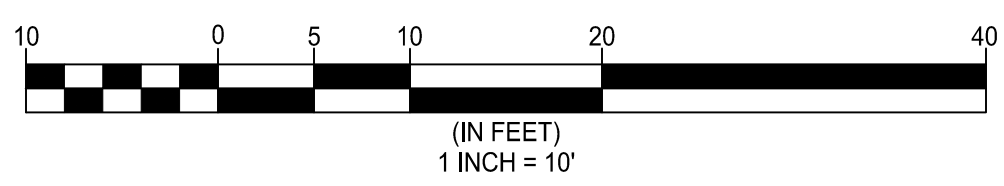
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DRAWN: DL/RH CHECKED: RW
DATE: 06/29/2023

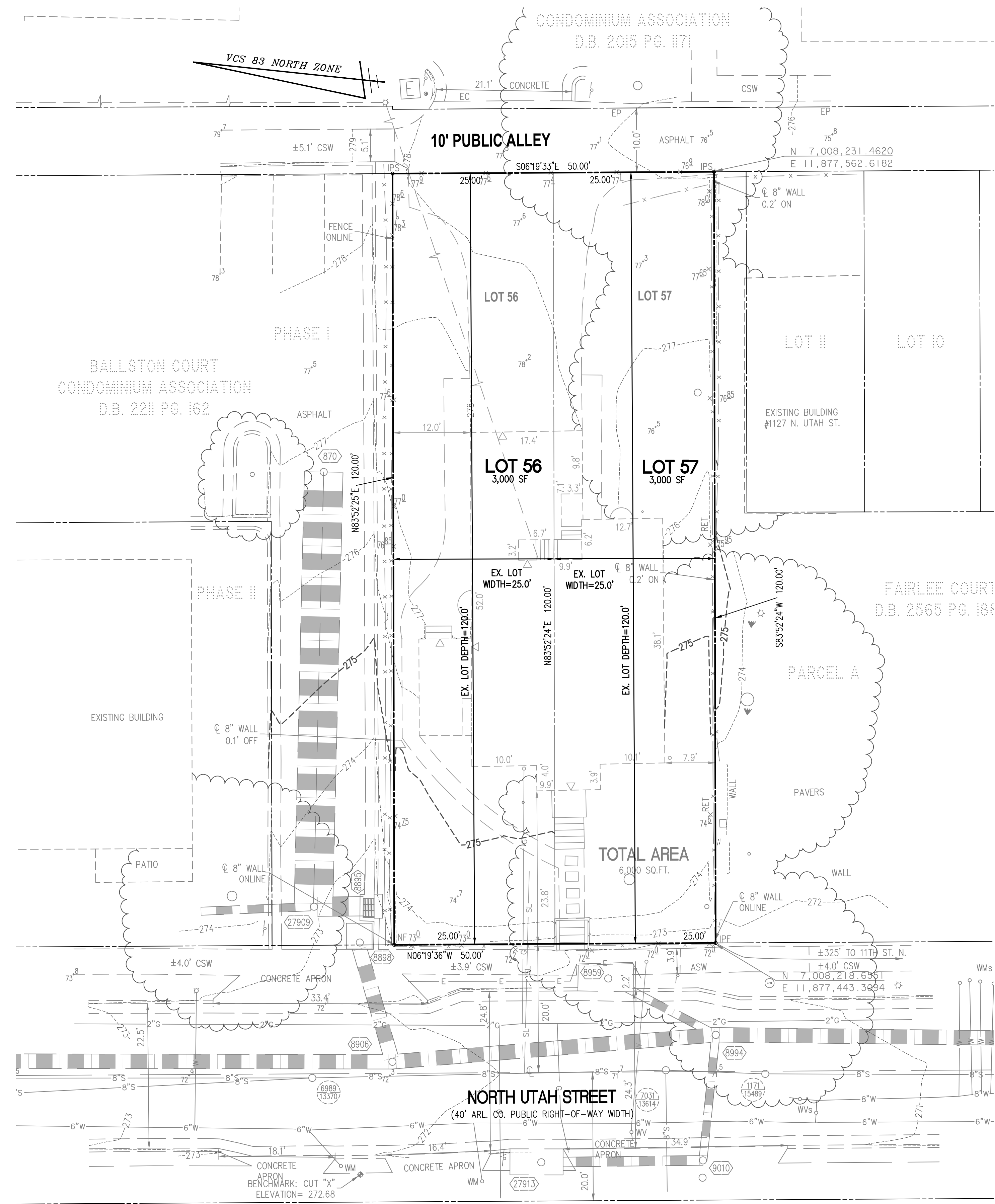
1129 NORTH UTAH STREET
4.1 SITE PLAN SUBDIVISION
ARLINGTON COUNTY, VIRGINIA

COMMONWEALTH OF VIRGINIA
Karen L. S. White
KAREN L. S. WHITE
Lic. No. 041850
6/29/2023
PROFESSIONAL ENGINEER

NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023

SCALE: 1" = 10'
SHEET TITLE:
STRIPING & MARKING PLAN
SHEET #:
C-0403





LEGEND

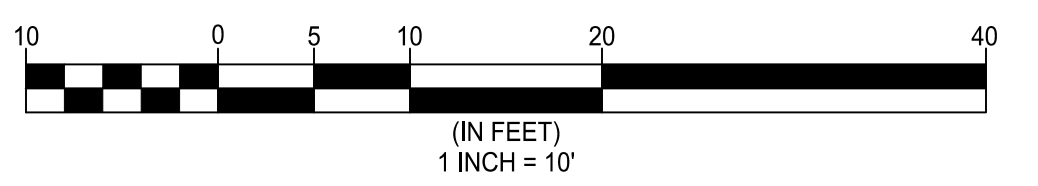
PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2	
	TRANSITION FROM CG-6 TO CG-6R	
	SANITARY SEWER	
	SANITARY LATERAL	
	CLEAN OUT	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN	
	ELECTRICAL	
	TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	BOTTOM OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	TEST PIT	
	LIMITS OF DISTURBANCE	

LOT AREA TAB

LOT #	LOT AREA (SF)	DEPTH (FT)	NET AREA/DEPTH (FT)	MIDPOINT LOT WIDTH (FT)
56	3,000	120.00	25.00	25.00
57	3,000	120.00	25.00	25.00
TOTAL	6,000			

EX. RPC#14019007
NOTE: NO SUBDIVISION IS PROPOSED WITH THIS DEVELOPMENT.

LOT WIDTH EXHIBIT
SCALE: 1"=10'



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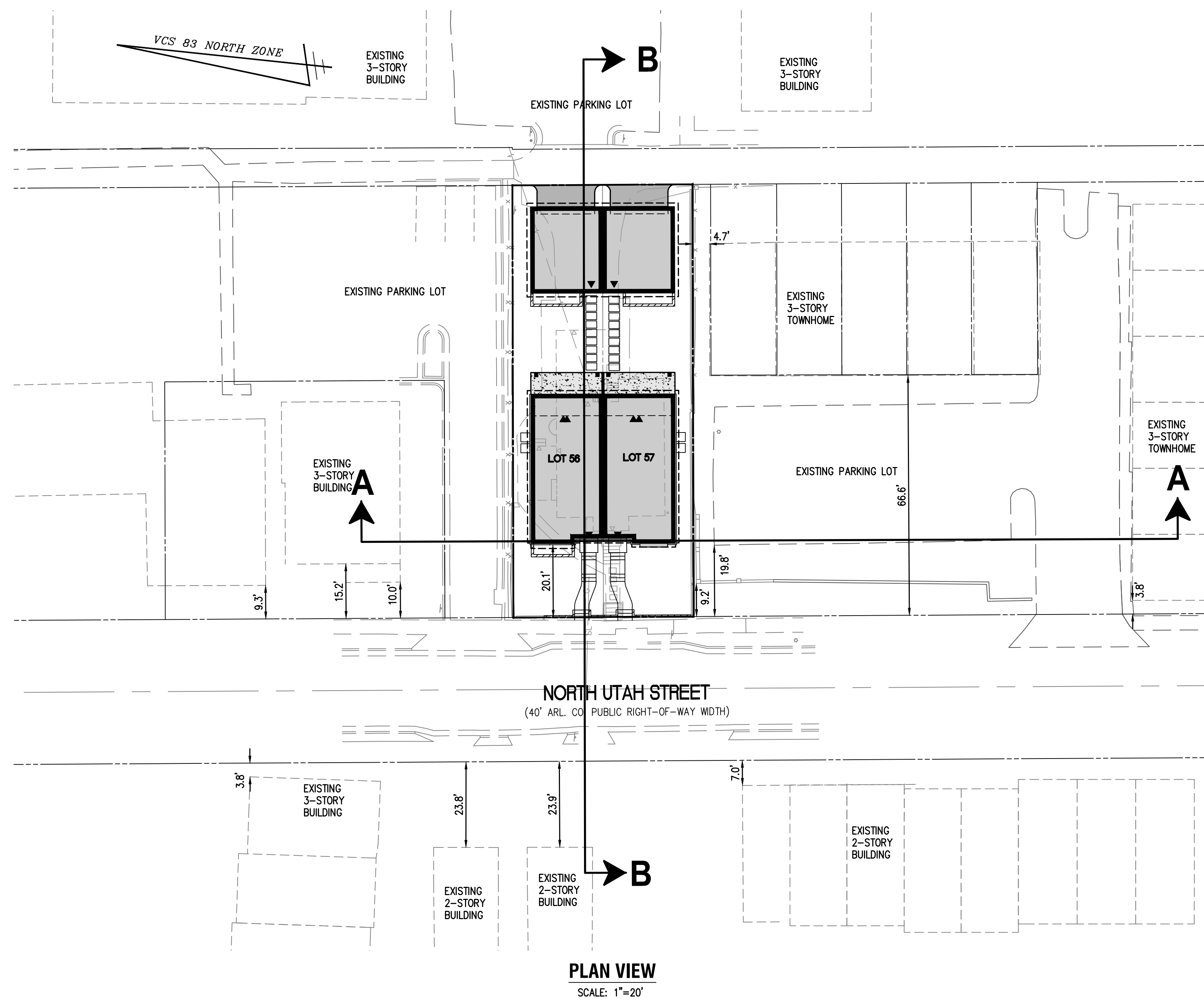
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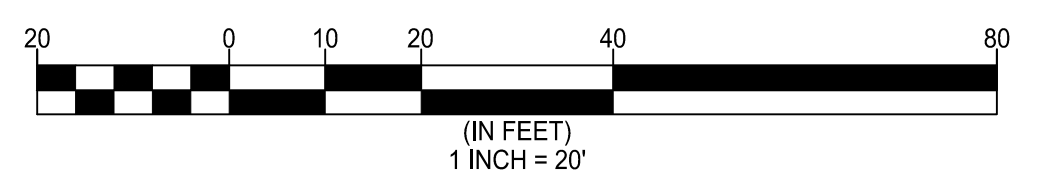
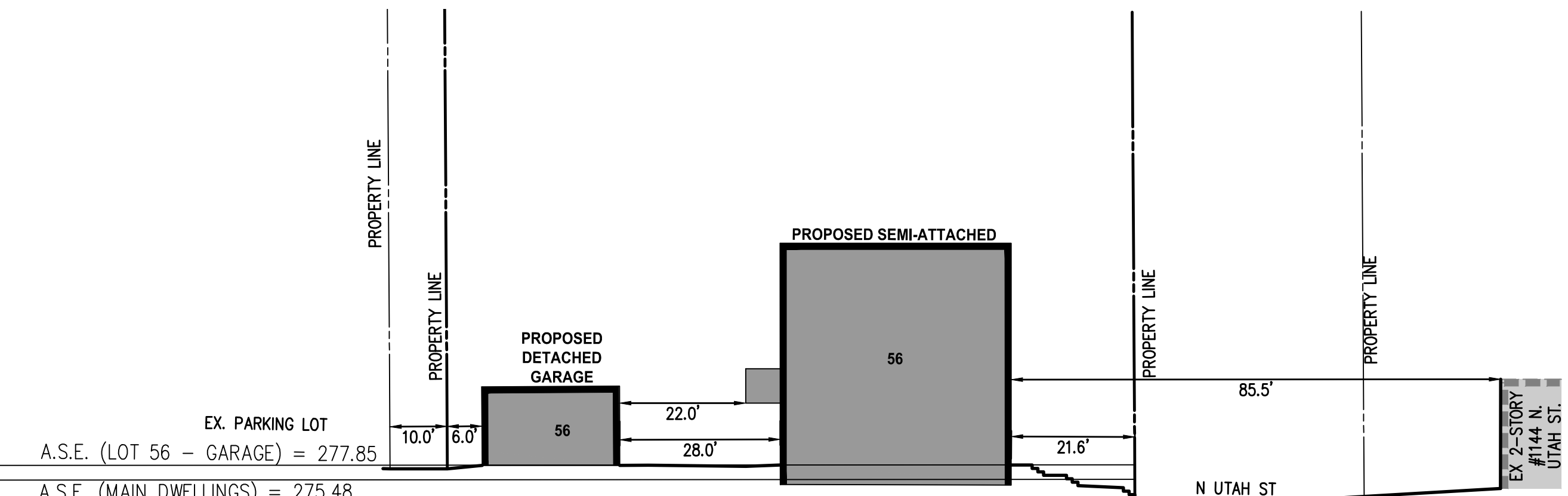
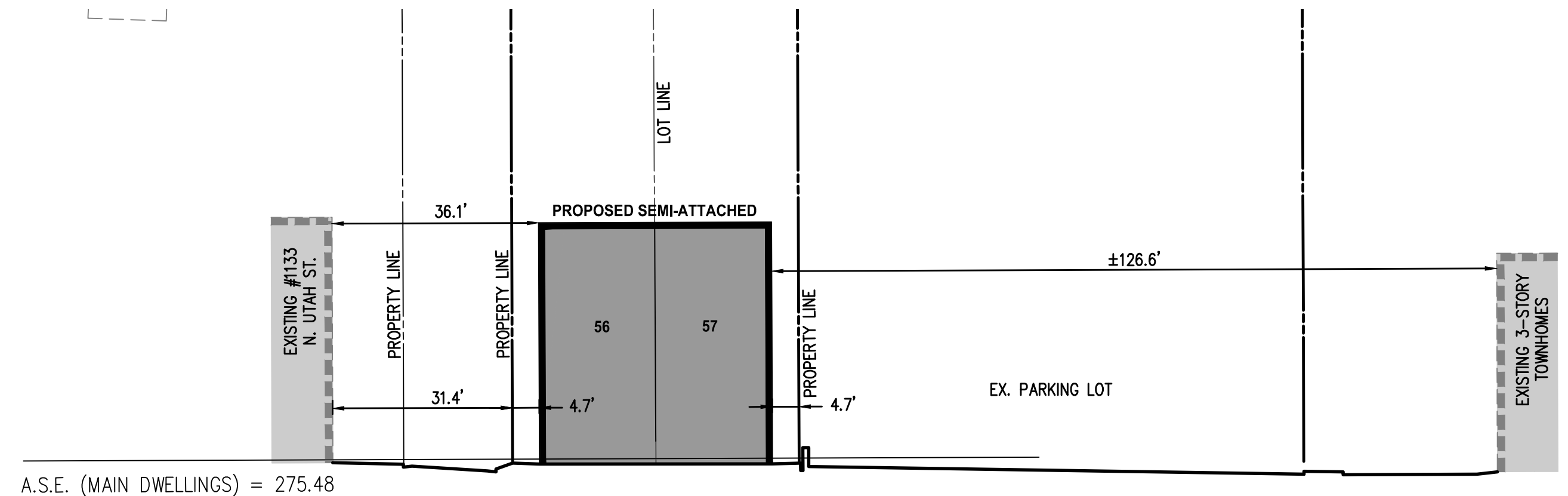
SUBMISSIONS

NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023

SCALE: 1" = 10'
SHEET TITLE:
EXISTING LOT EXHIBIT
SHEET #:
C-0404



PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2	
	TRANSITION FROM CG-6 TO CG-6R	
	SANITARY SEWER	
	SANITARY LATERAL	
	CLEAN OUT	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN	
	ELECTRICAL	
	TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL	
	FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	BOTTOM OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	TEST PIT	
	LIMITS OF DISTURBANCE	



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1129 NORTH UTAH STREET
4.1 SITE PLAN SUBDIVISION
ARLINGTON COUNTY, VIRGINIA



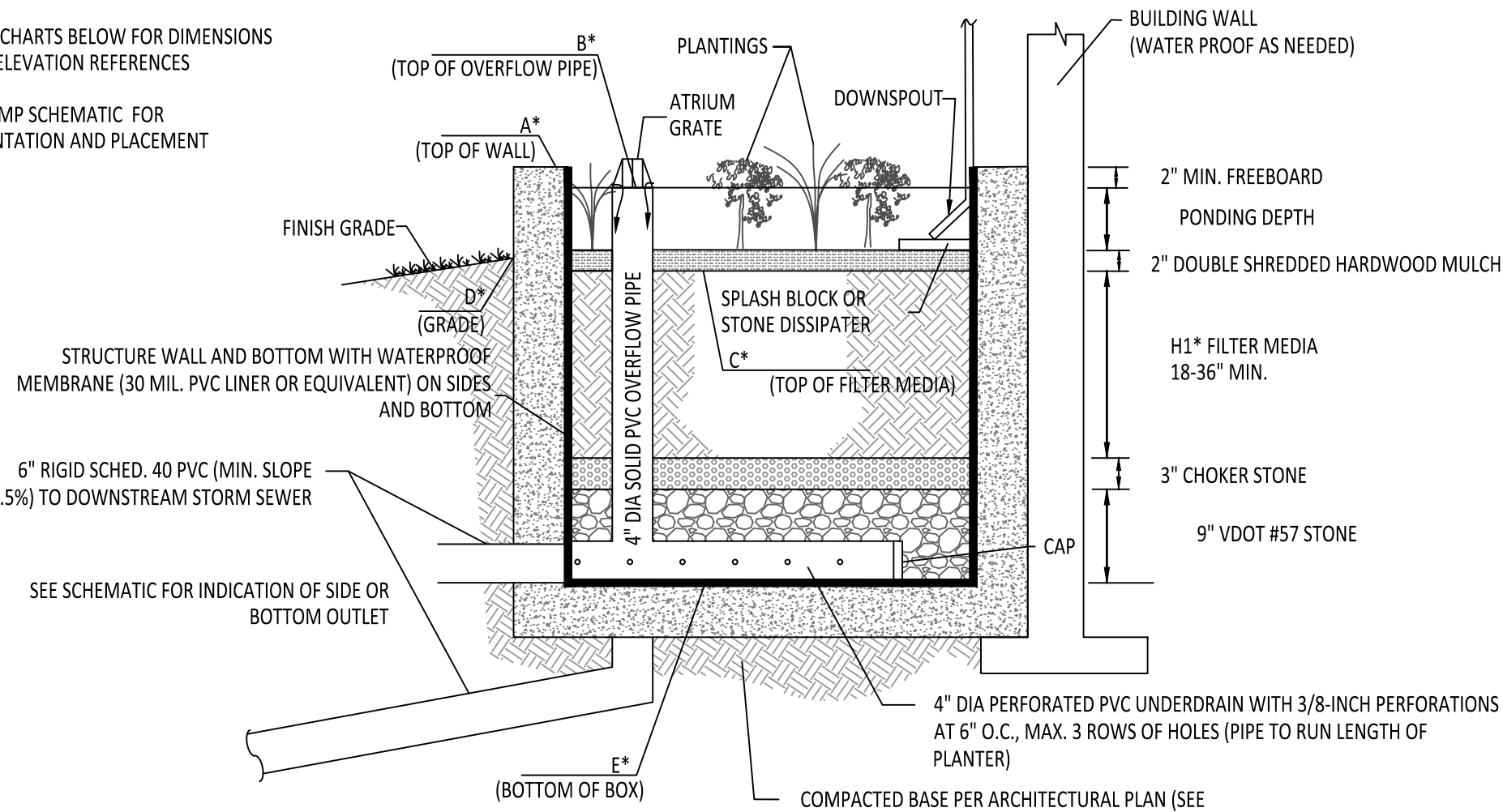
SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023

SCALE: 1" = 20'
SHEET TITLE:
COMPARATIVE HEIGHT SECTIONS
SHEET #:
C-0405

NOTE: ARLINGTON COUNTY DOES NOT REVIEW THE WATERPROOFING DESIGN AND THE OWNER/DEVELOPER AGREES TO HOLD ARLINGTON COUNTY HARMLESS IN THE EVENT OF FAILURE.

NOTE: WALTER L. PHILLIPS INC. IS NOT RESPONSIBLE FOR WATERPROOFING DESIGN REQUIRED AT BUILDING FOUNDATION. CONTRACTOR AND OWNER TO PROVIDE PROPER WATER PROOFING ESPECIALLY NEAR BMP FACILITIES.

* SEE CHARTS BELOW FOR DIMENSIONS AND ELEVATION REFERENCES
SEE BMP SCHEMATIC FOR ORIENTATION AND PLACEMENT



TYPICAL PLANTER BOX

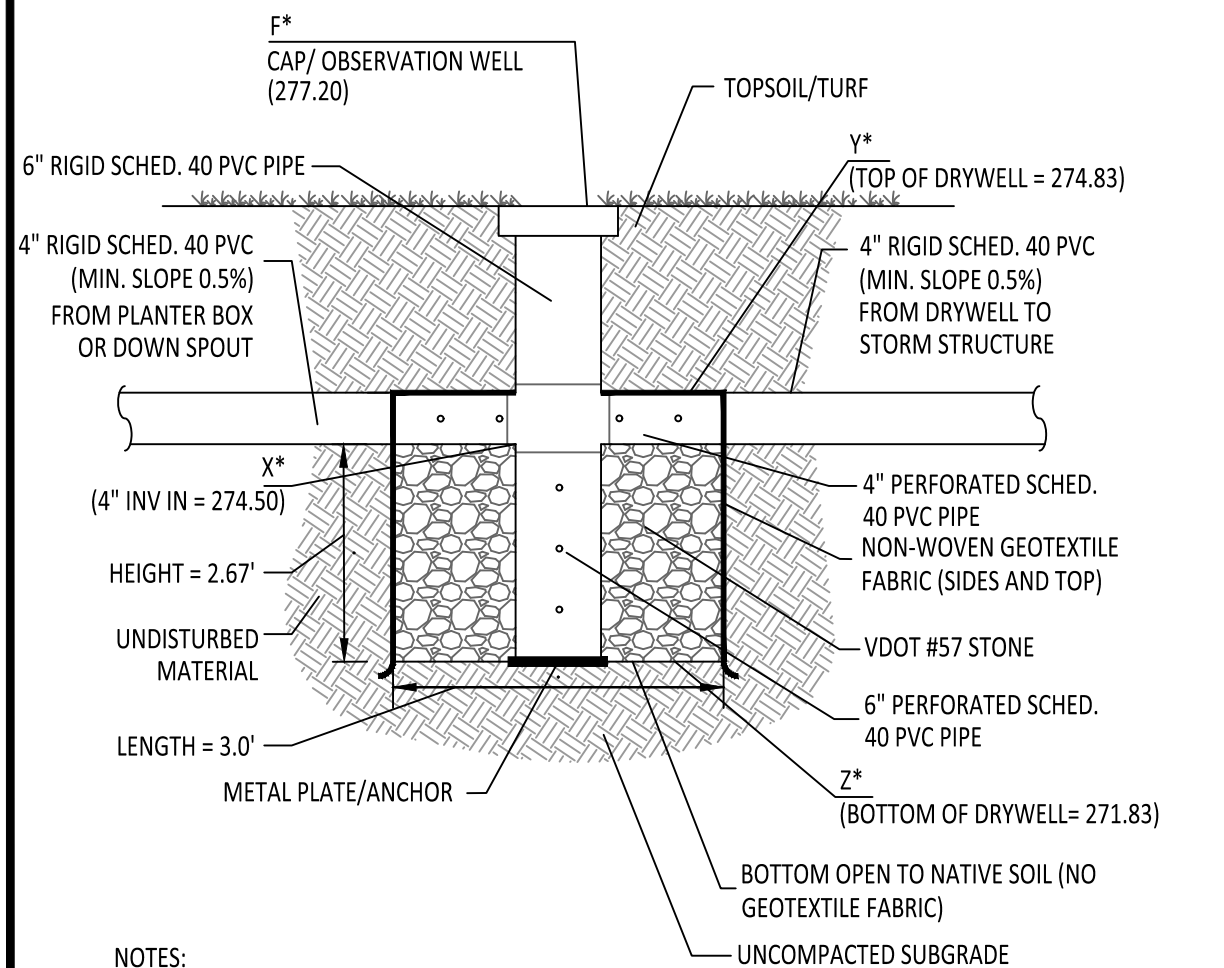
- NOTES:
1. LENGTH (L) AND WIDTH (W) DIMENSIONS MUST BE A MINIMUM OF 2 FEET EACH.
 2. NO STORAGE VOLUME CREDIT IS GIVEN FOR THE MULCH LAYER.
 3. SEE VIRGINIA DEQ STORMWATER DESIGN SPECIFICATION NO. 9 FOR ADDITIONAL DESIGN AND CONSTRUCTION INFORMATION.
 4. THE PLANTER BOX MAY BE CONTAINED IN A PRECAST CONCRETE, CAST-IN-PLACE CONCRETE OR 6\"/>

	IMPERVIOUS AREA CALCULATIONS			
	PRE-DEVELOPMENT		POST-DEVELOPMENT	
	D.A. A TO ADJACENT (DDA)	D.A. B TO ROW (NDDA)	D.A. A TO ADJACENT (DDA)	D.A. B TO ROW (NDDA)
ROOF AREA: (MAIN BUILDING, ACCESSORY BUILDINGS, SHEDS, COVERED PORCHES, GAZEBO)	329	1215	0	2617
VEHICULAR AREA: (DRIVEWAY, ROAD, PARKING PADS)	154	682	0	198
PATIO: (PATIOS, IMPERVIOUS DECKS)	0	0	0	240
WALKWAYS: (WALKS, STEPS, STOOPS, LANDINGS)	220	284	0	304
MISCELLANEOUS (AREAWAYS, WINDOW WELLS, WALLS)	7	114	0	107
POOLS: (INGROUND POOLS AND HOT TUBS)	0	0	0	0
TOTAL:	710	2295	0	3466
FOREST AREA	0	0	0	0
PERVIOUS AREA:	476	2519	0	2439
TOTAL:	1186	4814	0	6000
CN =	91	89		90

VRRM practices						
NDDA	2.1. To Stormwater Planter, Urban Bioretention (Spec #8, Appendix A)	Impervious area (sf)	Pervious area (sf)	Detention credit (cf)	Downstream from tank?	WQV (cf)
1	N-UPB-1	480	39.0	No	38.0	
	N-UPB-2	480	39.0	No	38.0	
	N-UPB-3	422	32.0	No	33.4	

Sizing						
Storage volume provided (cf)	Length (ft)	Width (ft)	Ponding depth (in)	Filter depth (in)	Gravel depth (in)	Surface Area (sf)
69.2	13.00	3.00	12.0	18.0	12.0	39.0
69.2	13.00	3.00	12.0	18.0	12.0	39.0
56.8	10.67	3.00	12.0	18.0	12.0	32.0

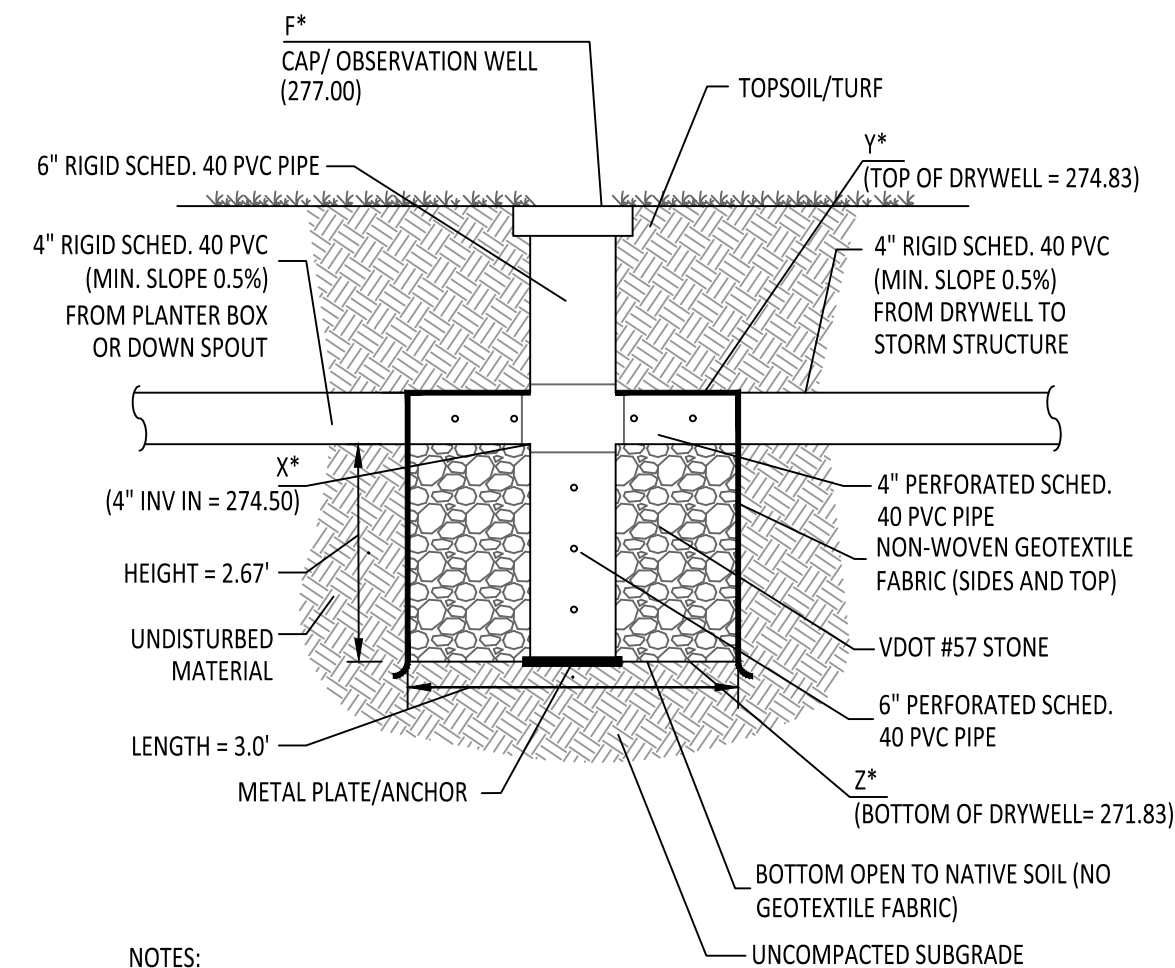
Release						
Length	Width	Area Validation	Depth	Storage volume provided (cf)	Drywell Validation	Elevations
3.00	3.00	Pass	2.67	9.6	Pass	278.50 278.33 277.17 278.00 274.67 277.20 271.83 274.50
3.00	3.00	Pass	2.67	9.6	Pass	278.50 278.33 277.17 278.00 274.67 277.20 271.83 274.50
3.00	3.00	Pass	2.67	9.6	Pass	275.13 274.97 273.80 274.60 271.30 274.30 268.53 271.20



- NOTES:
1. MINIMUM SIZE IS 2 FEET LONG BY 2 FEET WIDE BY 2 FEET HIGH.
 2. MAXIMUM HEIGHT IS 3 FEET.
 3. FACILITIES SHALL BE SET BACK A MINIMUM OF 10 FEET FROM THE PROPERTY LINE FOR A DOWN-GRADE PROPERTY, AND A MINIMUM OF 5 FEET FROM THE PROPERTY LINE FOR AN UP-GRADE PROPERTY.
 4. ANCHOR PLATE MUST BE 8\"/>

DRYWELL #1 DETAIL

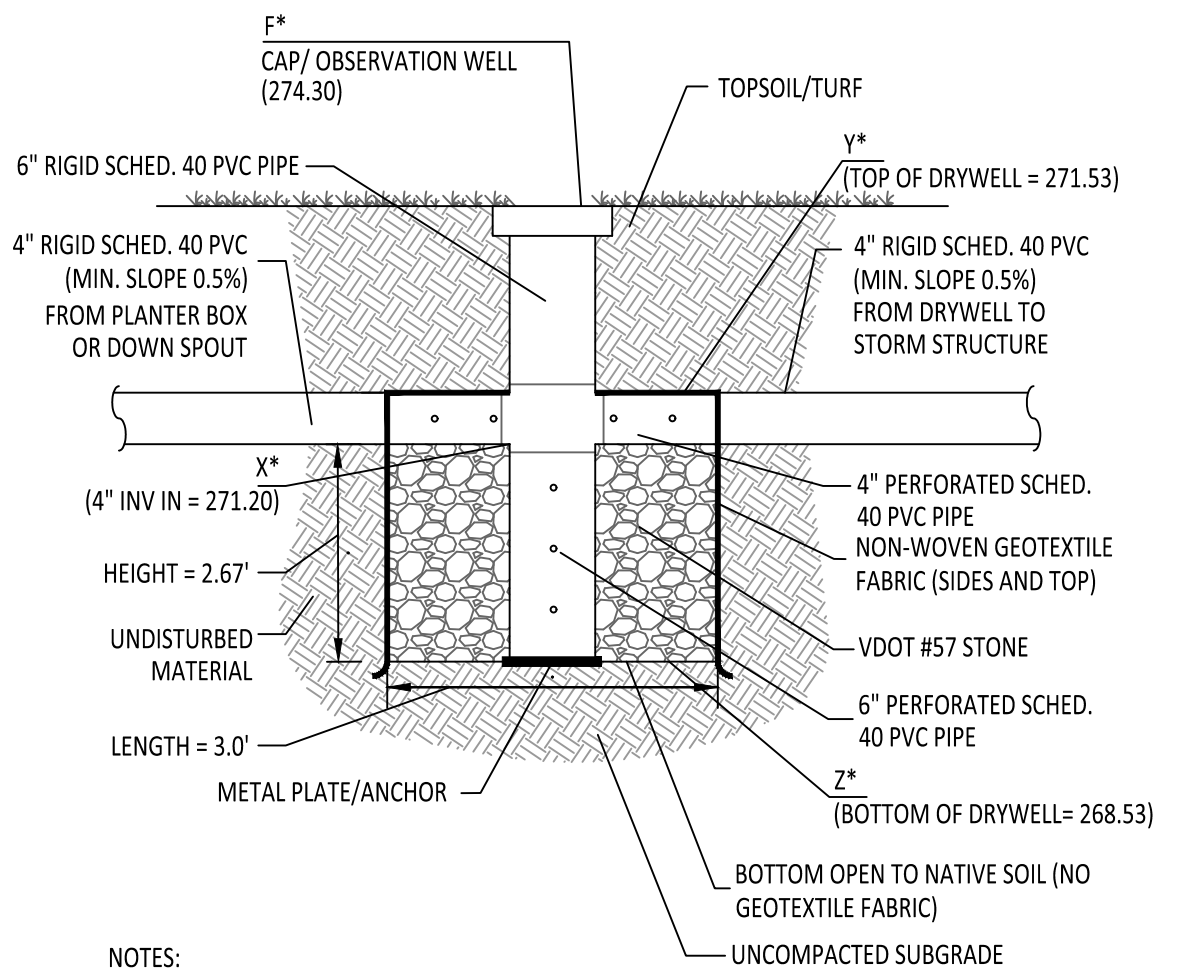
N.T.S.



- NOTES:
1. MINIMUM SIZE IS 2 FEET LONG BY 2 FEET WIDE BY 2 FEET HIGH.
 2. MAXIMUM HEIGHT IS 3 FEET.
 3. FACILITIES SHALL BE SET BACK A MINIMUM OF 10 FEET FROM THE PROPERTY LINE FOR A DOWN-GRADE PROPERTY, AND A MINIMUM OF 5 FEET FROM THE PROPERTY LINE FOR AN UP-GRADE PROPERTY.
 4. ANCHOR PLATE MUST BE 8\"/>

DRYWELL #2 DETAIL

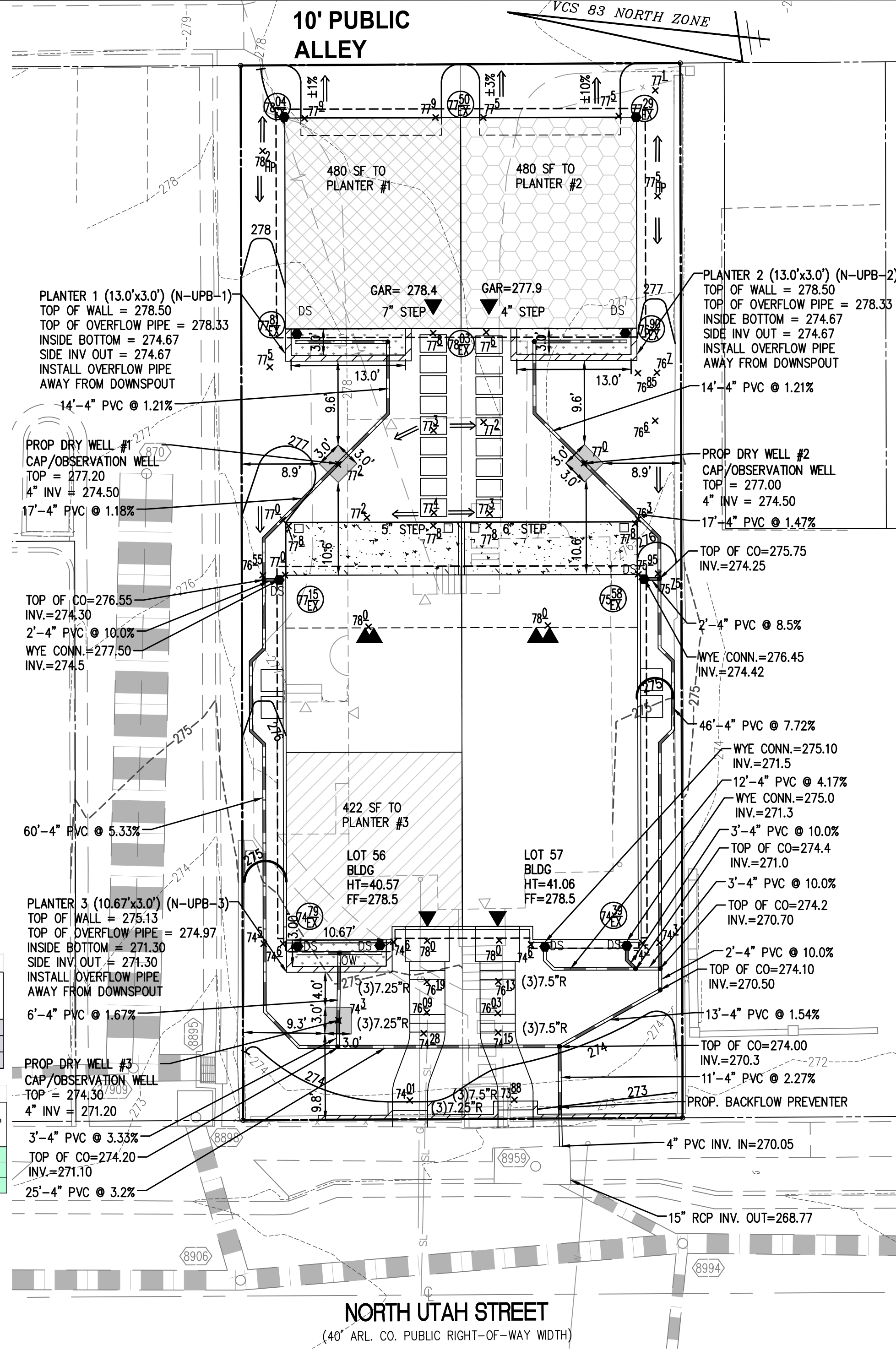
N.T.S.



- NOTES:
1. MINIMUM SIZE IS 2 FEET LONG BY 2 FEET WIDE BY 2 FEET HIGH.
 2. MAXIMUM HEIGHT IS 3 FEET.
 3. FACILITIES SHALL BE SET BACK A MINIMUM OF 10 FEET FROM THE PROPERTY LINE FOR A DOWN-GRADE PROPERTY, AND A MINIMUM OF 5 FEET FROM THE PROPERTY LINE FOR AN UP-GRADE PROPERTY.
 4. ANCHOR PLATE MUST BE 8\"/>

DRYWELL #3 DETAIL

N.T.S.



LEGEND

PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER	
	TRANSITION FROM CG-6 TO CG-6R	
	SANITARY SEWER	
	SANITARY LATERAL	
	CLEAN OUT	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN	
	ELECTRICAL	
	TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL	
	FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	BOTTOM OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	TEST PIT	
	LOD	
	LIMITS OF DISTURBANCE	

OUTFALL NARRATIVE

UNDER THE EXISTING CONDITIONS THE SITE OUTFALLS INTO NORTH UTAH STREET TO THE WEST AND THE 10' ALLEY TO THE EAST (CN=89). THE REMAINDER OF THE SITE OUTFALLS TO THE ADJACENT PROPERTY TO THE NORTH (CN=91). UNDER PROPOSED CONDITIONS, THE ENTIRE SITE OUTFALLS TO THE PUBLIC STREET AND PUBLIC ALLEY (CN=90).

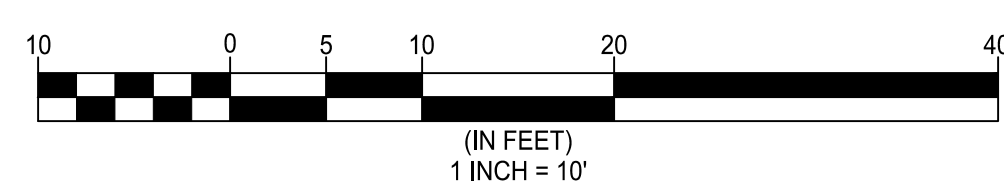
SINCE THERE IS NO INCREASE IN RUNOFF ONTO ADJACENT PROPERTIES IT IS OUR OPINION THAT THIS DESIGN MEETS THE PROVISION IN THE ARLINGTON COUNTY STORMWATER GUIDANCE MANUAL FOR THE DEVELOPMENT OF TWO- SINGLE-FAMILY RESIDENCES THAT DISTURB LESS THAN 1 ACRE AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT.

SWM FACILITIES PRIVATE MAINTENANCE NOTES

THE STORMWATER MANAGEMENT FACILITIES SHALL BE PRIVATELY INSPECTED AND MAINTAINED ACCORDING TO COUNTY REQUIREMENTS.

BMP NARRATIVE

THE STORMWATER QUALITY REQUIREMENTS WILL BE MET WITH THE USE OF FOUR URBAN BIOTENTION PLANTERS. SEE BMP CALCULATIONS ON SHEET C-0702.



WALTER L. PHILLIPS
INCORPORATED
ESTABLISHED 1945

Engineers • Surveyors • Planners
Landscape Architects • Arborists
DRAWN: DL/RH CHECKED: RW
DATE: 06/29/2023

207 PARK AVENUE
FALLS CHURCH, VIRGINIA 22046
(703) 532-6163 Fax (703) 533-1301
www.WLPINC.com

1129 NORTH UTAH STREET

4.1 SITE PLAN SUBDIVISION

ARLINGTON COUNTY, VIRGINIA

COMMONWEALTH OF VIRGINIA
KAREN L. S. WHITE
Lic. No. 041850
6/29/2023
PROFESSIONAL ENGINEER

SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	SUBMISSION #01	03/14/2023
2	SUBMISSION #02	06/29/2023

SCALE: 1" = 10'

SHEET TITLE:
PRELIMINARY STORMWATER MANAGEMENT PLAN

SHEET #:
C-0701

Project Name: 1129 N Utah St
 Date: 6/26/2023
 CLEAR ALL (Ctrl+Shift+F)
 data input cells
 constant values
 calculation cells
 final results

Site Information
 Post-Development Project (Treatment Volume and Loads)
 Enter Total Disturbed Area (acres) → 0.1377
 Check: 2013 Draft Stds & Specs
 BMP Design Specifications List: Linear project? No
 Land cover areas entered correctly? Yes
 Total disturbed area entered? Yes

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed forest/open space					0.0000
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.0688	0.0688
Impervious Cover (acres)				0.0690	0.0690
					0.1377

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.0000
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.0582	0.0582
Impervious Cover (acres)				0.0796	0.0796
Area Check	OK	OK	OK	OK	0.1377

Constants

Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Total Phosphorus (TP) EMC (mg/L)	0.26
Total Nitrogen (TN) EMC (mg/L)	1.86
Target TP Load (lb/acre/yr)	0.41
Pj (unitless correction factor)	0.90

Runoff Coefficients (Rv)

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

LAND COVER SUMMARY - PRE-REDEVELOPMENT

Pre-ReDevelopment	Listed	Adjusted ¹
Forest/Open Space Cover (acres)	0.0000	0.0000
Weighted Rv (forest)	0.0000	0.0000
% Forest	0%	0%
Managed Turf Cover (acres)	0.0688	0.0582
Weighted Rv (turf)	0.2500	0.2500
% Managed Turf	50%	46%
Impervious Cover (acres)	0.0690	0.0690
Rv (impervious)	0.9500	0.9500
% Impervious	50%	54%
Total Site Area (acres)	0.1377	0.1272
Site Rv	0.6006	0.6298

LAND COVER SUMMARY - POST DEVELOPMENT

Post-ReDevelopment	Final Post-Development	TP Load Reduction Required for Redeveloped Area (lb/yr)
Forest/Open Space Cover (acres)	0.0000	
Weighted Rv (forest)	0.0000	
% Forest	0%	
Managed Turf Cover (acres)	0.0582	
Weighted Rv (turf)	0.2500	
% Managed Turf	42%	
Impervious Cover (acres)	0.0796	
Rv (impervious)	0.9500	
% Impervious	58%	
Final Site Area (acres)	0.1377	
Final Post Dev Site Rv	0.6544	0.0183

Treatment Volume and Nutrient Load

Pre-ReDevelopment	Final Post-Development
Pre-ReDevelopment Treatment Volume (acre-ft)	0.0069
Pre-ReDevelopment Treatment Volume (cubic feet)	300.2917
Pre-ReDevelopment TP Load (lb/yr)	0.1887
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	1.3700
Baseline TP Load (lb/yr)	0.0521

Treatment Volume and Nutrient Load

Post-ReDevelopment	Final Post-Development
Post-ReDevelopment Treatment Volume (acre-ft)	0.0067
Post-ReDevelopment Treatment Volume (cubic feet)	290.6875
Post-ReDevelopment TP Load (lb/yr)	0.1826
Post-ReDevelopment TP Load per acre (lb/acre/yr)	1.4900
Max. Reduction Required (Below Pre-Development Load)	10%
TP Load Reduction Required for New Impervious Area (lb/yr)	0.0186

¹Adjusted Land Cover Summary: Pre-ReDevelopment land cover minus previous land cover (forest/open space or managed turf) acreage proposed for new impervious cover.
 Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus acreage of new impervious cover).
 Column I shows load reduction requirement for new impervious cover (based on new development load limit, 0.41 lb/acre/yr).

Post-Development Requirement for Site Area
 TP Load Reduction Required (lb/yr): 0.0369
 Linear Project TP Load Reduction Required (lb/yr): N/A

Nitrogen Loads (Informational Purposes Only)

Pre-ReDevelopment TN Load (lb/yr)	1.3497	Final Post-Development TN Load (Post-ReDevelopment & new impervious) (lb/yr)	1.4706
-----------------------------------	--------	--	--------

NDA	Facility Type**	Description	Location	LDA Permit #	Project SWM #	Building Permit #	Facility ID	BMP downstream of another BMP (in Series)?	Upstream (Primary) BMP	Pretreatment	Chesapeake Bay Segment	Watershed	HUC6	Soils	Runoff Treated (in)	Surface Area (ft ²)	Water Quality Volume Provided (ft ³)	Detention Credit (ft ³)	Storage Volume (ft ³)	Treated Area (acres)	Forest Area (acres)	Turf Area (acres)	Impervious Area (acres)	RPC	Phosphorus Efficiency (%)	Nitrogen Efficiency (%)	Sediment Efficiency (%)	Trees Conserved	Trees Planted	Total Tree Detention Credit (CF)
N-UPB-1	Urban Biofiltration (Spec #9, Appendix A)	Planter Box #1	Lot 56 Garage	0	0	0	0A	No	Leaf Screen/Gutter Guard	POTTF_VA	Lubber Run	PL25	C/D	1.00	39.00	38.00	39.00	69.2	0.0110	0	0.0000	0.0110	14019007	55.00	64.00	75.00	N/A	N/A	N/A	
N-UPB-2	Urban Biofiltration (Spec #9, Appendix A)	Planter Box #2	Lot 57 Garage	0	0	0	0B	No	Leaf Screen/Gutter Guard	POTTF_VA	Lubber Run	PL25	C/D	1.00	39.00	38.00	39.00	69.2	0.0110	0	0.0000	0.0110	14019007	55.00	64.00	75.00	N/A	N/A	N/A	
N-UPB-3	Urban Biofiltration (Spec #9, Appendix A)	Planter Box #3	Lot 56 Front of House	0	0	0	0C	No	Leaf Screen/Gutter Guard	POTTF_VA	Lubber Run	PL25	C/D	1.00	32.01	31.41	32.01	56.8	0.0097	0	0.0000	0.0097	14019007	55.00	64.00	75.00	N/A	N/A	N/A	

Site Information - Version 3.0 - Revised 7/18/2022

Project SWM #	LDA Permit #	Building Permit #	Real Property Code	Disturbed Area (acres)	% Pre-Impervious	% Post-Impervious	Pre-Development TP load (lb/yr)	Post-Development TP load (lb/yr)	TP load reduction achieved (lb/yr)	Pre-Development TN load (lb/yr)	Post-Development TN load (lb/yr)	TN load reduction achieved (lb/yr)	Total Site Area (acres)	Pre-Forest Area (acres)	Pre-Turf Area (acres)	Pre-Impervious Area (acres)	Post-Forest Area (acres)	Post-Turf Area (acres)	Post-Impervious Area (acres)	Pre-Runoff Volume	Post-Runoff Volume	Runoff Volume Reduction Achieved	Site Latitude (Decimal Degrees)	Site Longitude (Decimal Degrees)	Anticipated Start Date	Chesapeake Bay Segment	Watershed	HUC6
			14019007	0.1377	50.1	57.8	0.19	0.21	0.04	1.35	1.47	0.31	0.1377	0.0688	0.0690	0.0582	0.0796	0.0582	0.0796	300.2917	327.1833	43.7633	38.88480	-77.11389		POTTF_VA	Lubber Run	PL25

TOTAL SITE AREA	Areas (SF)	Detention (CF)	Rainfall volume (IN)	Reset Compliance Summary Worksheet tab	DDA	NDDA
Site area	6000		3.0			
Total impervious area	3466					
Roof	2452					
Paving	1109					
Impervious area increase	461	109	110	100%	OK	
DOWNHILL DRAINAGE AREA (DDA)						
Total impervious increase	0	0	0	NA	OK	
Roof area increase	0	0	0	NA	OK	
Tanks				NA	OK	
WATER QUALITY COMPLIANCE						
			75% requirement	102.5%	OK	
			No net increase requirement	NA		
			Area treated (SF)	1382		
VRRM practices	Area (sf)	Detention credit (cf)	Area (sf)	Detention credit (cf)	Area check D.A. A, D.A. B, and D.A. C	
2.i. To Stormwater Planter, Urban Biofiltration	0	0	1382	110	100%	OK
2.f. To Rain Garden #1, Micro-Biofiltration #1	0	0	0	0	0%	OK
2.g. To Rain Garden #2, Micro-Biofiltration #2	0	0	0	0	0%	OK
1a. Vegetated Roof #1	0	0	0	0	0%	OK
1a. Vegetated Roof #2	0	0	0	0	0%	OK
3.a. Permeable Pavement #1	0	0	0	0	0%	OK
3.a. Permeable Pavement #2	0	0	0	0	0%	OK
Subtotal	0	0	1382	110	100%	OK
Tanks	0	0	0	0	0%	
Detention-only dry wells	0	0	0	0	0%	
Trees	N/A	0	N/A	0	0%	
Subtotal	0	0	0	0	0%	FAIL
Total	0	0	####	1382	110	100%

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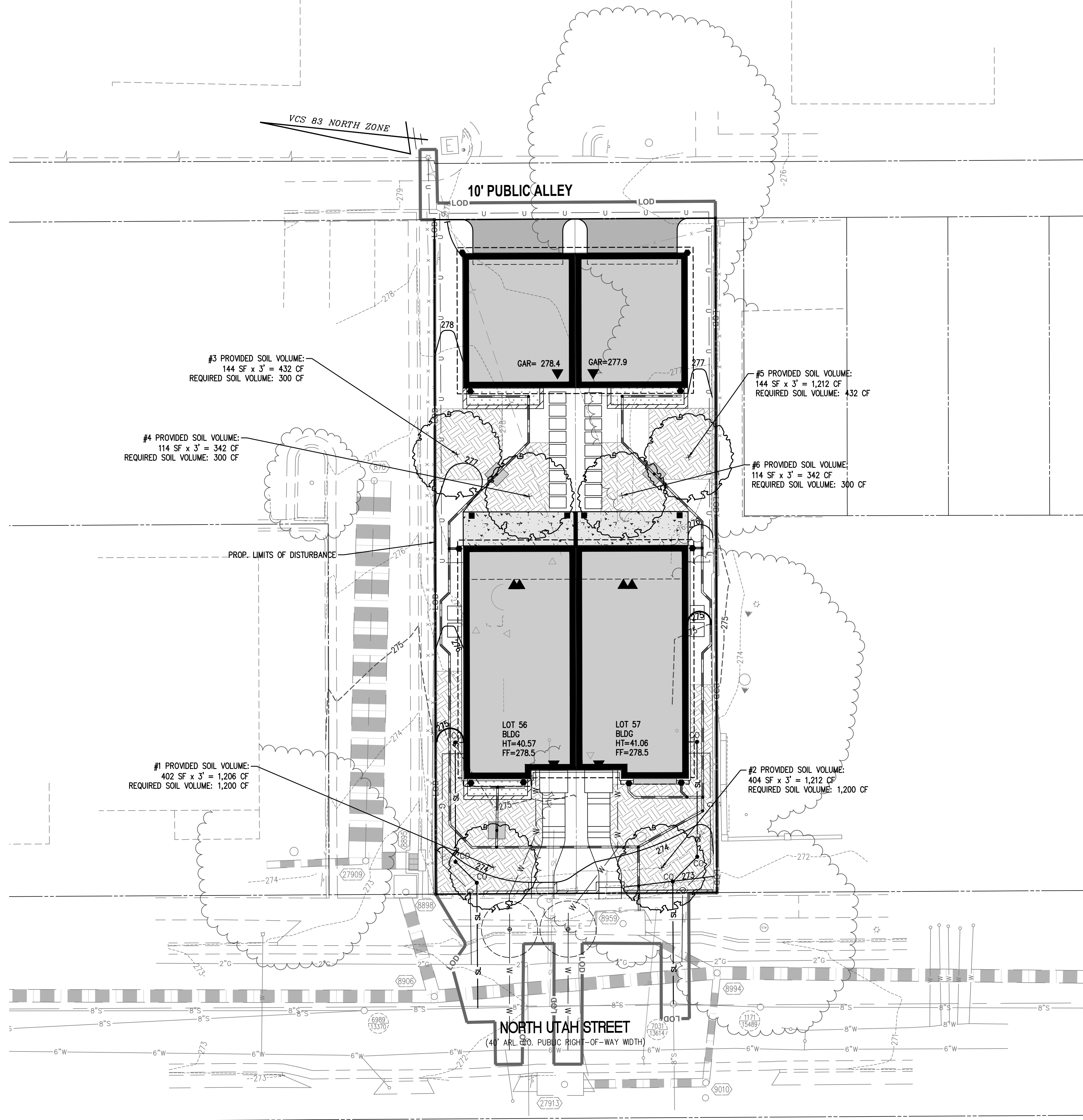
1129 NORTH UTAH STREET
 4.1 SITE PLAN SUBDIVISION
 ARLINGTON COUNTY, VIRGINIA

COMMONWEALTH OF VIRGINIA
 KAREN L. S. WHITE
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 6/29/2023
 PROFESSIONAL ENGINEER

SUBMISSIONS

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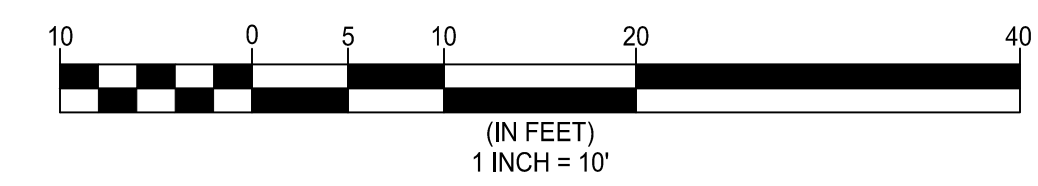
SCALE: NONE
 SHEET TITLE: SWM & BMP CALCULATIONS
 SHEET #: C-0702



LEGEND

PROPOSED	DESCRIPTION	EXISTING
	CURB & GUTTER CG-2	
	TRANSITION FROM CG-6 TO CG-6R	
	SANITARY SEWER	
	SANITARY LATERAL	
	CLEAN OUT	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT PLUG	
	OVERHEAD WIRES	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN	
	ELECTRICAL	
	TRANSFORMER	
	HANDICAP RAMP (CG-12)	
	GUARDRAIL	
	FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	BOTTOM OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	TEST PIT	
	LIMITS OF DISTURBANCE	
	SOIL VOLUME	
	PROPOSED TREES	

TREE #	SOIL VOLUME (CU. FT.)	DESIGNATION
1	1,206	SITE/STREET
2	1,212	SITE/STREET
3	432	SITE
4	342	SITE
5	432	SITE
6	342	SITE



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DRAWN: DL/RH CHECKED: RW
DATE: 06/29/2023

1129 NORTH UTAH STREET

4.1 SITE PLAN SUBDIVISION

ARLINGTON COUNTY, VIRGINIA



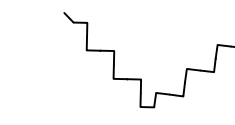
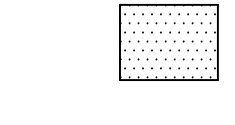


SUBMISSIONS		
NO.	DESCRIPTION	DATE
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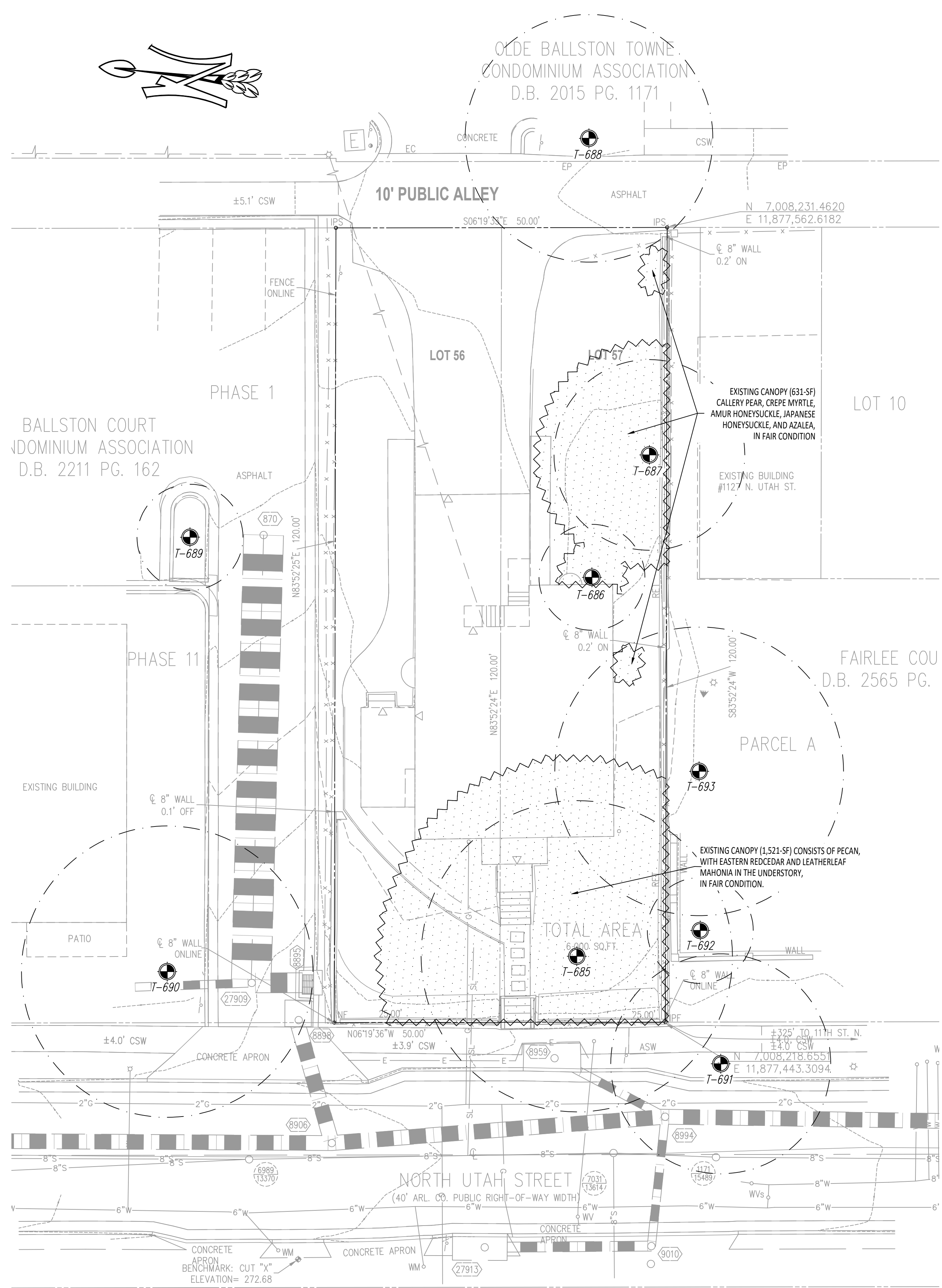
SCALE: 1" = 10'

SHEET TITLE:
SOIL VOLUMES

SHEET #:
C-1201

LEGEND

-  TREELINE/DRIPLINES
-  EXISTING CANOPY (2,152 SF)
-  CRITICAL ROOT ZONE (CRZ)
-  TREE LOCATION
T-XXX



NOTES:

1. THE PROPERTY DELINEATED HEREON IS LOCATED AT 1129 NORTH UTAH STREET.
2. BOUNDARY AND TOPOGRAPHIC INFORMATION FROM FIELD SURVEY BY WALTER PHILLIPS INC., 2022.
3. PROPOSED DEVELOPMENT PLAN BY WALTER PHILLIPS, INC., 2023.
4. TREE EVALUATIONS AND COMPUTATIONS BY TNT ENVIRONMENTAL, INC., NOVEMBER 2022. (MR. DILLON JEWELL, CERTIFICATION #: MA-6254A).
5. CRZ MEASUREMENTS IN RADIUS.
6. TOTAL CANOPY COVER: 2,152 SQUARE FEET (SF).
7. TOTAL SITE AREA: 6,000 SF.
8. PERCENT OF SITE COVERED: 35.8%
9. PERCENT COVER REQUIRED BY ZONING: 20%
10. QUALIFYING CANOPY TO BE PRESERVED: 0 SF (0%)
11. MINIMUM CANOPY AREA TO BE PLANTED TO MEET REQUIREMENT: 1,200 SF (20%)

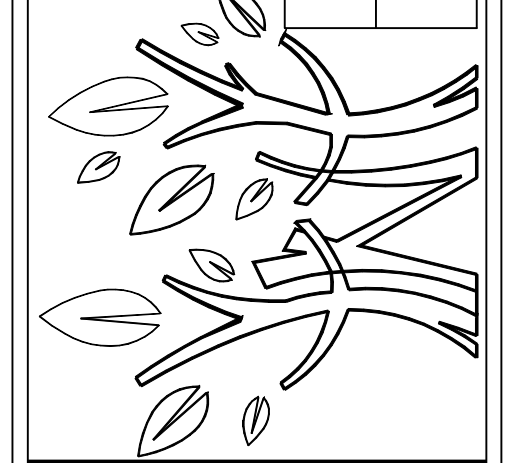
Tree Number	Common Name	Scientific Name	Size (inches DBH)	Critical Root Zone (feet)	Dripline Radius (feet)	Condition Rating %	Approx. % of CRZ Impact	Remove	Offsite or Shared	Notes & Recommendations	Preservation Canopy Square Footage (SF)
685	Pecan	<i>Carya illinoensis</i>	23.5	23.5	30'	84%	78%	X		Root flare overfilled with soil, multiple old pruning cuts partially occluded	0
686	Crepe Myrtle	<i>Lagerstroemia sp.</i>	3.3	8.0	5'	88%	100%	X		Masonry debris piled around base	0
687	Callery Pear	<i>Pyrus calleryana</i>	14.4	14.4	17'	81%	62%	X		Masonry and other debris piled around base, epicormic growth throughout canopy	0
688	Japanese Zelkova	<i>Zelkova serrata</i>	18.7	18.7	-	47%	8%		Offsite	Crowded branches with narrow attachments and included bark	0
689	Ginkgo	<i>Ginkgo biloba</i>	7.6	8.0	-	66%	0%		Offsite	Minor epicormic growth on trunk and 10% crown dieback	0
690	Pin Oak	<i>Quercus palustris</i>	22.0	22.0	-	72%	0%		Offsite	Large aspect ratio scaffold branches with narrow attachments and included bark, minor crown dieback	0
691	Pin Oak	<i>Quercus palustris</i>	16.6	16.6	-	94%	8%		Offsite	Good occlusion of old pruning cuts	0
692	Flowering Dogwood	<i>Cornus florida</i>	4.5	8.0	-	66%	12%		Offsite	Mechanical damage to several branches, multiple cavities with decay, low vigor and response growth	0
693	Crepe Myrtle	<i>Lagerstroemia</i>	21.8	21.8	-	78%	36%		Offsite	Mechanical and bird damage to several branches, infested with crepe myrtle bark scale	0
Total											0

NOTES:

1. OFFSITE/SHARED/ROW TREES SHALL NOT BE REMOVED WITHOUT WRITTEN PERMISSION FROM AFFECTED ADJACENT PROPERTY OWNERS.
2. TREES NOTED FOR REMOVAL WITHIN THE SAVE AREAS SHALL BE DONE SO BY HAND WITHOUT THE USE OF HEAVY MACHINERY.
3. OFFSITE TREES WERE ASSESSED FROM THE SUBJECT PROPERTY SO NOT TO TRESPASS ONTO ADJACENT PROPERTY. DBH MEASUREMENTS AND TREE LOCATIONS ARE APPROXIMATE.
4. TREES LOCATED WITHIN OR ON THE LIMITS OF DISTURBANCE, OR RATED AS BEING "POOR" IN CONDITION, ARE RECOMMENDED FOR REMOVAL BY TNT ARBORISTS DUE TO THE LIKELIHOOD OF TREE FAILURE. HOWEVER, AT THE DISCRETION OF THE APPLICANT, SOME OF THESE MAY BE PRESERVED DURING CONSTRUCTION WITH THE APPROVAL OF URBAN FORESTRY.
5. TREES NOTED FOR REMOVAL OUTSIDE THE LIMITS OF DISTURBANCE SHALL BE REMOVED BY HAND WITH TREE BRANCHES BEING REMOVED FROM THE AREA BY HAND. WOOD CHIPS OR SIMILAR WILL BE USED TO PROTECT THE CRZ OF ADJACENT TREES AS DIRECTED BY ARLINGTON COUNTY UFMD. THE TRUNK WILL BE CUT AT GROUND LEVEL AND LEFT. TREE PROTECTION FENCING WILL BE REPLACED AND SIGNAGE RE-HUNG.



4455 Brookfield Corporate Drive, Suite 100
 Chantilly, VA 20151
 PH: 703-466-5123 WWW.TNTENVIRONMENTALINC.COM



1129 NORTH UTAH STREET
 ARLINGTON COUNTY

EXISTING VEGETATION MAP

REVISIONS	
DATE	COMMENTS


SHEET **LO1** OF **LO4**

SCALE: 1" = 10'

PROJECT DATE: 2/14/23

DRAFT: DCJ CHECK: AMS

FILE NUMBER: 3011

 **Vinash M. Sareen**
 Certified Arborist
 Certification # MA-4727A

LEGEND

- TREELINE/DRIPLINES
- EXISTING CANOPY (2,152 SF)
- CRITICAL ROOT ZONE (CRZ)
- TREE LOCATION
- TREES RECOMMENDED FOR REMOVAL
- TREE PROTECTION FENCING
- ROOT PRUNING
- PROPOSED LIMITS OF DISTURBANCE

NOTES:

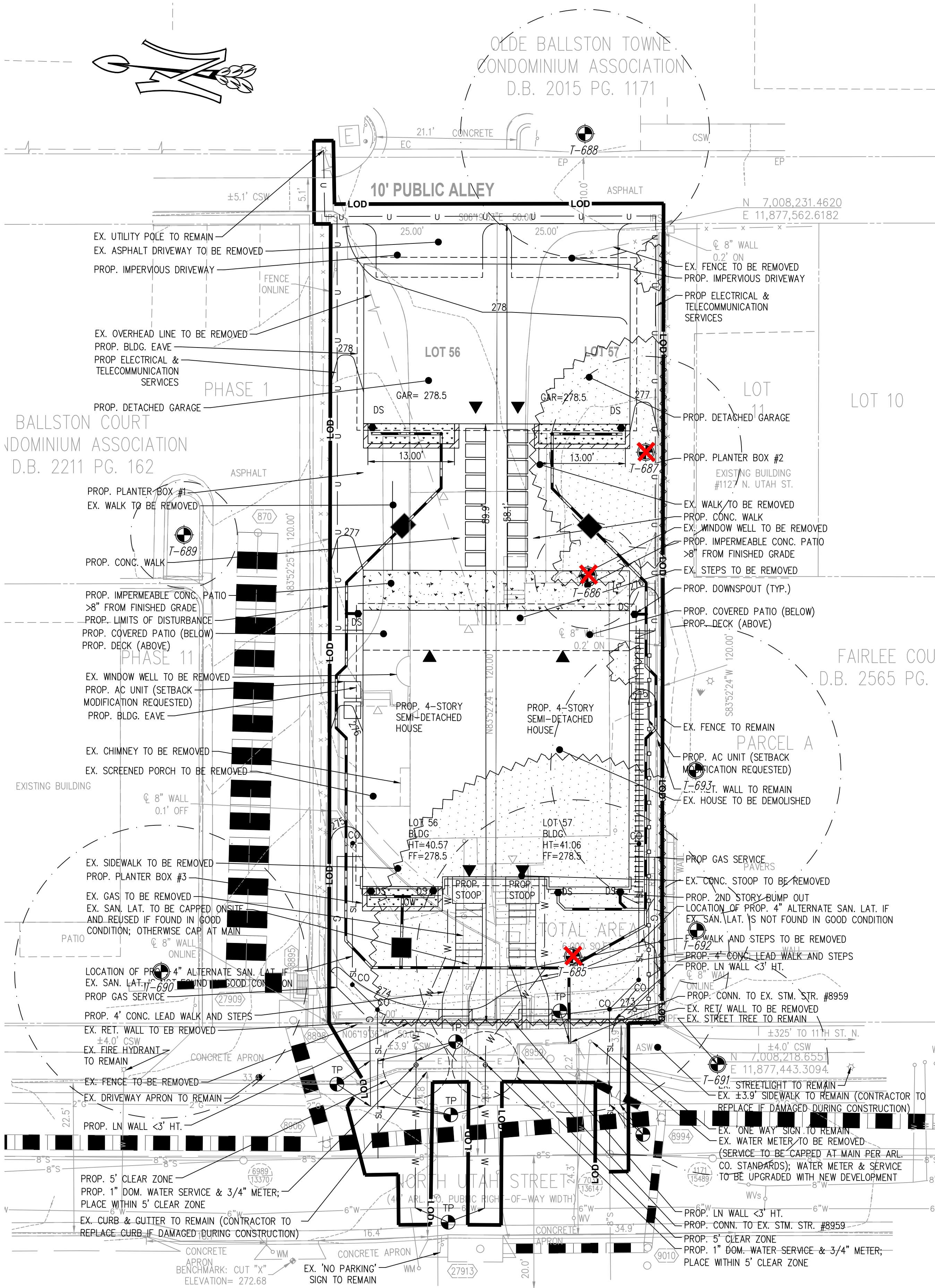
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Tree Number	Common Name	Scientific Name	Size (inches DBH)	Critical Root Zone (feet)	Dripline Radius (feet)	Condition Rating %	Approx. % of CRZ Impact	Remove	Offsite or Shared	Notes & Recommendations	Preservation Canopy Square Footage (SF)
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687	Callery Pear	<i>Pyrus calleryana</i>	14.4	14.4	17'	81%	62%	X		Masonry and other debris piled around base, epicormic growth throughout canopy	0
688	Japanese Zelkova	<i>Zelkova serrata</i>	18.7	18.7	-	47%	8%		Offsite	Crowded branches with narrow attachments and included bark	0
689	Ginkgo	<i>Ginkgo biloba</i>	7.6	8.0	-	66%	0%		Offsite	Minor epicormic growth on trunk and 10% crown dieback	0
690	Pin Oak	<i>Quercus palustris</i>	22.0	22.0	-	72%	0%		Offsite	Large aspect ratio scaffold branches with narrow attachments and included bark, minor crown dieback	0
691	Pin Oak	<i>Quercus palustris</i>	16.6	16.6	-	94%	8%		Offsite	Good occlusion of old pruning cuts	0
692	Flowering Dogwood	<i>Cornus florida</i>	4.5	8.0	-	66%	12%		Offsite	Mechanical damage to several branches, multiple cavities with decay, low vigor and response growth	0
693	Crepe Myrtle	<i>Lagerstroemia</i>	21.8	21.8	-	78%	36%		Offsite	Mechanical and bird damage to several branches, infested with crepe myrtle bark scale	0
Total											0

Species	Number	Size (inches)	Condition Rating	Species Rating	Total Score	Number of Replacements
Pecan	1	23.5	0.84	0.75	14.805	4
Crepe Myrtle	1	3.3	0.88	0.78	2.26512	1*
Callery Pear	1	14.4	0.81	0.5	5.832	0**

NOTES:

1. OFFSITE/SHARED/ROW TREES SHALL NOT BE REMOVED WITHOUT WRITTEN PERMISSION FROM AFFECTED ADJACENT PROPERTY OWNERS.
2. TREES NOTED FOR REMOVAL WITHIN THE SAVE AREAS SHALL BE DONE SO BY HAND WITHOUT THE USE OF HEAVY MACHINERY.
3. OFFSITE TREES WERE ASSESSED FROM THE SUBJECT PROPERTY SO NOT TO TRESPASS ONTO ADJACENT PROPERTY. DBH MEASUREMENTS AND TREE LOCATIONS ARE APPROXIMATE.
4. TREES LOCATED WITHIN OR ON THE LIMITS OF DISTURBANCE, OR RATED AS BEING "POOR" IN CONDITION, ARE RECOMMENDED FOR REMOVAL BY TNT ARBORISTS DUE TO THE LIKELIHOOD OF TREE FAILURE. HOWEVER, AT THE DISCRETION OF THE APPLICANT, SOME OF THESE MAY BE PRESERVED DURING CONSTRUCTION WITH THE APPROVAL OF URBAN FORESTRY.
5. TREES NOTED FOR REMOVAL OUTSIDE THE LIMITS OF DISTURBANCE SHALL BE REMOVED BY HAND WITH TREE BRANCHES BEING REMOVED FROM THE AREA BY HAND. WOOD CHIPS OR SIMILAR WILL BE USED TO PROTECT THE CRZ OF ADJACENT TREES AS DIRECTED BY ARLINGTON COUNTY UFMD. THE TRUNK WILL BE CUT AT GROUND LEVEL AND LEFT. TREE PROTECTION FENCING WILL BE REPLACED AND SIGNAGE RE-HUNG.
6. *TREES WITH A CALIPER OF 10 INCHES OR LESS THAT ARE REMOVED FROM THE RIGHTS-OF-WAY WILL BE REPLACED ON A ONE-FOR-ONE-BASIS (ARLINGTON COUNTY ADMINISTRATIVE REGULATION 4.3).
7. **NON-NATIVE, INVASIVE TREE SPECIES CONSIDERED TO BE AN ECOLOGICAL THREAT IN ARLINGTON COUNTY WILL BE REMOVED IN ACCORDANCE TO WITH THE INVASIVE SPECIES CONTROL NARRATIVE AND EXCLUDED FROM TREE REPLACEMENT CALCULATIONS.



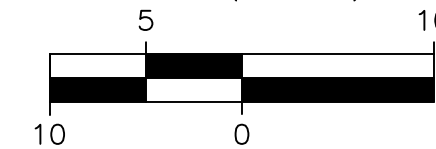
BALLSTON COURT
CONDOMINIUM ASSOCIATION
D.B. 2211 PG. 162

ODE BALLSTON TOWNE
CONDOMINIUM ASSOCIATION
D.B. 2015 PG. 1171

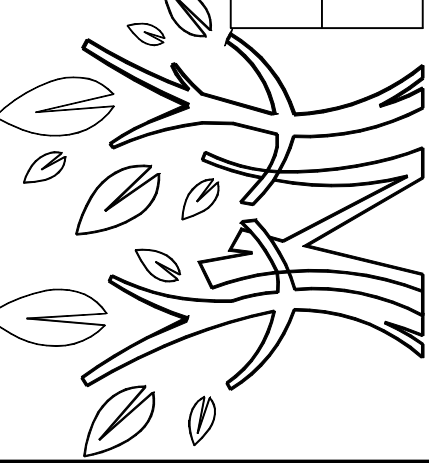
LOT 10

FAIRLEE COU
D.B. 2565 PG.

SCALE (IN FEET)



4455 Brookfield Corporate Drive, Suite 100
Chantilly, VA 20151
PH: 703-466-5123 WWW.TNTENVIRONMENTALINC.COM



1129 NORTH UTAH STREET
ARLINGTON COUNTY

TREE PRESERVATION
& PROTECTION PLAN

REVISIONS

DATE	COMMENTS
3/14/23	REVISED BY DGI
6/26/23	REVISED BY AMS

SHEET **L02**
OF **L04**

SCALE: 1" = 10'

PROJECT DATE:
2/14/23

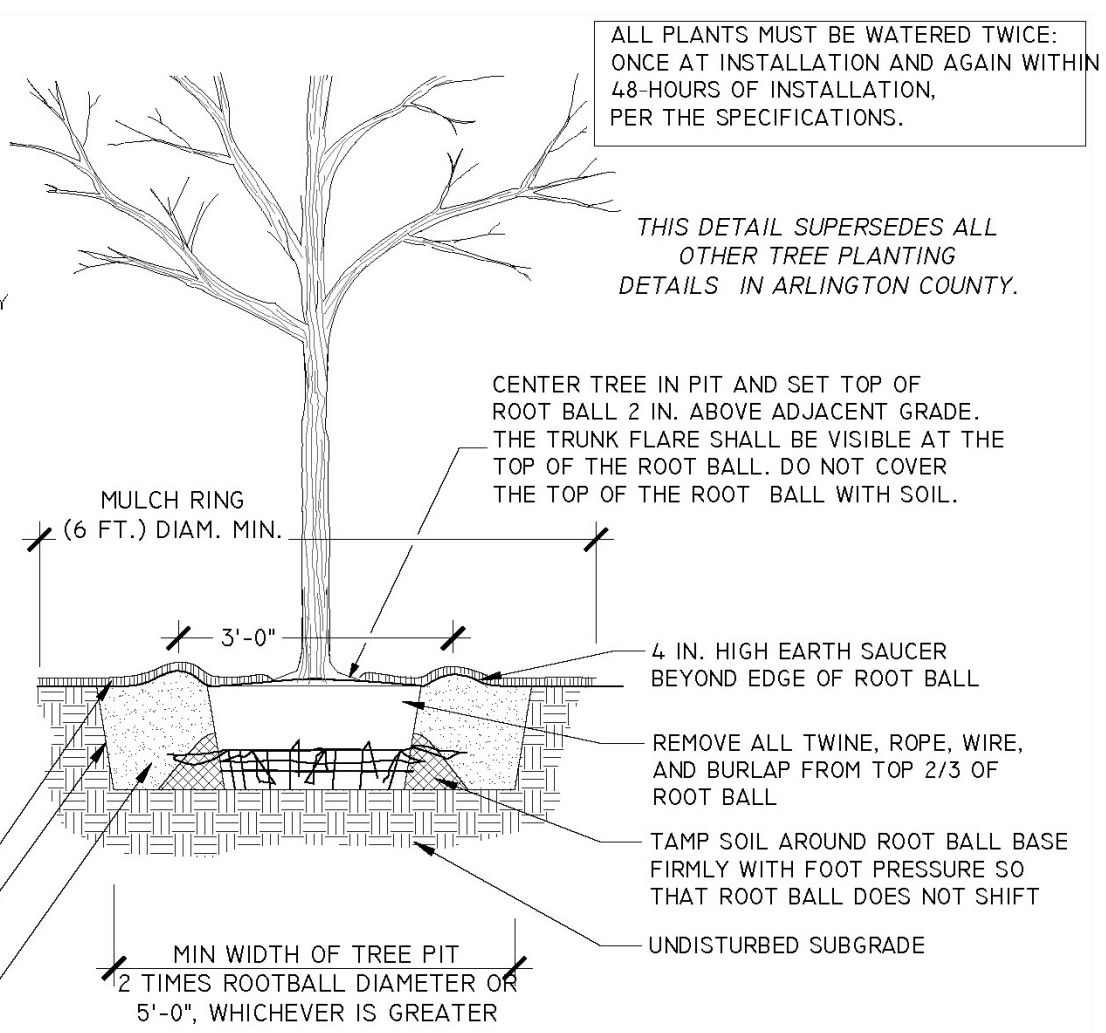
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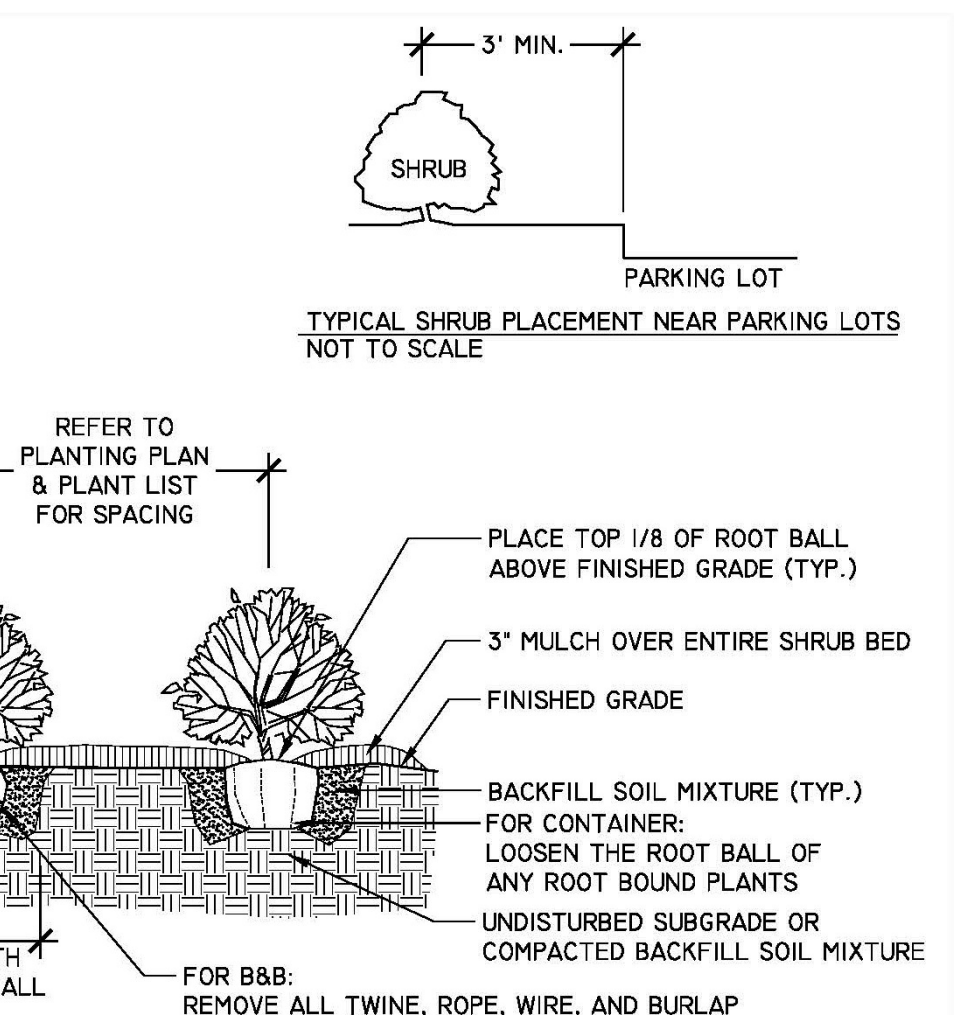
Vinash M. Sareen
Certified Arborist
Certification # MA-4727A

- NOTES**
1. AT PLANTING PRUNE ONLY BROKEN OR DEAD BRANCHES PER ANSI 300 STANDARD.
 2. CONTRACTOR SHALL MAXIMIZE EXCAVATED AREA FOR TREE PIT WITHOUT ADVERSELY IMPACTING ADJACENT SITE FEATURES.
 3. UNLESS OTHERWISE DIRECTED BY ARLINGTON COUNTY URBAN FORESTER, BACKFILL SOIL MIXTURE WILL BE 3/4 EXISTING SOIL CLEANED OF DEBRIS (GRAVEL, ROCKS, STICKS, TRASH, ETC.) AND MIXED WITH 1/4 ORGANIC MATERIAL (COMPOSTED BARK, LEAF MOLD, OR OTHER PLANT DEBRIS PROCESSED TO A POINT OF DECAY AND APPROVED BY THE URBAN FORESTER; PEAT MOSS SHALL NOT BE USED).
 4. CONTRACTOR SHALL LEGALLY REMOVE EXCESS SOIL & DEBRIS FROM SITE.
 5. TREES PLANTED WITHOUT THE TRUNK FLARE VISIBLE WILL BE REJECTED.
 6. TREES MAY ONLY BE STAKED IF REQUIRED BY THE COUNTY URBAN FORESTER. REFER TO STAKING DETAILS.



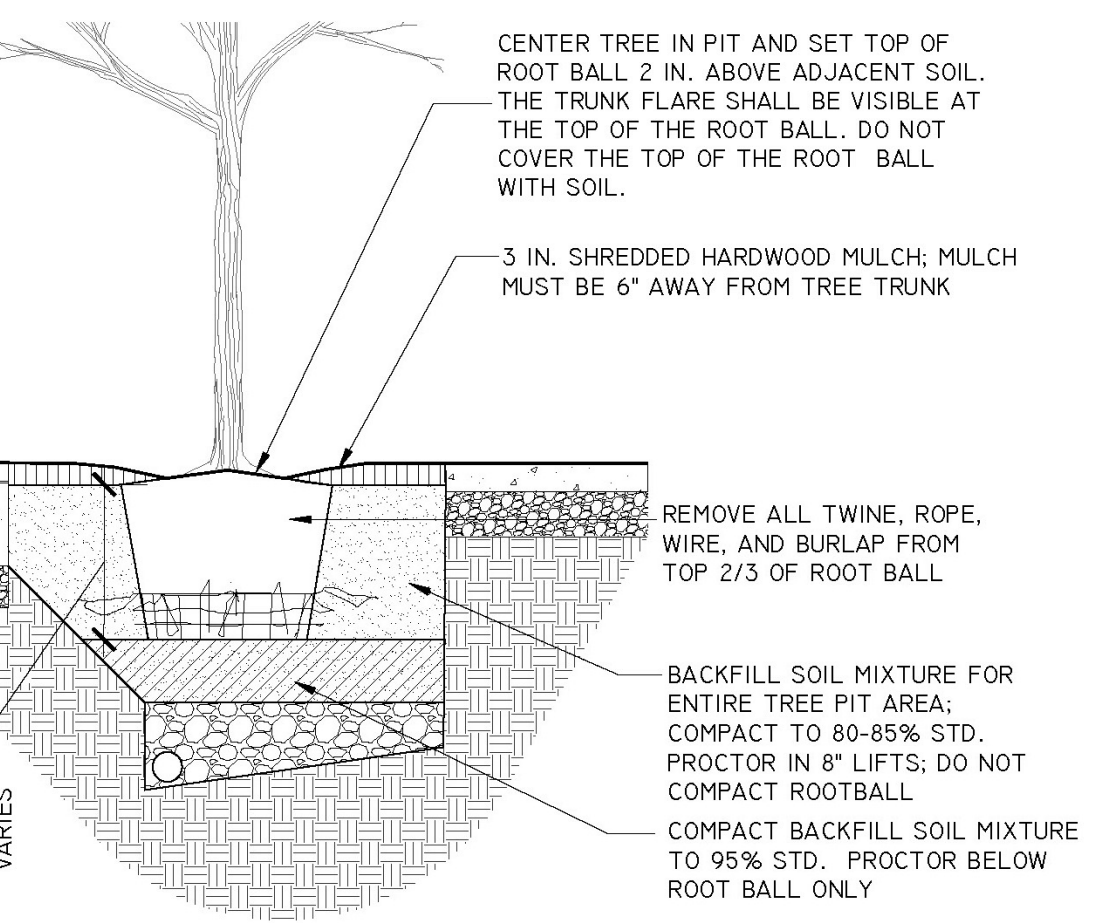
TREE PLANTING DETAIL
FOR OPEN PLANTING AREAS FREE OF PAVING OR GRATES
329300.1 (2019)

- NOTES**
1. AT PLANTING PRUNE ONLY BROKEN OR DEAD BRANCHES PER ANSI 300 STANDARD.
 2. PLANTING PIT/TRENCH SHALL BE DUG DEEP ENOUGH TO ALLOW AT LEAST 1/8TH OF ROOT BALL TO SET ABOVE EXISTING GRADE.
 3. SET PLANTS IN ERECT, STABLE, AND UNIFORM POSITIONS IN THE CENTER OF THE PLANTING PIT. ORIENT BEST FACE OF PLANT TO BE THE MOST VISIBLE.
 4. UNLESS OTHERWISE DIRECTED BY COUNTY URBAN FORESTER, BACKFILL SOIL MIXTURE WILL BE 3/4 EXISTING SOIL CLEANED OF DEBRIS (GRAVEL, ROCKS, STICKS, TRASH, ETC.) AND MIXED WITH 1/4 ORGANIC MATERIAL (COMPOSTED BARK, LEAF MOLD, OR OTHER PLANT DEBRIS PROCESSED TO A POINT OF DECAY AND APPROVED BY THE COUNTY URBAN FORESTER; PEAT MOSS MAY NOT BE USED).
 5. CONTRACTOR SHALL REMOVE EXCESS SOIL & DEBRIS FROM SITE.
 6. DO NOT PLACE MULCH IN CONTACT WITH STEM OF SHRUBS

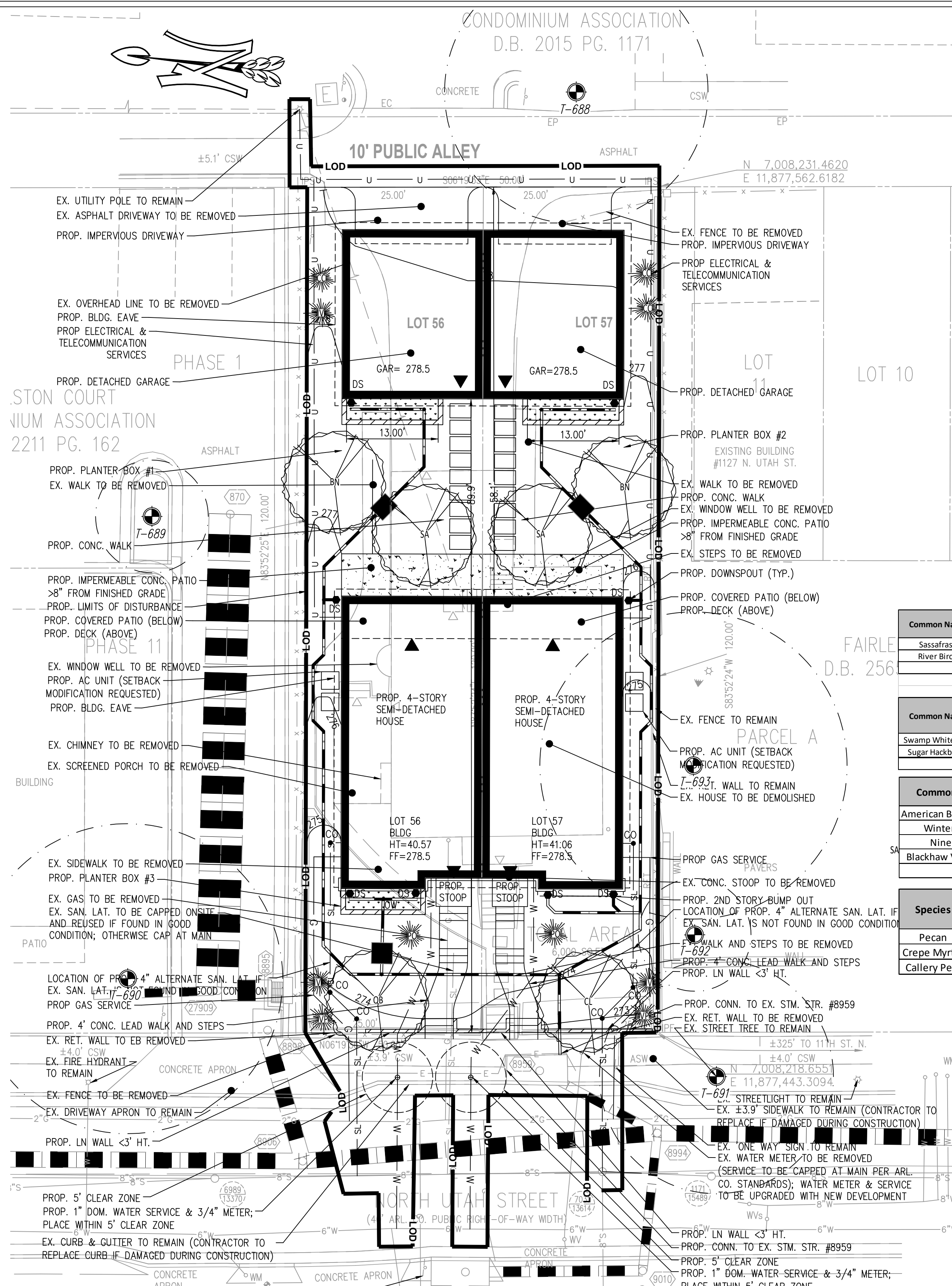


SHRUB PLANTING
ELEVATION
329300.8 (2016) (02930.8)

- NOTES**
1. REFER TO STREET TREE PIT DETAIL (329300.3A) FOR PIT CONSTRUCTION AND INFORMATION ON ADJACENT PAVEMENTS, CURB, AND DRAINAGE.
 2. REFER TO DETAIL 329300.5 FOR GENERAL TREE PLANTING NOTES.



STREET TREE PLANTING PIT (SHEET 2 OF 2)
FOR TREE PLANTING PITS IN RIGHT-OF-WAY & ADJACENT TO PAVING
329300.3B (2019)



- NOTES**
1. OFFSITE/SHARED/ROW TREES SHALL NOT BE REMOVED WITHOUT WRITTEN PERMISSION FROM AFFECTED ADJACENT PROPERTY OWNERS.
 2. TREES NOTED FOR REMOVAL WITHIN THE SAVE AREAS SHALL BE DONE SO BY HAND WITHOUT THE USE OF HEAVY MACHINERY.
 3. OFFSITE TREES WERE ASSESSED FROM THE SUBJECT PROPERTY SO NOT TO TRESPASS ONTO ADJACENT PROPERTY. DBH MEASUREMENTS AND TREE LOCATIONS ARE APPROXIMATE.
 4. TREES LOCATED WITHIN OR ON THE LIMITS OF DISTURBANCE, OR RATED AS BEING "POOR" IN CONDITION, ARE RECOMMENDED FOR REMOVAL BY TNT ARBORISTS DUE TO THE LIKELIHOOD OF TREE FAILURE. HOWEVER, AT THE DISCRETION OF THE APPLICANT, SOME OF THESE MAY BE PRESERVED DURING CONSTRUCTION WITH THE APPROVAL OF URBAN FORESTRY.
 5. TREES NOTED FOR REMOVAL OUTSIDE THE LIMITS OF DISTURBANCE SHALL BE REMOVED BY HAND WITH TREE BRANCHES BEING REMOVED FROM THE AREA BY HAND. WOOD CHIPS OR SIMILAR WILL BE USED TO PROTECT THE CRZ OF ADJACENT TREES AS DIRECTED BY ARLINGTON COUNTY UFM. THE TRUNK WILL BE CUT AT GROUND LEVEL AND LEFT. TREE PROTECTION FENCING WILL BE REPLACED AND SIGNAGE RE-HUNG.
 6. **TREES WITH A CALIPER OF 10 INCHES OR LESS THAT ARE REMOVED FROM THE RIGHTS-OF-WAY WILL BE REPLACED ON A ONE-FOR-ONE-BASIS (ARLINGTON COUNTY ADMINISTRATIVE REGULATION 4.3).
 7. **NON-NATIVE, INVASIVE TREE SPECIES CONSIDERED TO BE AN ECOLOGICAL THREAT IN ARLINGTON COUNTY WILL BE REMOVED IN ACCORDANCE TO WITH THE INVASIVE SPECIES CONTROL NARRATIVE AND EXCLUDED FROM TREE REPLACEMENT CALCULATIONS.

- LEGEND**
- CRITICAL ROOT ZONE (CRZ)
 - TREE LOCATION
 - APPROX. LIMITS OF CLEARING
 - PROPOSED MEDIUM TREE
 - PROPOSED SHRUB

- NOTES**
1. THE PROPERTY DELINEATED HEREON IS LOCATED AT 1129 NORTH UTAH STREET.
 2. BOUNDARY AND TOPOGRAPHIC INFORMATION FROM FIELD SURVEY BY WALTER PHILLIPS INC., 2022.
 3. PROPOSED DEVELOPMENT PLAN BY WALTER PHILLIPS, INC., 2023.
 4. TREE EVALUATIONS AND COMPUTATIONS BY TNT ENVIRONMENTAL, INC., NOVEMBER 2022. (MR. DILLON JEWELL, CERTIFICATION #: MA-6254A).
 5. CRZ MEASUREMENTS IN RADIUS.
 6. TOTAL CANOPY COVER: 2,152 SQUARE FEET (SF).
 7. TOTAL SITE AREA: 6,000 SF.
 8. PERCENT OF SITE COVERED: 35.8%
 9. PERCENT COVER REQUIRED BY ZONING: 20%
 10. QUALIFYING CANOPY TO BE PRESERVED: 0 SF (0%)
 11. MINIMUM CANOPY AREA TO BE PLANTED TO MEET REQUIREMENT: 1,200 SF (20%)

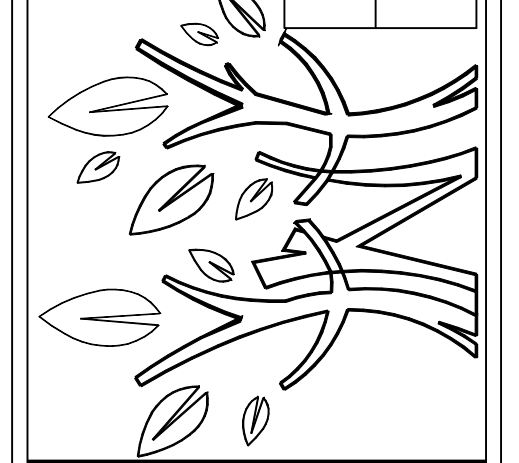
Common Name	Botanical Name	Key	Quantity	Stock Size (Height/Caliper)	Spread at Planting (Feet)	Canopy Size	Total 20-Year Coverage (SF)	Native to Region	Bonus Multiplier	Sub-total (SF)
Sassafras	<i>Sassafras albidum</i>	SA	2	21"	3'-5'	Medium	175	x	1.25	437.5
River Birch	<i>Betula nigra</i>	BN	2	8'-10'	5'-7'	Medium	175	x	1.25	437.5
Total Trees										4
Total Square Footage										875.00

Common Name	Botanical Name	Key	Quantity	Stock Size (Height/Caliper)	Spread at Planting (Feet)	Canopy Size	Total 20-Year Coverage (SF)	Native to Region	Bonus Multiplier	Sub-total (SF)
Swamp White Oak	<i>Quercus bicolor</i>	QB	1	2 in.	5'-7'	Large	315	x	1.25	393.75
Sugar Hackberry	<i>Celtis laevigata</i>	CL	1	2 in.	5'-7'	Large	315	x	1.25	393.75
Total Shrubs										2
Total Square Footage										787.50

Common Name	Botanical Name	Key	Quantity	Stock Size (Height)	Canopy Size at Maturity Height/Width	Native to Region	
American Beautyberry	<i>Callicarpa americana</i>	CC	3	24"	3'-6"/3'-6"	x	
Winterberry	<i>Ilex verticillata</i>	IV	3	24"	5'-8"/5'-8"	x	
Ninebark	<i>Physocarpus opulifolius</i>	PO	2	24"	5'-10"/6'-10"	x	
Blackhaw Viburnum	<i>Viburnum prunifolium</i>	VP	2	24"	12'-15"/6'-12'	x	
Total Shrubs							10

Species	Number	Size (inches)	Condition Rating	Species Rating	Total Score	Number of Replacements
Pecan	1	23.5	0.84	0.75	14.805	4
Crepe Myrtle	1	3.3	0.88	0.78	2.26512	1*
Gallery Pear	1	14.4	0.81	0.5	5.832	2

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Chantilly, VA 20151
PH: 703-466-5123 WWW.TNTEENVIRONMENTAL.COM



1129 NORTH UTAH STREET
ARLINGTON COUNTY

LANDSCAPE PLAN

REVISIONS

DATE	COMMENTS
3/14/23	REVISED BY DGI
6/26/23	REVISED BY AMS

SHEET **LO3** OF **LO4**

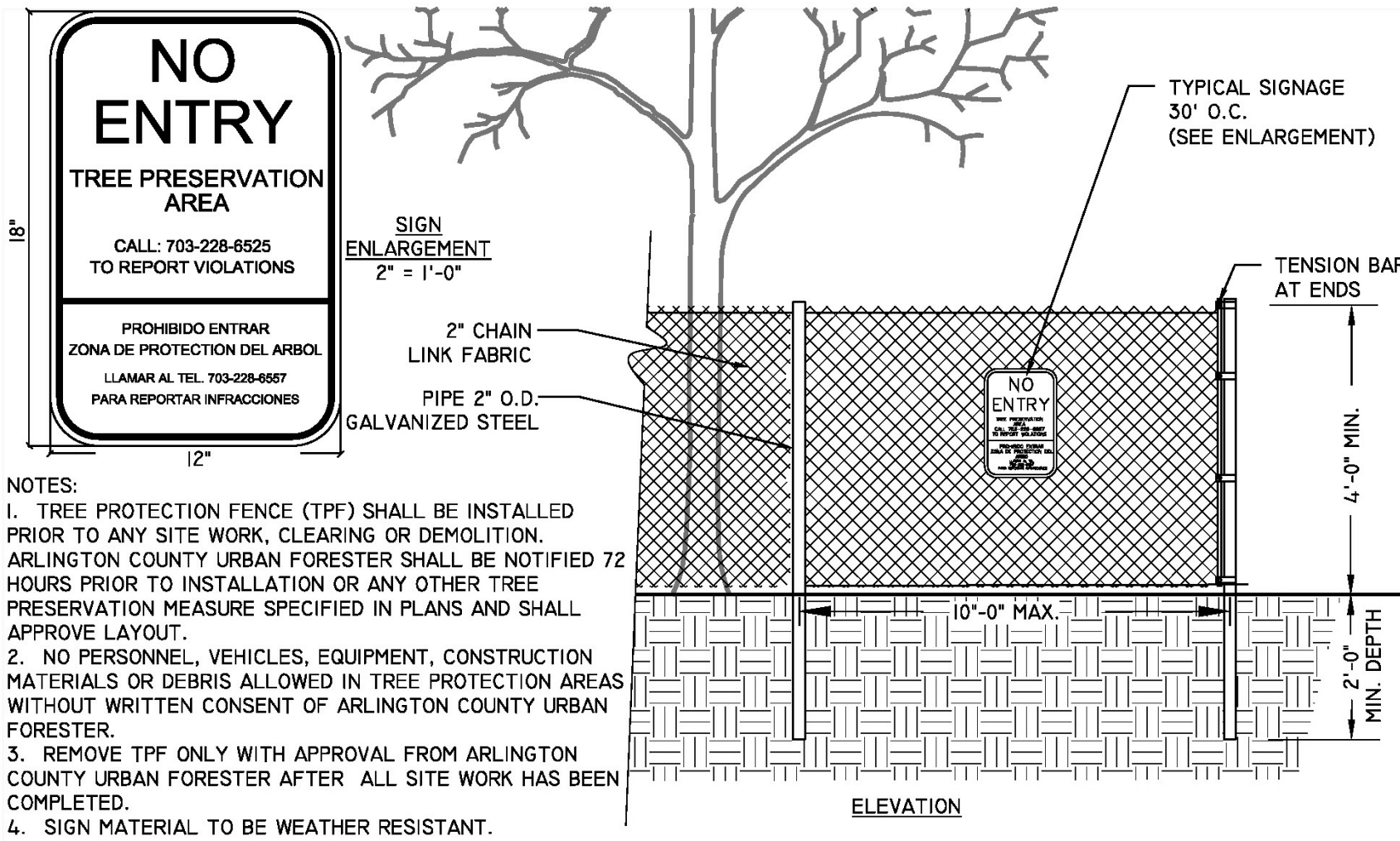
SCALE: 1" = 10'

PROJECT DATE: 2/14/23

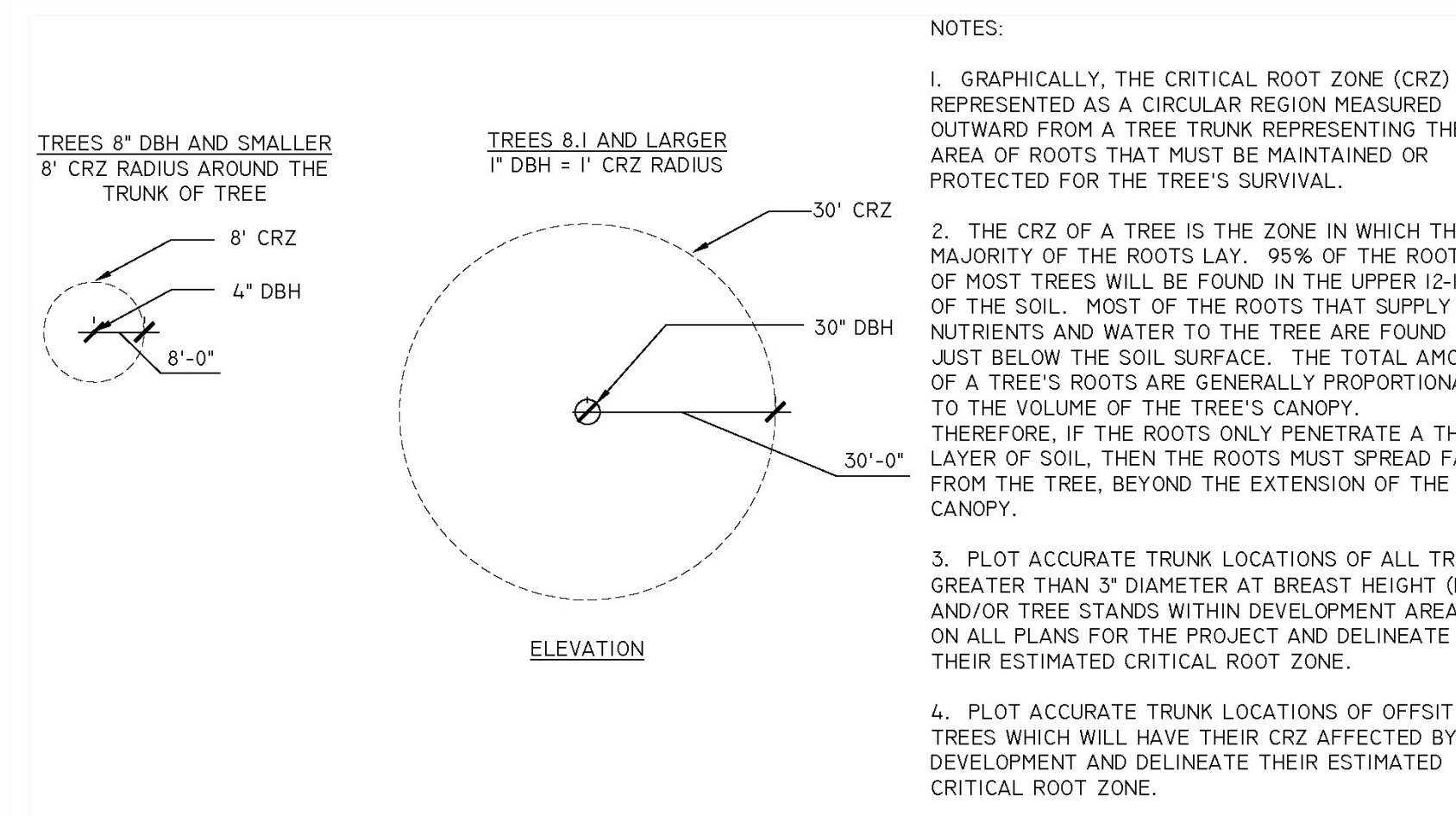
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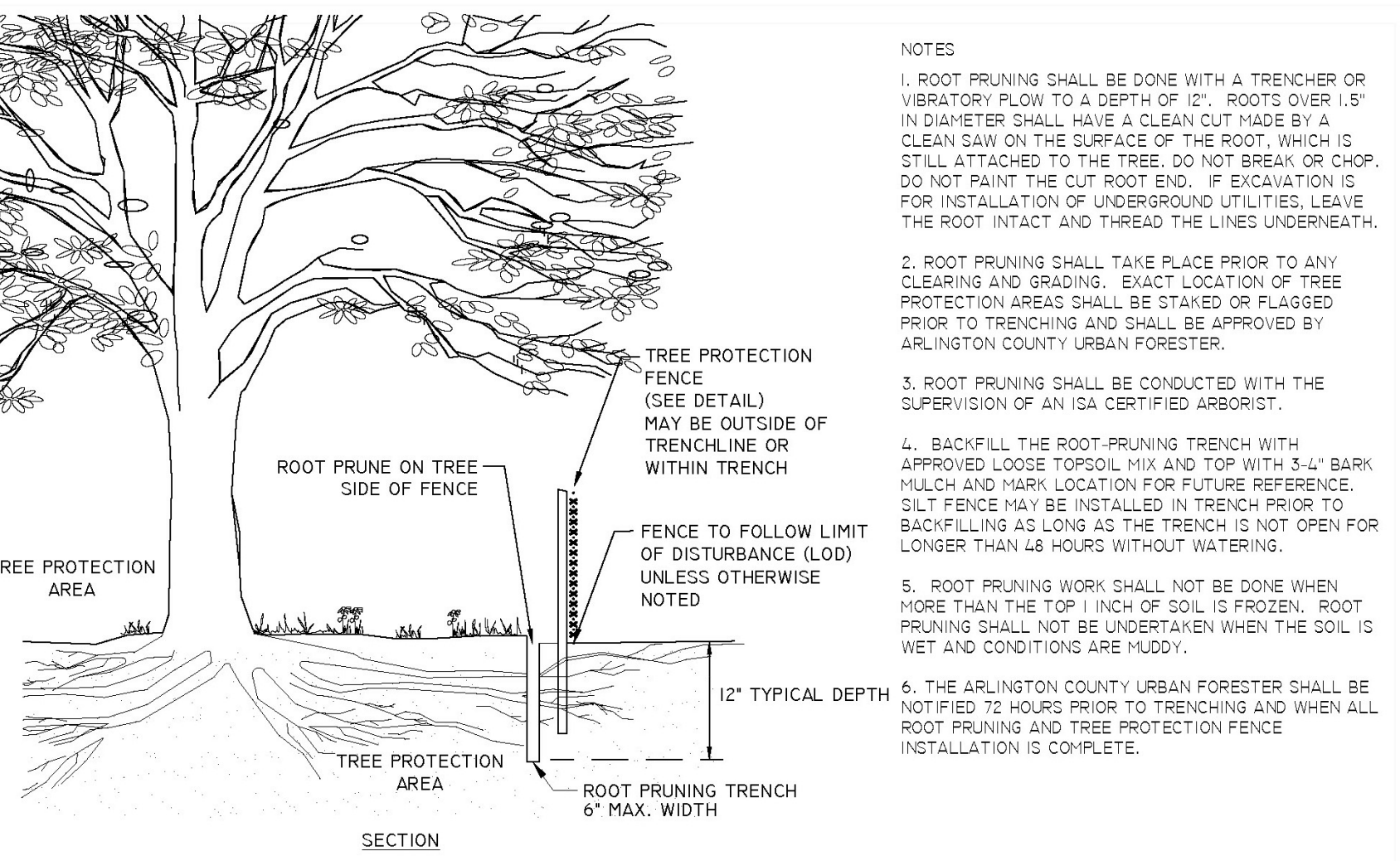
ISA
Vinash M. Sareen
Certified Arborist
Certification # MA-4727A



4' CHAIN LINK TREE PROTECTION FENCE (RESIDENTIAL)
 311300.2 (2016) (02231.2)
 ARLINGTON COUNTY DPR



TREE PROTECTION DETAIL FOR DETERMINING CRITICAL ROOT ZONE
 311300.3 (2019)
 N.T.S. ARLINGTON COUNTY DPR



ROOT PRUNING
 311300.5 (2019)
 N.T.S. ARLINGTON COUNTY DPR

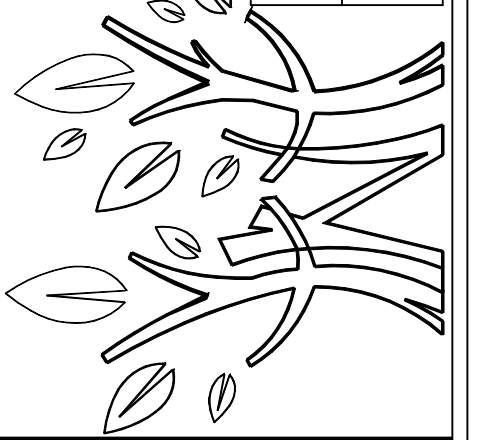
TREE PRESERVATION:

- BEFORE ANY GRADING, DEMOLITION, OR OTHER DISTURBANCE, INCLUDING TREE REMOVAL, A PRECONSTRUCTION MEETING SHALL BE HELD WITH AN ARLINGTON COUNTY URBAN FORESTER. CHANGES TO THE PLAN, BASED ON FIELD CONDITIONS, MAY BE REQUESTED BY THE URBAN FORESTER AT THE TIME OF THE PRECONSTRUCTION MEETING.
- TREE PROTECTION SHALL BE INSTALLED PER PLAN, WITH ANY CHANGES REQUESTED AT THE PRECONSTRUCTION MEETING, AND INSPECTED BY AN ARLINGTON COUNTY URBAN FORESTER. EROSION AND SEDIMENT CONTROLS ARE INSPECTED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES.
- REMOVAL OF TREES, NOTED FOR REMOVAL ON THE PLAN, INSIDE A TREE PRESERVATION AREA SHALL BE PERFORMED, BY HAND, WITHOUT GROUND DISTURBANCE, OR DISTURBANCE TO NEARBY PRESERVED TREES. TREES IN THESE AREAS SHALL BE CUT FLUSH TO THE GROUND, WITHOUT STUMP GRINDING.
- NO CHANGES SHALL BE MADE TO TREE PRESERVATION OR PROPOSED LANDSCAPE UNLESS DIRECTED BY AN ARLINGTON COUNTY URBAN FORESTER.
- FOLLOW ANSI STANDARDS WHEN PRUNING TREES. ANY PRUNING BEYOND 5% OF THE CANOPY SHALL BE COMMUNICATED AND APPROVED TO THE URBAN FORESTER
- DO NOT REMOVE TREES ON OTHER PROPERTIES, OR RIGHTS-OF-WAY, WITHOUT WRITTEN PERMISSION OF THE OWNER.
- TREE PROTECTION AREAS SHALL HAVE ALL NON-NATIVE INVASIVE VINES REMOVED AT THE END OF THE PROJECT. WHERE DEEMED NECESSARY BY THE COUNTY URBAN FORESTER TO ENSURE TREE SURVIVAL, THE PROTECTION AREA SHALL BE COVERED WITH SHREDDED HARDWOOD MULCH, OR OTHER ORGANIC MULCH AS APPROVED BY THE COUNTY URBAN FORESTER.
- AT THE END OF THE PROJECT, PRESERVED AND PLANTED TREES MUST BE INSPECTED AND APPROVED BY AN ARLINGTON COUNTY URBAN FORESTER.

INVASIVE SPECIES CONTROL NARRATIVE:

- ANY APPLICATION OF ENVIRONMENTALLY SENSITIVE APPROVED HERBICIDES SHALL BE APPLIED BY A VIRGINIA CERTIFIED APPLICATOR OR REGISTERED TECHNICIAN.
- ENGLISH IVY:** REMOVE FROM TREES AND LANDSCAPE BY CUTTING ALL VINES AT GROUND LEVEL. VINES SHOULD BE CUT AGAIN SEVERAL FEET UP THE TRUNK. PEEL THE CUT SECTIONS OFF BUT CARE SHOULD BE TAKEN NOT TO STRIP THE BARK OFF THE TREE. PULL GROUND COVER BACK A FEW FEET FROM THE BASE OF THE TREE TO SLOW REGROWTH UP THE TREE TRUNK. REMOVE GROUND COVER BY HAND PULLING, CUTTING AND MULCHING OVER TOP, AND/OR APPLYING A GLYPHOSATE HERBICIDE AS A 4-PERCENT SOLUTION (1 PINT PER 3-GALLON MIX) TO LEAVES OR FRESHLY CUT LARGE STEMS, BY THOROUGHLY WETTING THEM. USE A STRING TRIMMER TO REDUCE GROWTH LAYERS AND TO INJURE LEAVES FOR IMPROVED HERBICIDE UPTAKE. RETREATMENT MAY BE NECESSARY FOR COMPLETE ERADICATION. THE REMNANTS SHALL BE BAGGED AND REMOVED FROM THE PROJECT SITE.
- JAPANESE HONEYSUCKLE:** SHALL BE REMOVED BY HAND TO MINIMIZE SITE DISTURBANCE. TO REDUCE DAMAGE TO NON-TARGET PLANTS, HERBICIDES SUCH AS GLYPHOSATE AND TRICLOPYR MAY BE APPLIED TO FOLIAGE BY A VIRGINIA CERTIFIED APPLICATOR DURING GROWING SEASON (APRIL TO OCTOBER). THOROUGHLY COVER ALL LEAVES AND/OR FRESHLY CUT STEMS IN HERBICIDE, REPEAT AS NECESSARY.
- CALLERY PEAR:** ANY CALLERY PEAR OF ANY SIZE ARE TO BE REMOVED FROM TREE PRESERVATION AREAS BY HAND. THE STUMP WILL BE CUT, FLAGGED AND PAINTED WITH AN ENVIRONMENTALLY SENSITIVE APPROVED HERBICIDE TO BE APPLIED BY A VIRGINIA CERTIFIED APPLICATOR.
- PORCELAIN-BERRY:** SHALL BE REMOVED BY HAND WHERE POSSIBLE TO MINIMIZE DISTURBANCE. PULL VINES IN THE FALL OR SPRING TO PREVENT BUD AND FLOWER PRODUCTION THE FOLLOWING GROWING SEASON. FOR VINES TOO LARGE TO PULL, CUT AT GROUND LEVEL. REPEAT THIS PROCESS AS OFTEN AS NEEDED. CUT VINE STEMS MAY ALSO BE TREATED WITH A SYSTEMIC HERBICIDE BY A CERTIFIED APPLICATOR. FOR LARGE INFESTATIONS, A FOLIAR APPLICATION OF A SYSTEMIC HERBICIDE SUCH AS TRICLOPYR MAY BE APPLIED FROM SUMMER TO FALL.
- AMUR HONEYSUCKLE:** WHERE POSSIBLE, SEEDLINGS INCLUDING ROOT STRUCTURE SHOULD BE EXCAVATED AND REMOVED WITH SHOVEL. ALTERNATIVELY, BRANCHES AND MAIN STEM SHOULD BE CUT BACK TO ONE (1) INCH ABOVE SOIL SURFACE DURING MID TO LATE AUTUMN WHEN TEMPERATURES ARE ABOVE 60 DEGREES FAHRENHEIT. A SOLUTION OF AT LEAST 20% GLYPHOSATE HERBICIDE SHOULD BE APPLIED TO OPEN CUT FACE OF STUMP WITHIN TWO (2) TO THREE (3) MINUTES OF CUT. REFER TO HERBICIDE LABEL FOR APPLICATION INSTRUCTIONS. BRANCHES AND VEGETATION DEBRIS SHOULD BE REMOVED OFFSITE. REAPPLY HERBICIDE IN THE LATE FALL AND AGAIN IN WINTER AS NECESSARY.
- WINTER CREEPER:** VINES SHALL BE REMOVED BY HAND, INCLUDING THE ROOTS, WHERE POSSIBLE TO MINIMIZE DISTURBANCE. FOR VINES TOO LARGE TO PULL, CUT AT GROUND LEVEL OR GRUB. CUT VINE STEMS MAY ALSO BE TREATED WITH A SYSTEMIC HERBICIDE BY A CERTIFIED APPLICATOR. FOR LARGE INFESTATIONS, A FOLIAR APPLICATION OF SYSTEMIC HERBICIDE SUCH AS GLYPHOSATE OR TRICLOPYR MAY BE APPLIED FROM LATE SUMMER TO FALL BY A CERTIFIED APPLICATOR.
- WISTERIA:** WHEN POSSIBLE, PULL, CUT AND TREAT WHEN SEEDPODS ARE NOT PRESENT. THOROUGHLY WET ALL LEAVING USING A GLYPHOSATE HERBICIDE AS A 4-PERCENT SOLUTION (1 PINT PER 3-GALLON MIX) FROM SEPTEMBER-OCTOBER. RETREATMENT MAY BE NECESSARY FOR COMPLETE ERADICATION. THE WISTERIA REMNANTS SHALL BE BAGGED AND REMOVED FROM THE PROJECT SITE.
- INVASIVE SPECIES CONTROL SHALL COMMENCE WITH E&S PHASE I AND BE CONDUCTED UNTIL THE PLANTS NOTED ABOVE ARE NO LONGER IN ABUNDANCE OR UNTIL BOND RELEASE, WHICHEVER IS LATER.

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 Chantilly, VA 20151
 PH: 703-466-5123 WWW.TNTEENVIRONMENTAL.COM



1129 NORTH UTAH STREET
 ARLINGTON COUNTY

TREE PRESERVATION
 DETAILS & NARRATIVE

REVISIONS	
DATE	COMMENTS

SHEET **L04** OF **L04**

SCALE: *N7S*
 PROJECT DATE: *2/14/23*
 DRAFT: *DCJ* CHECK: *AMS*
 FILE NUMBER: *3011*

Vinash M. Sareen
 Certified Arborist
 Certification # MA-47274