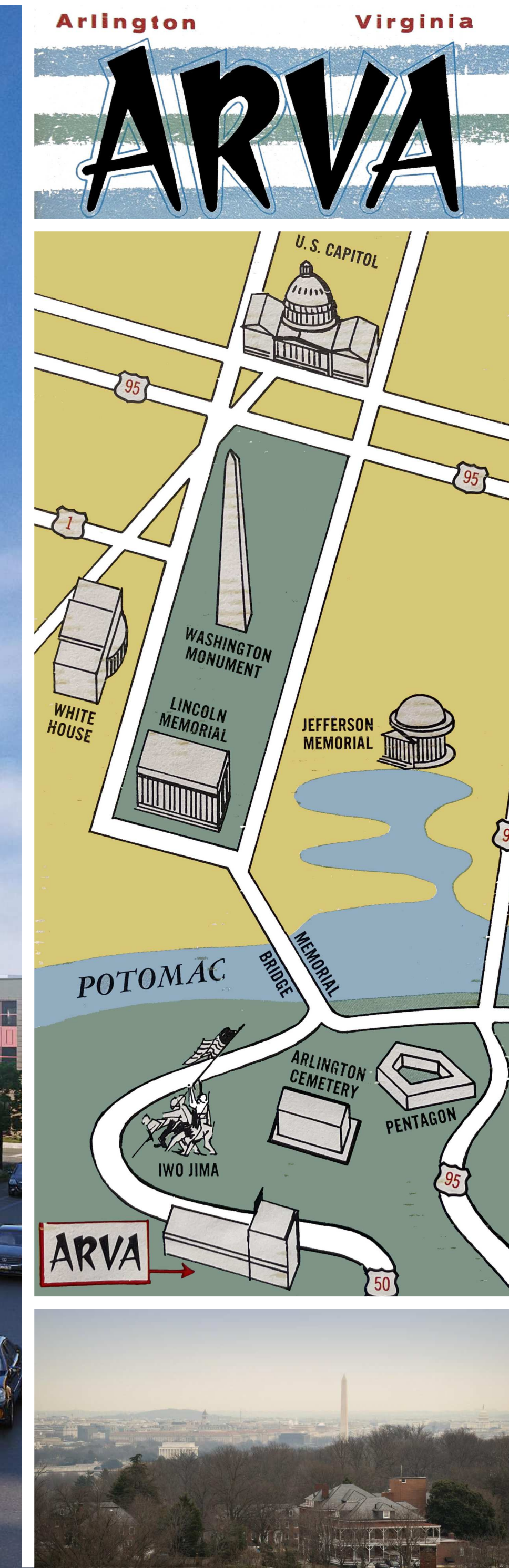


ARVA APARTMENTS

2201 ARLINGTON BOULEVARD, ARLINGTON, VA 22201



PROJECT DIRECTORY

DEVELOPER:	ARLINGTON BOULEVARD, LLC 6912 Elm St McLean, VA 22101 804.771.9570
ATTORNEY:	HIRSCHLER 8270 Greensboro Drive Suite 700 Tysons, VA 22102 804.771.9570
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STRUCTURAL:	TCE ASSOCIATES 1109 Spring Street Silver Spring, MD 20910 301.587.1820
MEP:	EDG2 10411 Motor City Drive Suite 550 Bethesda, MD 20817 202.466.2222
SUSTAINABILITY:	SUSTAINABLE BUILDING PARTNERS 2701 Prosperity Avenue Suite 100 Fairfax, VA 22031 703.970.2890
TRAFFIC:	GOROVE SLADE ASSOCIATES, INC. 1140 Connecticut Avenue Suite 600 Washington, DC 20036 202.296.8625

4.1 FIRST RESUBMISSION

09.02.2022

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Project Number 21130

SHEET INDEX - GENERAL - 4.1			
SHEET NUMBER	SHEET NAME	4.1 PRELIMINARY SUBMISSION	4.1 FIRST RESUBMISSION
G-000	COVER SHEET	•	•
G-001	SHEET INDEX	•	•
G-002	CONTEXT VIEWS	•	•
G-003	CONTEXT VIEWS	•	•

SHEET INDEX - CIVIL - 4.1			
SHEET NUMBER	SHEET NAME	4.1 PRELIMINARY SUBMISSION	4.1 FIRST RESUBMISSION
C01.10	TABULATIONS	•	•
C02.00	ABBREVIATIONS AND LEGEND	•	•
C02.10	OVERALL CERTIFIED SURVEY	•	•
C03.00	VACATION EASEMENT EXHIBIT	•	•
C03.10	DEDICATION EASEMENT EXHIBIT	•	•
C03.20	REZONING PLAT	•	•
C04.00	AERIAL PHOTO	•	•
C04.10	CONTEXTUAL PLAN	•	•
C05.00	PLOT AND LOCATION PLAN	•	•
C06.10	GRADING PLAN	•	•
C06.00	PRESENTATION PLAN	•	•
C07.00	STREET CROSS SECTIONS	•	•
C08.00	PRELIMINARY STORMWATER MANAGEMENT	•	•
C09.00	PRE-DEVELOPMENT CONDITIONS	•	•
C09.10	POST-DEVELOPMENT CONDITIONS	•	•
C09.20	STORMWATER MANAGEMENT PLAN	•	•
C09.30	STORMWATER MANAGEMENT COMPUTATIONS	•	•
C10.00	EXISTING STRIPING AND MARKING PLAN	•	•
C10.10	PROPOSED STRIPING AND MARKING PLAN	•	•
C11.00	FIRE SERVICE PLAN	•	•
C12.00	TRUCK TURNING MOVEMENT	•	•
C13.00	PASSENGER CAR MOVEMENT PLAN	•	•
T01.00	TREE PRESERVATION PLAN	•	•
T01.10	TREE PRESERVATION NOTES & DETAILS	•	•

SHEET INDEX - LANDSCAPE - 4.1			
SHEET NUMBER	SHEET NAME	4.1 PRELIMINARY SUBMISSION	4.1 FIRST RESUBMISSION
L-002	GENERAL LEGEND	•	•
L-003	REFERENCE PLAN	•	•
L-101	PLAN - SITE NORTH WEST	•	•
L-102	PLAN - SITE SOUTH WEST	•	•
L-103	PLAN - SITE NORTH EAST	•	•
L-104	PLAN - SITE EAST	•	•
L-105	PLAN - SITE SOUTH EAST	•	•
L-106	PLAN - LEVEL 2	•	•
L-108	PLAN - LEVEL 7 NORTH	•	•
L-110	TREE CANOPY CALCULATIONS	•	•
L-111	PLANTING NOTES	•	•
L-501	DETAILS - PAVING	•	•
L-502	DETAILS - PAVING	•	•
L-511	DETAILS - WALLS AND STAIRS	•	•
L-521	DETAILS - SITE FURNISHINGS	•	•
L-601	DETAILS - PLANTING	•	•
L-602	DETAILS - PLANTING	•	•

SHEET INDEX - ARCHITECTURAL - 4.1			
SHEET NUMBER	SHEET NAME	4.1 PRELIMINARY SUBMISSION	4.1 FIRST RESUBMISSION
A-001	UNIT COUNTS & AREA TABULATIONS	•	•
A-002	FAR TABULATIONS	•	•
A-003	FLOOR PLANS - LP2	•	•
A-004	FLOOR PLANS - LP1	•	•
A-005	FLOOR PLANS - L1	•	•
A-006	FLOOR PLANS - L2	•	•
A-007	FLOOR PLANS - L3	•	•
A-008	FLOOR PLANS - L4	•	•
A-009	FLOOR PLANS - L5	•	•
A-010	FLOOR PLANS - L6	•	•
A-011	FLOOR PLANS - L7	•	•
A-012	FLOOR PLANS - L8	•	•
A-013	FLOOR PLANS - PH ROOF	•	•
A-014	BUILDING ELEVATIONS	•	•
A-015	BUILDING ELEVATIONS	•	•
A-016	BUILDING ELEVATIONS / SECTIONS	•	•
A-017	BUILDING SECTIONS	•	•
A-018	BUILDING SECTIONS	•	•
A-019	ENLARGED BUILDING ELEVATIONS	•	•
A-020	ENLARGED BUILDING ELEVATIONS	•	•
A-021	ENLARGED BUILDING ELEVATIONS	•	•
A-022	SITE SECTIONS	•	•

ARVA APARTMENTS
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 ARLINGTON, VA 22201

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ISSUED FOR:	DATE:
4.1 PRELIMINARY SUBMISSION	06/10/22
4.1 FIRST RESUBMISSION	09/02/22

NOT FOR CONSTRUCTION

SHEET INDEX

G-001

PROJECT NO. 21130



4 CONTEXT VIEW - ARLINGTON BLVD & PERSHING DRIVE - LOOKING SOUTH WEST
N.T.S



2 CONTEXT VIEW - OPEN SPACE AT PERSHING DRIVE & WAYNE ST - LOOKING SOUTH EAST
N.T.S



3 CONTEXT VIEW - MEWS & COURTYARD ON WAYNE ST - LOOKING EAST
N.T.S



1 CONTEXT VIEW - ARLINGTON BLVD NORTHBOUND - LOOKING NORTH
N.T.S

NOTE: PERSPECTIVE VIEWS FOR ILLUSTRATIVE PURPOSES AND SUBJECT TO CHANGE DURING DESIGN REVIEW PROCESS

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ARLINGTON, VA 22201

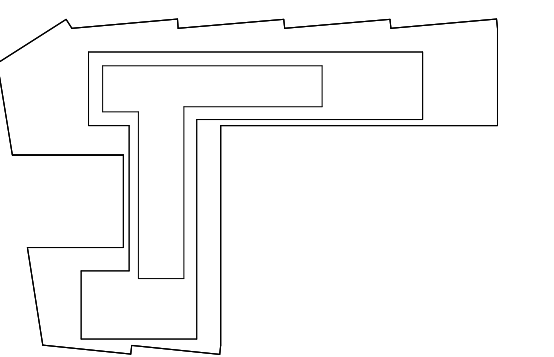
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ISSUED FOR:	DATE:
4.1 PRELIMINARY SUBMISSION	06/10/22
4.1 FIRST RESUBMISSION	09/02/22

NOT FOR CONSTRUCTION



CONTEXT VIEWS

G-002

NOTE: PERSPECTIVE VIEWS FOR ILLUSTRATIVE PURPOSES AND SUBJECT TO CHANGE DURING DESIGN REVIEW PROCESS



2 | CONTEXT VIEW - PERSHING DRIVE - LOOKING INTO THRU-BLOCK ACCESS
N.T.S



1 | CONTEXT VIEW - ARLINGTON BLVD & PERSHING DRIVE - LOOKING SOUTH WEST AT CORNER
N.T.S

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ARLINGTON, VA 22201

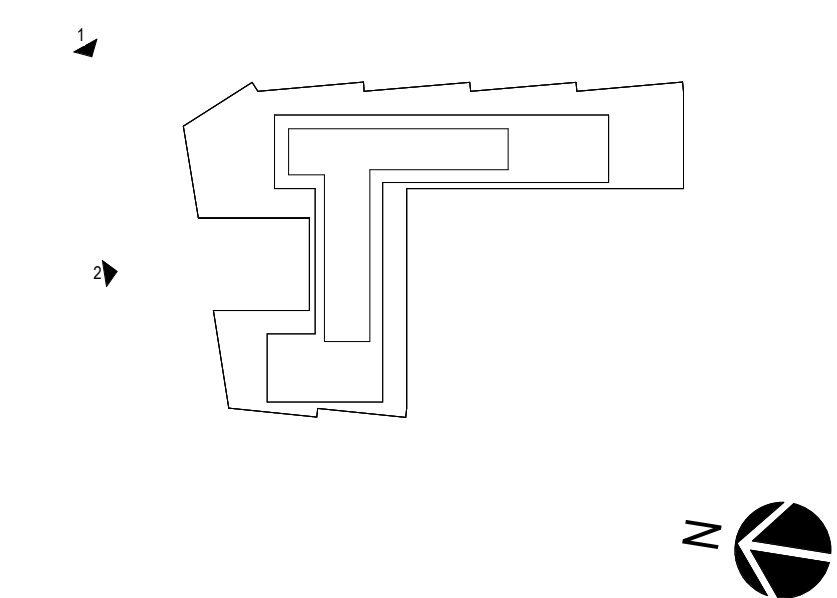
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ISSUED FOR: 4.1 FIRST RESUBMISSION DATE: 09/02/22

NOT FOR CONSTRUCTION



CONTEXT VIEWS

G-003

SITE TABULATIONS

- 1A) EXISTING SITE AREA: 103,566 SF 2.3775AC.
 1B) POST DEDICATION AREA = 97,037 SF 2.2277AC.
 2) PROPOSED USES:
 RESIDENTIAL BUILDING: 251 UNITS
 RETAIL: 2,947 SF
 3) AVERAGE SITE ELEVATION AT PERIMETER (ENTIRE SITE): 236.04'
 4) PROPOSED PARKING
 STANDARD SPACES: 169 SPACES
 COMPACT SPACES: 33 SPACES
 HANDICAPPED SPACES: 5 SPACES
 TOTAL SPACES: 207 SPACES
 5) BUILDING HEIGHT (ASE TO MAIN ROOF):
 RESIDENTIAL BUILDING: 8 STORIES 90 FT ± MAIN ROOF
 6) SIDEWALK WIDTHS:
 PERSHING DRIVE 15.00' MIN.
 NORTH WAYNE STREET 11.00' MIN.
 ARLINGTON BLVD N/A - TRAIL
 7) ZONING:
 CURRENT ZONING: RA6-15 AND C-2
 PROPOSED ZONING: C-0-1.5
 8) SITE COVERAGE (EXISTING):
 EXISTING BUILDING AREA: 29,002 SF
 EXISTING VEHICULAR AREA: 31,800 SF
 TOTAL EXISTING COVERAGE AREA: 60,802 SF

$$\frac{\text{TOTAL AVG SF}}{\text{TOTAL AREA SF}} = \frac{60,802 \text{ SF}}{103,566 \text{ SF}} = 58.7\% \text{ COVERAGE (EXISTING)}$$
 9) SITE COVERAGE (PROPOSED):
 PROPOSED BUILDING AREA: 53,000 SF
 PROPOSED VEHICULAR AREA: 9,140 SF
 TOTAL PROPOSED COVERAGE AREA: 62,140 SF

$$\frac{\text{TOTAL AVG SF}}{\text{TOTAL AREA SF}} = \frac{62,140 \text{ SF}}{103,566 \text{ SF}} = 60.0\% \text{ COVERAGE (PROPOSED)}$$



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ARVA APARTMENTS

2201 ARLINGTON BLVD.
 ARLINGTON VA 2201
 4.1 PRELIMINARY SITE PLAN
 ARLINGTON COUNTY, VIRGINIA



SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'
 SHEET TITLE:
 TABULATIONS
 SHEET #: C01.10

- BF BASEMENT FLOOR ELEVATION
- BC BACK OF CURB
- BN BENCH
- BSW BRICK SIDEWALK
- BLDG HT BUILDING HEIGHT
- BR BIKE RACK
- C&G CURB AND GUTTER
- CC CONCRETE CURB
- 7' CLF CHAIN LINK FENCE
- CONC CONCRETE
- CSW CONCRETE SIDEWALK
- DYL DOUBLE YELLOW LINE
- EB ELECTRIC BOX
- EP EDGE OF PAVEMENT
- FF FINISH FLOOR
- FL FLOW LINE
- IPS IRON PIN SET
- IRS IRON ROD SET
- LSA LANDSCAPE AREA
- PKS PK NAIL SET
- UNK UNKNOWN
- SN SIGN
- SWL SOLID WHITE LINE
- SYL SOLID YELLOW LINE
- UGWP UNDERGROUND GAS LINE WITNESS POINT
- ☒ AIR CONDITION
- ☼ AREA LIGHT
- ☐ CLEAN OUT
- ☑ COMMUNICATIONS BOX
- ☒ ELECTRIC BOX
- ⊕ ELECTRIC OUTLET
- ⚡ FIRE DEPARTMENT CONNECTION
- ⚡ FIRE HYDRANT
- ⊕ FLAG POLE
- ⊕ GAS VALVE
- ⊕ IRRIGATION VALVE
- ⊕ PM PARKING METER
- ⊕ SANITARY SEWER MANHOLE
- ADH SIGN ADOPT A HIGHWAY
- BRT SIGN BIKE ROUTE
- DNBX SIGN DO NOT BLOCK INTERSECTION
- DNE SIGN DO NOT ENTER

- HCP SIGN HANDICAPPED PARKING
- METRO SIGN METRO BUS STOP
- NP SIGN NO PARKING
- NOS SIGN NO SOLICITING
- YLD SIGN YIELD
- 2HR SIGN 2 HOUR PARKING
- 25 MPH SIGN SPEED LIMIT 25MPH
- ⊙ STORM MANHOLE
- ⊞ STORM INLET (SQUARE)
- ⬆ TRAFFIC LIGHT
- ☀ UTILITY MARKING POST
- ⊘ UTILITY POLE
- ⊕ VENT PIPE
- ⊞ VAULT
- ⊞ WATER MANHOLE
- ⊞ WATER METER
- ⊞ WATER VALVE
- (R) RECORD
- (M) MEASURED
- ⚠ PARKING COUNT
- 18" TREE W/SIZE
- EX 1909 STORM ID NUMBER
- EX 8661 SANITARY ID NUMBER
- APPRX. LOC. UNDERGROUND STORM
- APPRX. LOC. UNDERGROUND SANITARY
- APPRX. LOC. UNDERGROUND GAS
- APPRX. LOC. UNDERGROUND WATER
- APPRX. LOC. UNDERGROUND TELECOM
- APPRX. LOC. UNDERGROUND ELECTRIC
- GUARDRAIL
- FENCE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	41.57'	228.00'	10°26'44.9"	N 61°41'27" E	41.51'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	41.57'	228.00'	10°26'44.9"	N 62°25'42.5" E	41.51'

LINE	BEARING	DISTANCE
L1	N 48°15'49" E	17.75'
L2	S 09°47'01" E	23.69'
L3	N 56°26'29" E	25.32'

LINE	BEARING	DISTANCE
L1	N 48°00'05" E	17.75'
L2	S 09°02'45" E	23.69'
L3	N 57°10'45" E	25.32'

- EASEMENT LEGEND**
- (PS) 5' PUBLIC STREET PURPOSE EASEMENT D.B. 1208 PG. 513
 - (SE) 5' SANITARY SEWER EASEMENT D.B. 1186 PG. 502
 - (SE2) 5' SANITARY SEWER EASEMENT D.B. 861 PG. 492
 - (VE) APPROXIMATE LOCATION VEPCO EASEMENT D.B. 126 PG. 260
 - (VE2) APPROXIMATE CENTERLINE LOCATION VEPCO EASEMENT D.B. 1895 PG. 681
 - (VE3) APPROXIMATE CENTERLINE LOCATION 10' VEPCO EASEMENT D.B. 2027 PG. 1225
 - (VE4) APPROXIMATE LOCATION VEPCO EASEMENT D.B. 1211 PG. 193

- EX 10558 RIM=230.43
INV IN=226.53 (6" PIPE FRM EX10516)
INV IN=226.75 (6" PIPE FRM EX10516)
INV IN=227.23 (8" PIPE FRM EX10516)
INV IN=227.00 (8" PIPE FRM EX10516)
INV IN=227.63 (15" PIPE FRM UNK)
- EX 10320 RIM=233.91
INV OUT=232.80 (6" PIPE TO EX10322)

- EX 30564 RIM=234.62
CENTER INV=229.93
FULL OF DEBRIS
- EX 10357 RIM=233.20
CENTER INV=230.00
PIPE RECESSED
- EX 30562 RIM=233.64
INV IN=228.35 (15" PIPE FRM EX10357)
INV IN=228.79 (18" PIPE FRM EX10291)
INV OUT=228.25 (18" PIPE TO EX10322)
- EX 10322 RIM=234.04
INV IN=227.39 (18" PIPE FRM EX30562)
INV IN=230.74 (8" PIPE FRM UNK)
INV IN=232.47 (6" PIPE FRM EX10320)
INV OUT=227.16 (24" PIPE TO EX30563)
- EX 10322 RIM=234.62
CENTER INV=229.93
FULL OF DEBRIS
- EX 30563 RIM=234.64
INV IN=228.94 (18" PIPE FRM EX10322)
INV IN=226.34 (24" PIPE FRM EX30564)
INV OUT=226.32 (24" PIPE TO EX30564)
- EX 30565 RIM=235.62
INV IN=224.78 (24" PIPE FRM EX30563)
INV OUT=199.84 (24" PIPE TO EX10120)
- EX 10120 RIM=237.03
INV IN=223.31 (24" PIPE FRM EX30565)
INV IN=232.98 (15" PIPE FRM EX10175)
INV OUT=223.25 (24" PIPE TO EX9943)
- EX 10426 RIM=238.31
CENTER INV=235.11
PIPE RECESSED
- EX 10359 RIM=238.24
INV IN=234.53 (12" PIPE FRM EX10426)
CENTER INV=234.44
PIPES RECESSED
- EX 10175 RIM=237.75
CENTER INV=233.58
INV OUT=233.53 (15" PIPE TO EX1893)
PIPE RECESSED
- EX 26543 RIM=232.29
NO ACCESS, SEALED
- EX 26544 RIM=230.30
INV IN=225.37 (15" PIPE FRM EX26543)
INV OUT=225.33 (15" PIPE TO EX10538)
- EX 1868 RIM=235.65
INV IN=228.54 (24" PIPE FRM UNK)
INV OUT=228.42 (27" PIPE TO EX1909)
- EX 1909 RIM=233.50
INV IN=228.15 (27" PIPE FRM EX1868)
INV OUT=227.98 (27" PIPE TO EX1910)
- EX 1910 RIM=231.27
INV IN=228.16 (28" PIPE FRM EX1909)
INV OUT=228.06 (15" PIPE TO EX1911)
HAS A STEEL PLATE WITH 6" OPENING ON THE OUT
- EX 1911 RIM=230.33
INV IN=227.52 (15" PIPE FRM EX1910)
INV OUT=227.42 (15" PIPE TO EX1912)
- EX 10516 RIM=230.34
INV IN=227.07 (18" PIPE FRM EX1911)
INV OUT=226.78 (6" PIPE TO EX10558)
INV OUT=226.80 (6" PIPE TO EX10558)
INV OUT=227.92 (8" PIPE TO EX10558)
INV OUT=227.89 (8" PIPE TO EX10558)

LEGEND

EXISTING	DESCRIPTION	PROPOSED
--- 350 ---	INDEX CONTOUR	--- 350 ---
--- 352 ---	INTERMEDIATE CONTOUR	--- 352 ---
--- EX. E.P. ---	EDGE OF PAVEMENT	--- PROP. E.P. ---
--- EX. C. & G. ---	CURB AND GUTTER	--- CG-6 ---
---	TRANSITION FROM CG-6R TO CG-6	--- CG-6R --- CG-6 ---
---	PROPOSED HEADER CURB	---
---	PROPERTY LINE	---
---	DEPARTING PROPERTY LINE	---
---	LOT LINE	---
---	RIGHT-OF-WAY	---
---	CENTERLINE	---
---	FLOOD PLAIN	---
---	CLEARING AND GRADING	---
---	TREE LINE	---
---	FLOW LINE OF SWALE	---
---	STREAM	---
---	OVERLAND RELIEF PATHWAY	---
---	FENCE LINE	---
---	EASEMENT	---
---	WATER LINE	---
---	WATER VALVE	---
---	REDUCER	---
---	SANITARY SEWER	---
---	STORM SEWER	---
---	CABLE TV	---
---	ELECTRIC SERVICE	---
---	TELEPHONE SERVICE	---
---	GAS LINE	---
---	SPOT ELEVATION	---
---	UTILITY POLE	---
---	SIGN	---
---	WATER METER	---
---	FIRE HYDRANT	---
---	PARKING INDICATOR	---
---	INDICATES THE NUMBER OF TYPICAL PARKING SPACES	---
---	STREET LIGHT	---
---	YARD LIGHT	---
---	HANDICAP RAMP (CG-12)	---
---	DEVOTES LOCATION OF STD WOOD CG-12 AND/OR JURISDICTIONAL STANDARD RAMP CONSTRUCTION	---
---	TREE	---
---	SIGN	---
---	OVERHEAD ELECTRIC	---
---	OVERHEAD TELEPHONE	---
---	HANDICAP PARKING SPACE (VAN)	---

SURVEYED DESCRIPTION

ALL OF THAT CERTAIN TRACT OR PARCEL OF LAND SITUATE IN ARLINGTON COUNTY, VIRGINIA, AS RECORDED IN DEED BOOK 2519 AT PAGE 1190, AMONG THE LAND RECORDS OF ARLINGTON COUNTY, VIRGINIA AND FURTHER DESCRIBED BELOW:

BEGINNING AT A POINT IN THE WEST LINE OF ARLINGTON BOULEVARD (FORMERLY LEE BOULEVARD), SAID POINT MARKING THE SOUTHEAST CORNER OF THE PROPERTY BEING DESCRIBED, AND BEING ALSO IN THE NORTH LINE OF THE PROPERTY OF THE WASHINGTON & LEE APARTMENTS, THENCE, DEPARTING FROM ARLINGTON BOULEVARD AND FOLLOWING LINES COMMON TO SAID APARTMENTS AND THE PROPERTY BEING DESCRIBED: S. 80° 12' 59" W. 97.00 FEET TO A POINT, N. 9° 47' 01" W. 129.66 FEET TO A POINT, AND S. 80° 12' 59" W. 271.63 FEET TO A POINT IN THE EAST SIDE OF NORTH WAYNE STREET, THENCE, WITH SAID SIDE OF SAID STREET, N. 01° 43' 46" W. 242.41 FEET TO A POINT IN THE SOUTH LINE OF NORTH PERSHING DRIVE, SAID POINT BEING ALSO IN THE ORIGINAL CENTER LINE OF OLD GEORGETOWN ROAD, THENCE, FOLLOWING THE SOUTH LINE OF NORTH PERSHING DRIVE AND SAID ORIGINAL CENTER LINE, N. 71° 04' 19" E. 225.48 FEET TO A POINT; THENCE, N. 49° 15' 49" E. 17.75 FEET TO A POINT; THENCE, S. 9° 47' 01" E. 23.69 FEET TO A POINT ON A 228.00 FOOT RADIUS CURVE IN THE NEW SOUTH LINE OF NORTH PERSHING DRIVE, THENCE, ALONG THE ARC OF SAID CURVE TO THE LEFT (THE CHORD OF WHICH BEARS N. 62° 25' 42.5" E FOR A DISTANCE OF 41.51 FEET) 41.57 FEET TO A P.T.; THENCE, N. 57° 26' 29" E. 25.32 FEET TO A POINT IN THE NEW WEST LINE OF ARLINGTON BOULEVARD; THENCE, S. 30° 32' 01" E. 97.29 FEET TO AN ANGLE POINT; THENCE, WITH THE WEST LINE OF ARLINGTON BOULEVARD, S. 9° 47' 01" E. 323.59 FEET TO THE POINT AND PLACE OF BEGINNING CONTAINING 103,566 SQUARE FEET OR 2.3775 ACRES.

Bowman

CHECKED: STL
DRAWN: MG
DATE: 08/02/2022

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ARVA APARTMENTS

2201 ARLINGTON BLVD.
ARLINGTON VA 22011

4.1 PRELIMINARY SITE PLAN
ARLINGTON COUNTY, VIRGINIA



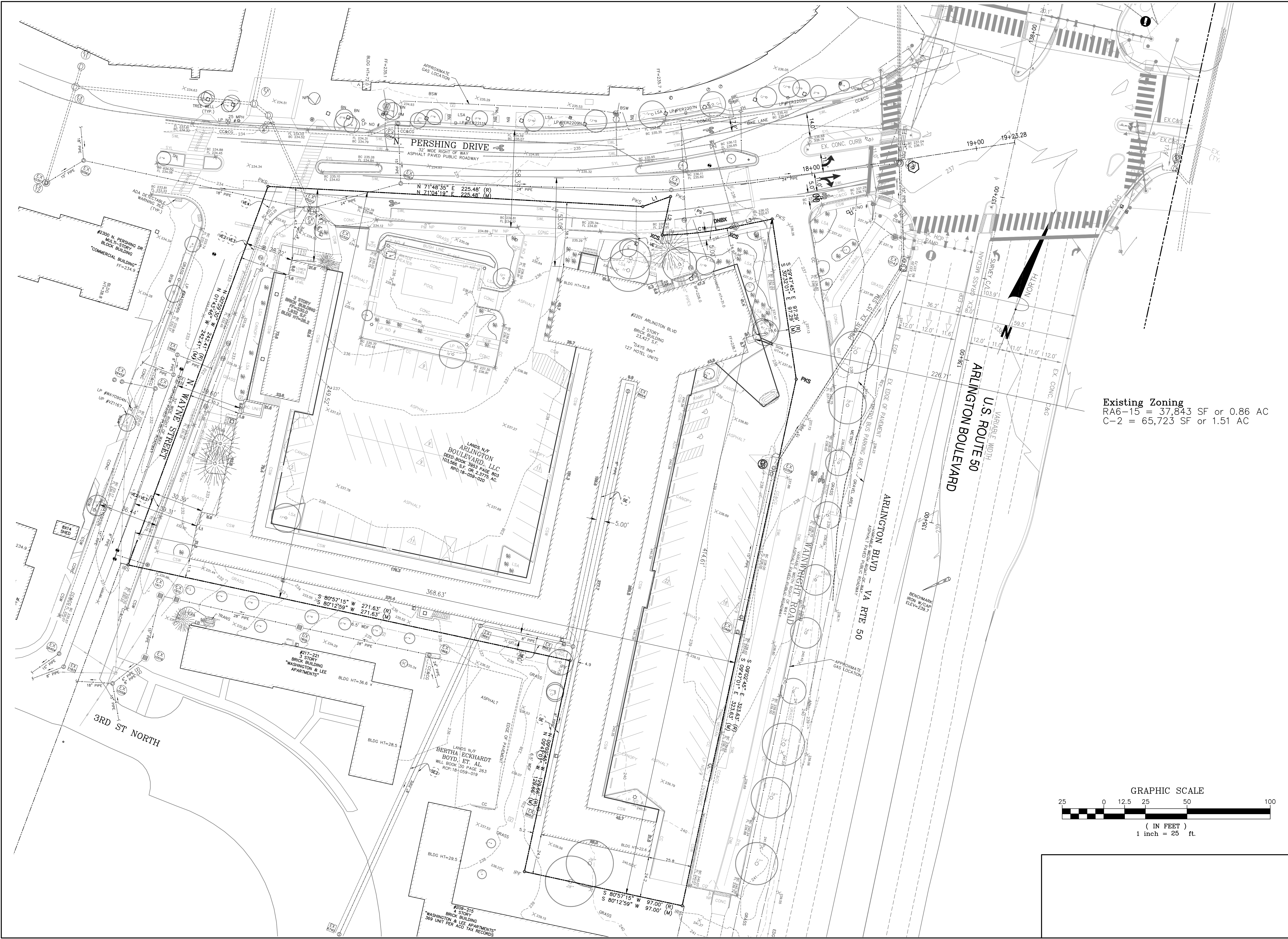
SUBMISSIONS

NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	8/02/2022

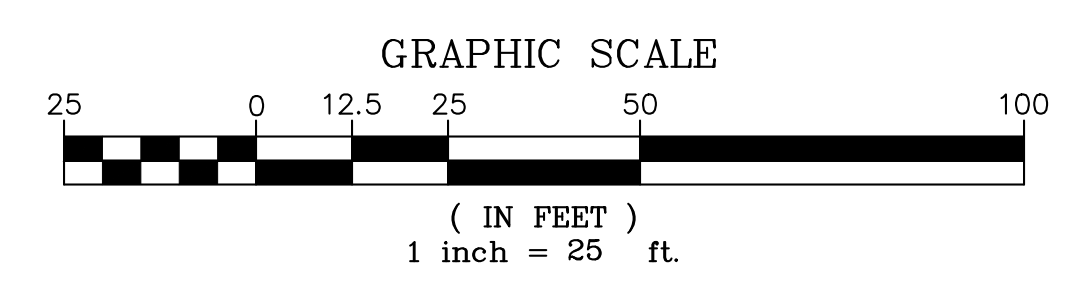
SCALE: N/A

SHEET TITLE:
ABBREVIATIONS AND LEGEND

SHEET #: C02.00



Existing Zoning
 RA6-15 = 37,843 SF or 0.86 AC
 C-2 = 65,723 SF or 1.51 AC



Bowman

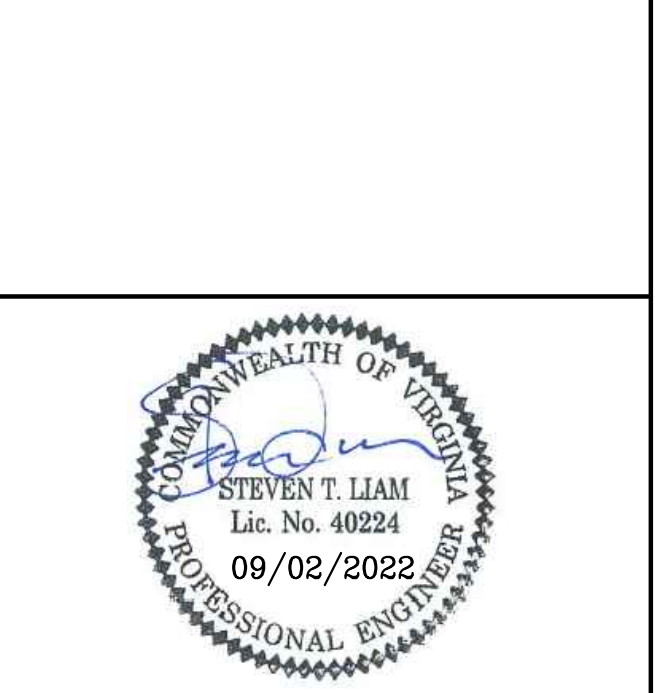
Checked: STL
 Drawn: MG
 Date: 04/02/2022

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ARVA APARTMENTS

2201 ARLINGTON BLVD.
 ARLINGTON VA 22011

4.1 PRELIMINARY SITE PLAN
 ARLINGTON COUNTY, VIRGINIA



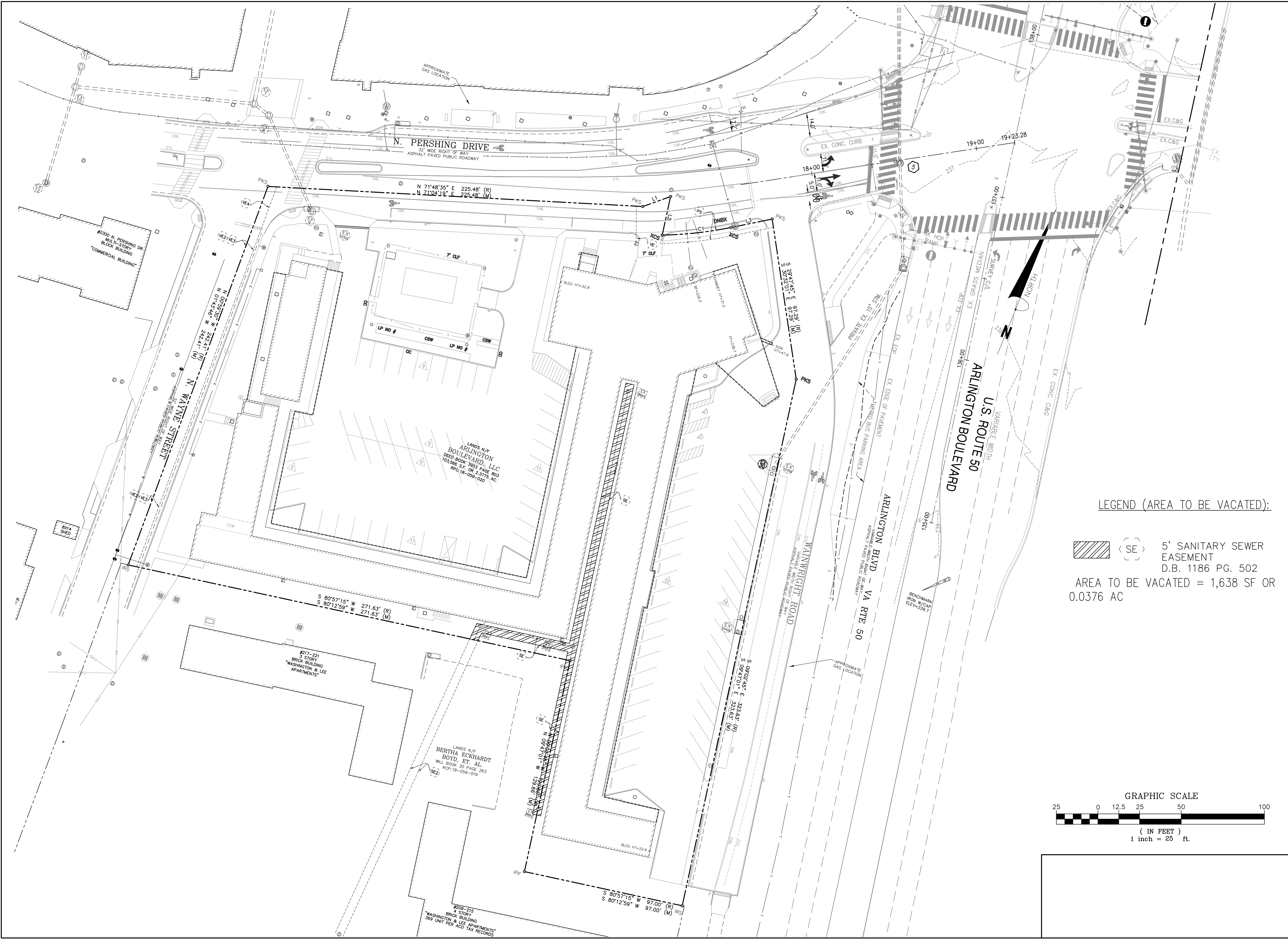
SUBMISSIONS

NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'

SHEET TITLE:
OVERALL CERTIFIED SURVEY

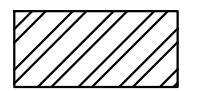
SHEET #: C02.10

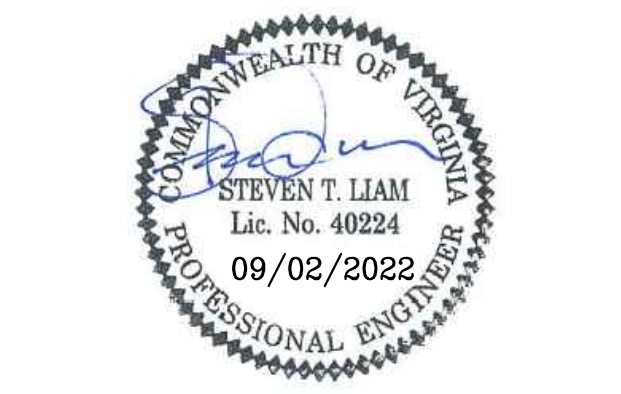
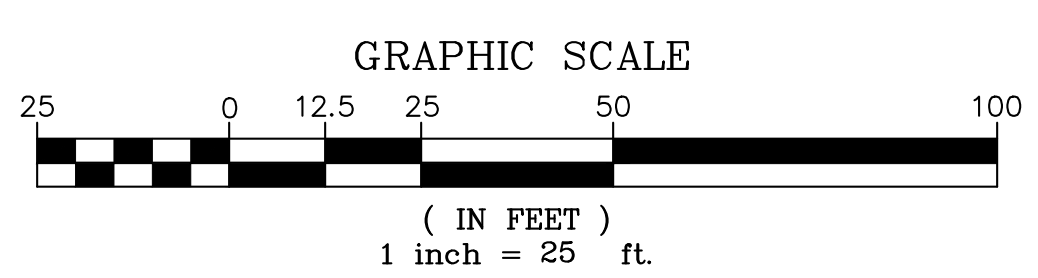


ARVA APARTMENTS

2201 ARLINGTON BLVD.
 ARLINGTON VA 2201
 4.1 PRELIMINARY SITE PLAN
 ARLINGTON COUNTY, VIRGINIA

LEGEND (AREA TO BE VACATED):

 (SE) 5' SANITARY SEWER EASEMENT
 D.B. 1186 PG. 502
 AREA TO BE VACATED = 1,638 SF OR 0.0376 AC

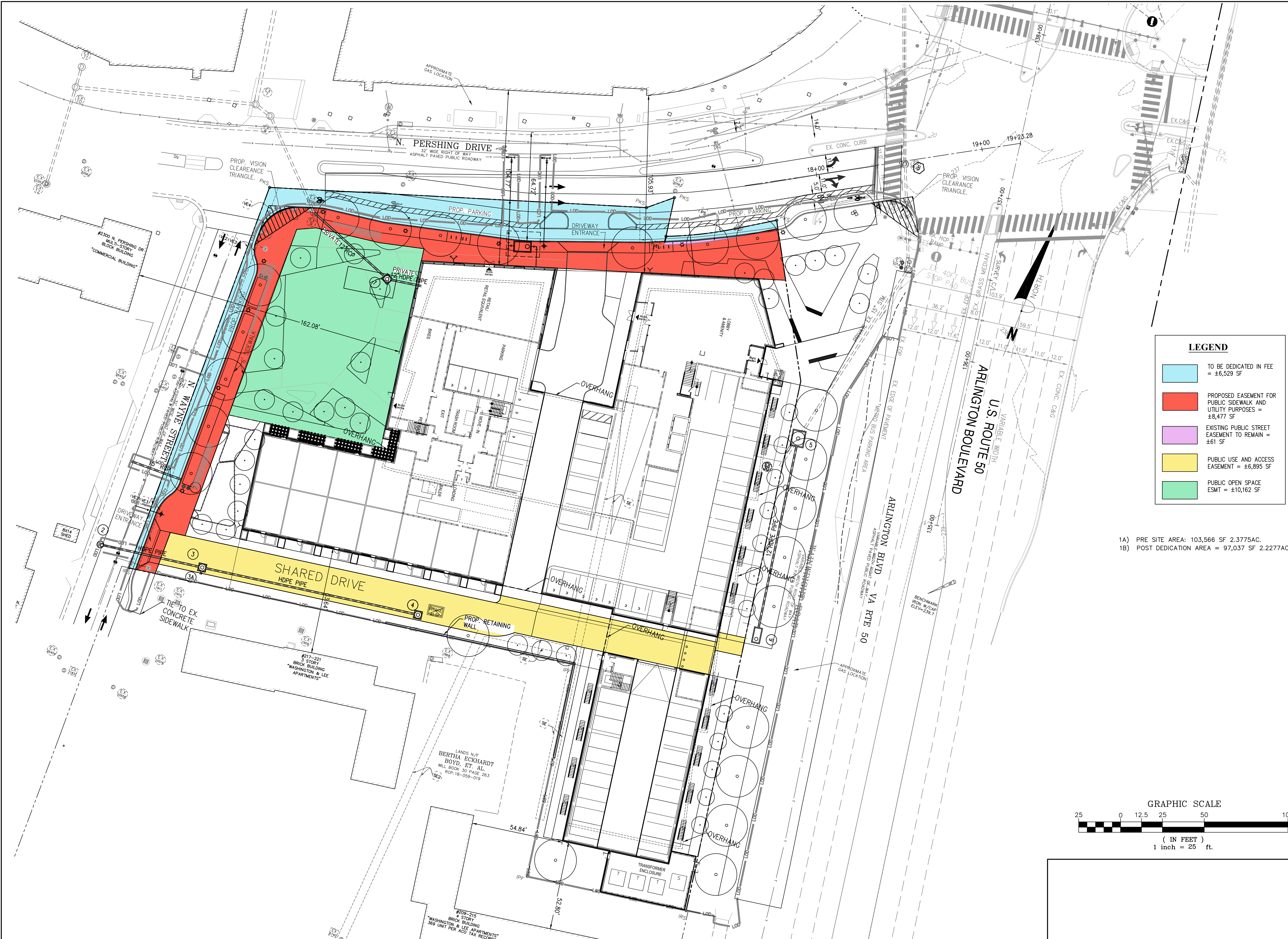


SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'

SHEET TITLE:
VACATION EASEMENT EXHIBIT

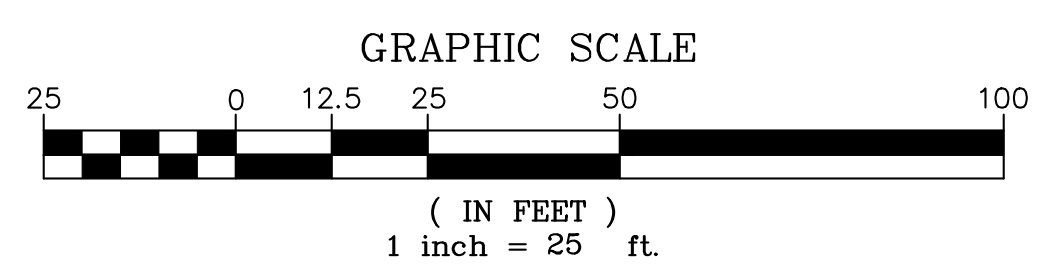
SHEET #: C03.00



LEGEND

- TO BE DEDICATED IN FEE = ±6,529 SF
- PROPOSED EASEMENT FOR PUBLIC SIDEWALK AND UTILITY PURPOSES = ±8,477 SF
- EXISTING PUBLIC STREET EASEMENT TO REMAIN = ±61 SF
- PUBLIC USE AND ACCESS EASEMENT = ±6,895 SF
- PUBLIC OPEN SPACE ESMT = ±10,162 SF

1A) PRE SITE AREA: 103,566 SF 2.3775AC.
 1B) POST DEDICATION AREA = 97,037 SF 2.2277AC.



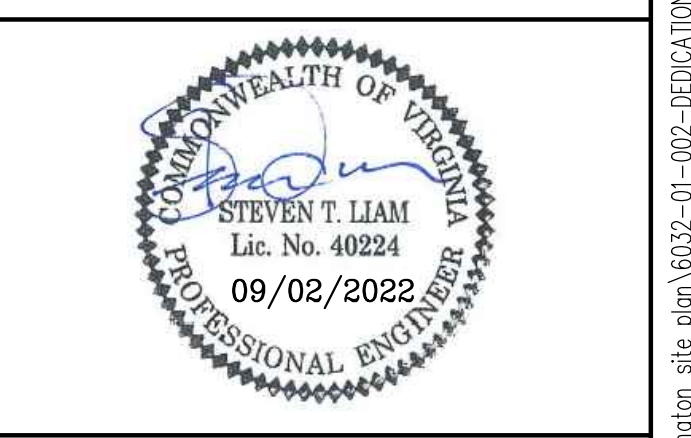
Bowman

DRAWN: MG
 CHECKED: STL
 DATE: 04/02/2022

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 ARLINGTON COUNTY, VIRGINIA



SUBMISSIONS

NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'

SHEET TITLE:
 DEDICATION EASEMENT EXHIBIT

SHEET #:
 C03.10

ARVA APARTMENTS

2201 ARLINGTON BLVD.
ARLINGTON VA 2201
4.1 PRELIMINARY SITE PLAN
ARLINGTON COUNTY, VIRGINIA

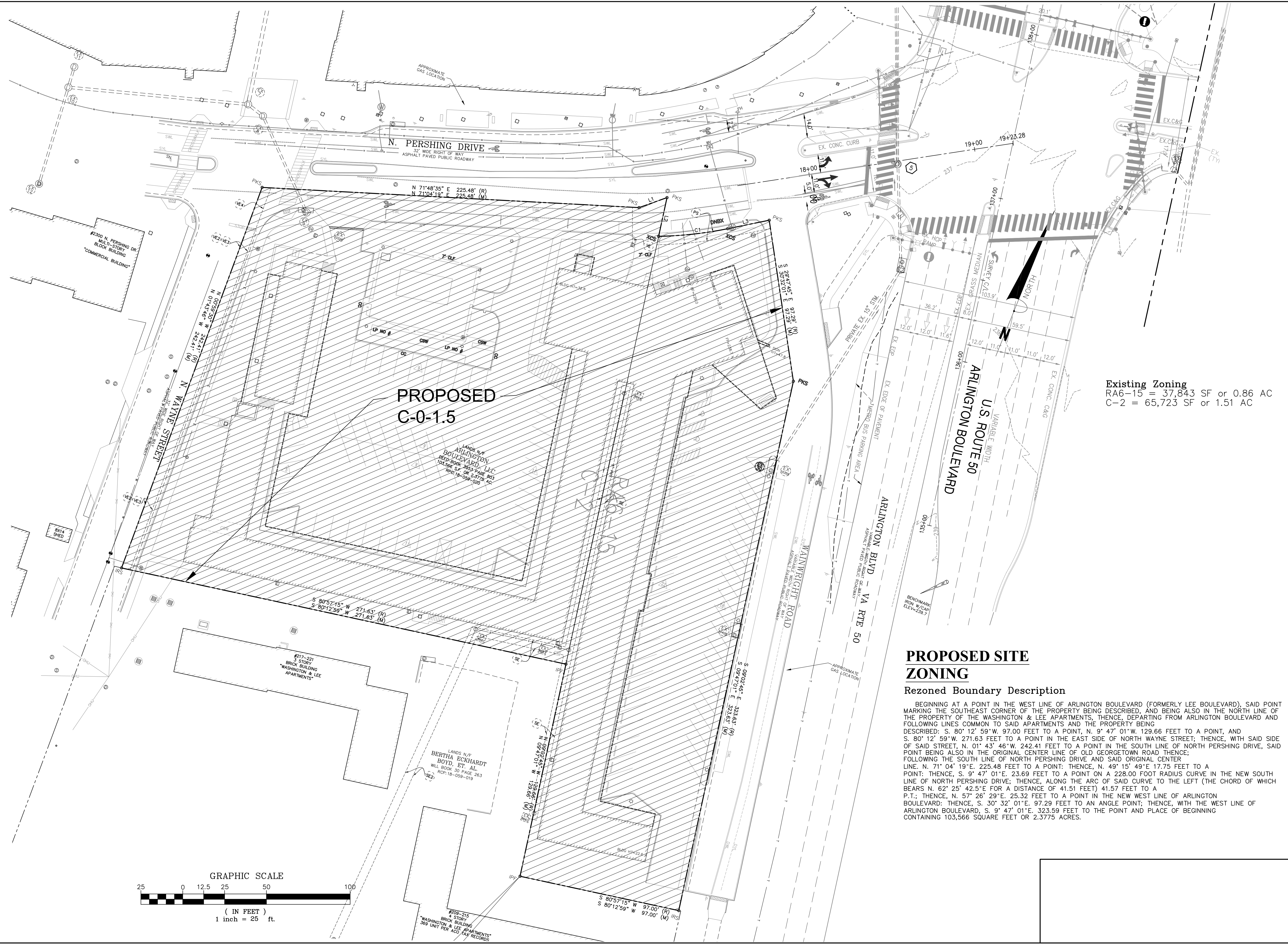
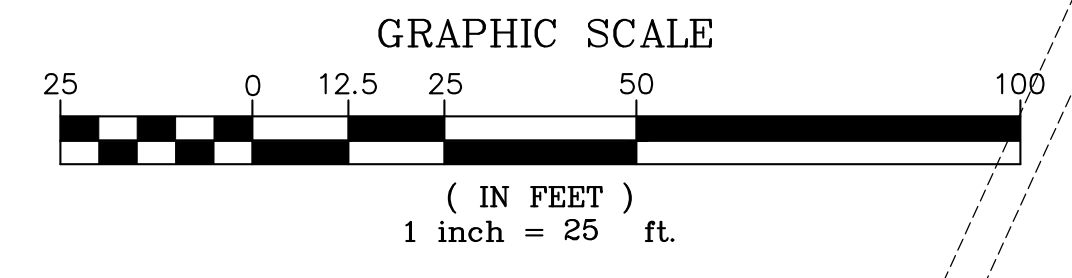


PROPOSED SITE ZONING

Rezoned Boundary Description

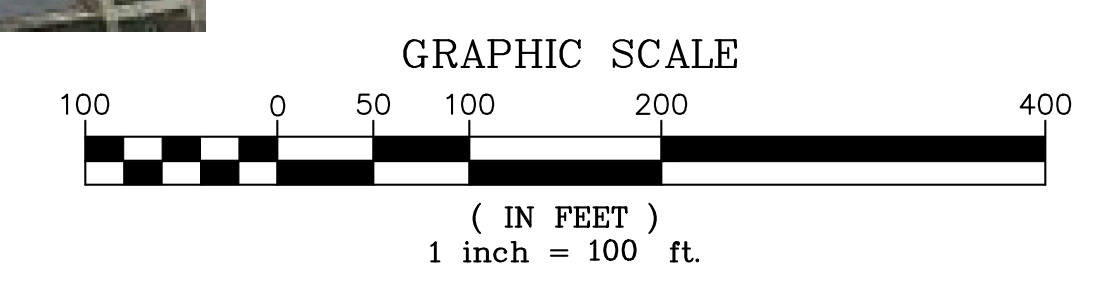
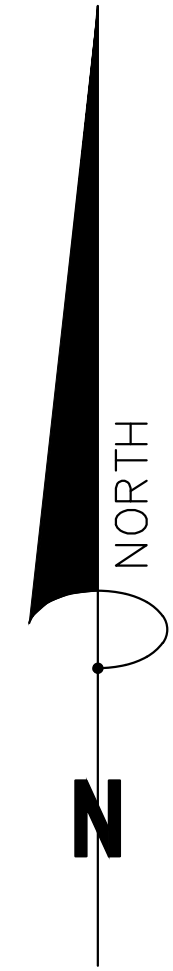
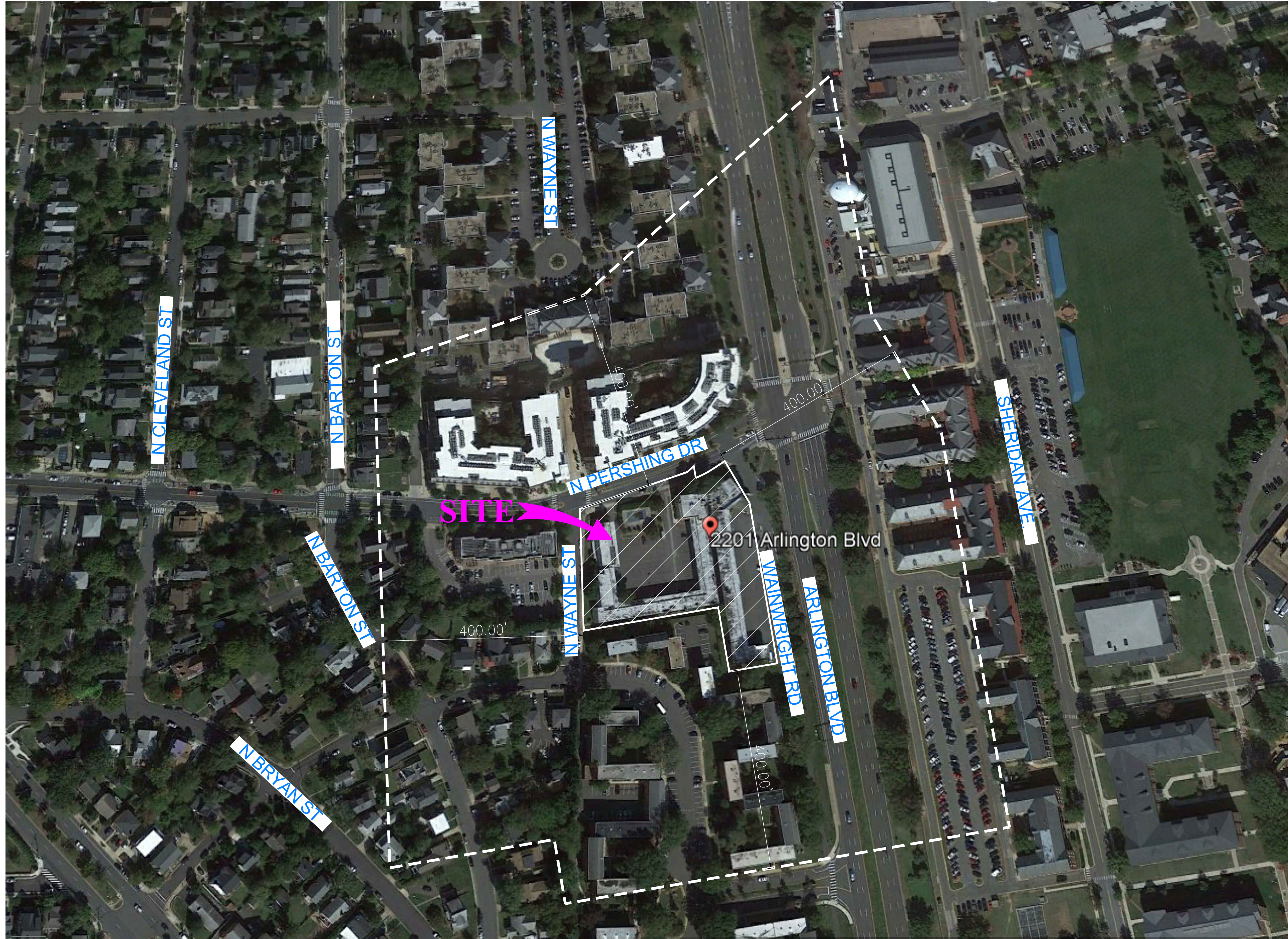
BEGINNING AT A POINT IN THE WEST LINE OF ARLINGTON BOULEVARD (FORMERLY LEE BOULEVARD), SAID POINT MARKING THE SOUTHEAST CORNER OF THE PROPERTY BEING DESCRIBED, AND BEING ALSO IN THE NORTH LINE OF THE PROPERTY OF THE WASHINGTON & LEE APARTMENTS, THENCE, DEPARTING FROM ARLINGTON BOULEVARD AND FOLLOWING LINES COMMON TO SAID APARTMENTS AND THE PROPERTY BEING DESCRIBED: S. 80° 12' 59" W. 97.00 FEET TO A POINT, N. 9° 47' 01" W. 129.66 FEET TO A POINT, AND S. 80° 12' 59" W. 271.63 FEET TO A POINT IN THE EAST SIDE OF NORTH WAYNE STREET; THENCE, WITH SAID SIDE OF SAID STREET, N. 01° 43' 46" W. 242.41 FEET TO A POINT IN THE SOUTH LINE OF NORTH PERSHING DRIVE, SAID POINT BEING ALSO IN THE ORIGINAL CENTER LINE OF OLD GEORGETOWN ROAD THENCE; FOLLOWING THE SOUTH LINE OF NORTH PERSHING DRIVE AND SAID ORIGINAL CENTER LINE, N. 71° 04' 19" E. 225.48 FEET TO A POINT; THENCE, N. 49° 15' 49" E. 17.75 FEET TO A POINT; THENCE, S. 9° 47' 01" E. 23.69 FEET TO A POINT ON A 228.00 FOOT RADIUS CURVE IN THE NEW SOUTH LINE OF NORTH PERSHING DRIVE; THENCE, ALONG THE ARC OF SAID CURVE TO THE LEFT (THE CHORD OF WHICH BEARS N. 62° 25' 42.5" E FOR A DISTANCE OF 41.51 FEET) 41.57 FEET TO A P.T.; THENCE, N. 57° 26' 29" E. 25.32 FEET TO A POINT IN THE NEW WEST LINE OF ARLINGTON BOULEVARD; THENCE, S. 30° 32' 01" E. 97.29 FEET TO AN ANGLE POINT; THENCE, WITH THE WEST LINE OF ARLINGTON BOULEVARD, S. 9° 47' 01" E. 323.59 FEET TO THE POINT AND PLACE OF BEGINNING CONTAINING 103,566 SQUARE FEET OR 2.3775 ACRES.

Existing Zoning
RA6-15 = 37,843 SF or 0.86 AC
C-2 = 65,723 SF or 1.51 AC



SCALE: 1"=25'
SHEET TITLE:
REZONING PLAT
SHEET #: C03.20

SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022



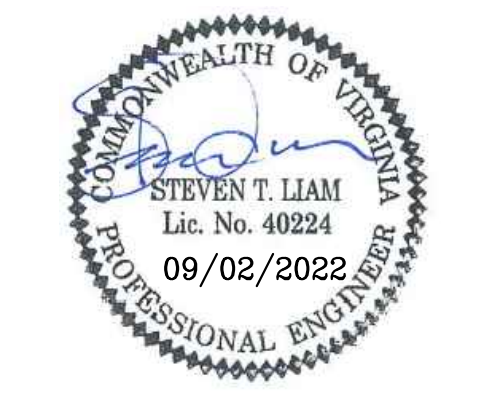
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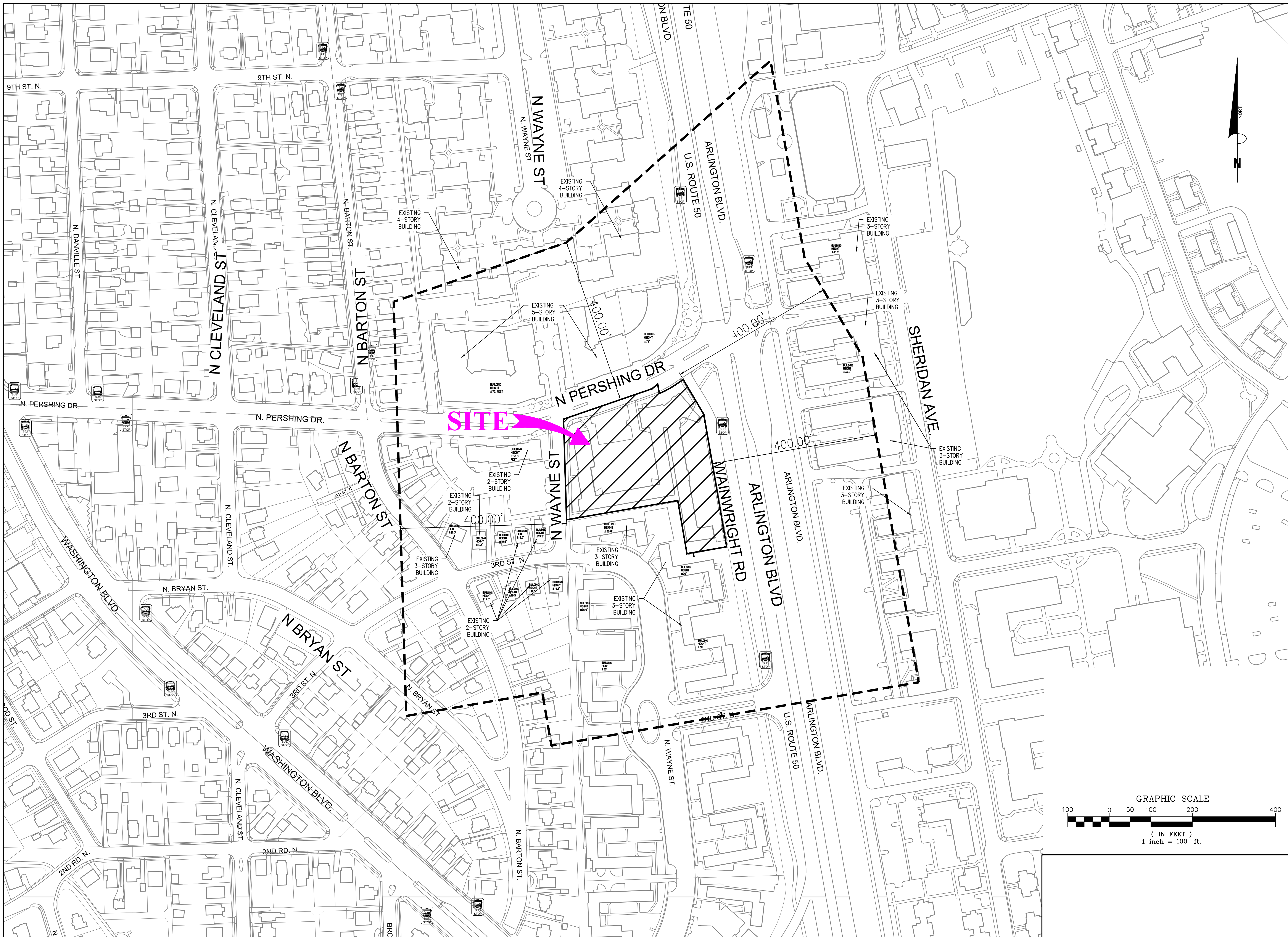
ARVA APARTMENTS

2201 ARLINGTON BLVD.
 ARLINGTON VA 2201
 4.1 PRELIMINARY SITE PLAN
 ARLINGTON COUNTY, VIRGINIA



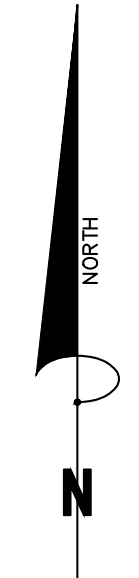
SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	6/10/2022
2	100% SD	6/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=100'
 SHEET TITLE:
 AERIAL PHOTO
 SHEET #: C04.00



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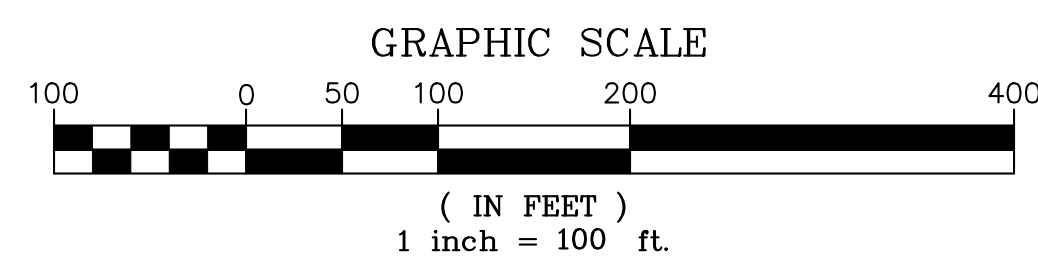


ARVA APARTMENTS

2201 ARLINGTON BLVD.
 ARLINGTON VA 2201
 4.1 PRELIMINARY SITE PLAN
 ARLINGTON COUNTY, VIRGINIA



SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022



SCALE: 1"=100'

SHEET TITLE:
 CONTEXTUAL PLAN

SHEET #:
 C04.10

ARVA APARTMENTS

2201 ARLINGTON BLVD.
 ARLINGTON VA 2201
 4.1 PRELIMINARY SITE PLAN
 ARLINGTON COUNTY, VIRGINIA



NOTES:
 1. NO LOCAL HISTORIC DISTRICTS ARE LOCATED ON THE SITE.
 2. NO RPA IS LOCATED ON THE SITE.

SITE AREA=103,5600 S.F. OR 2.3775 AC.

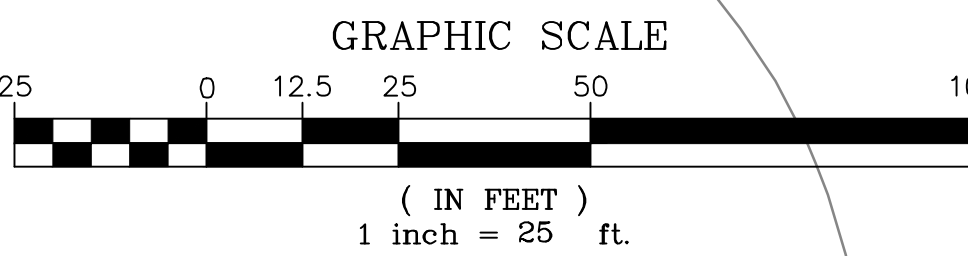
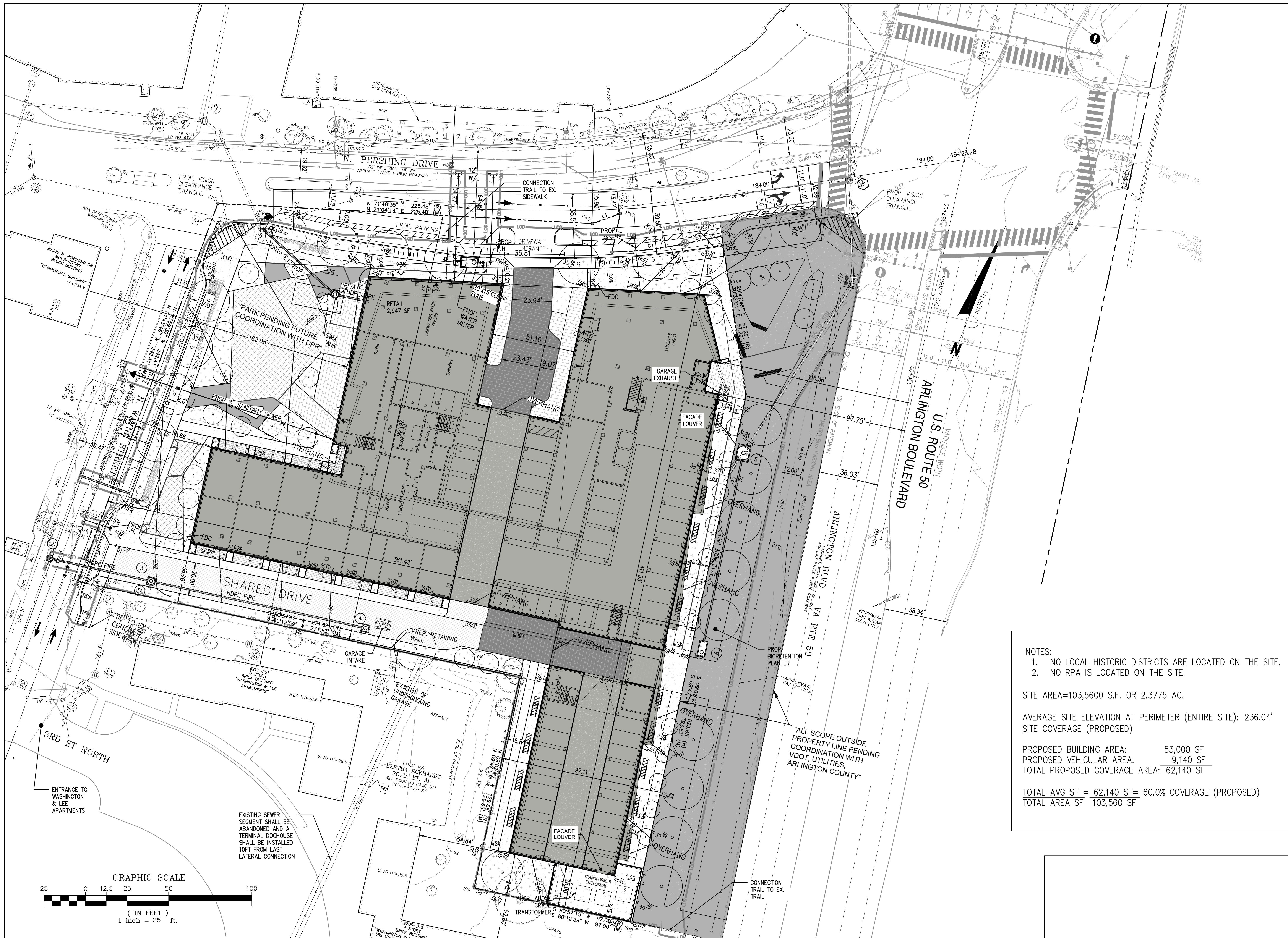
AVERAGE SITE ELEVATION AT PERIMETER (ENTIRE SITE): 236.04'
 SITE COVERAGE (PROPOSED)

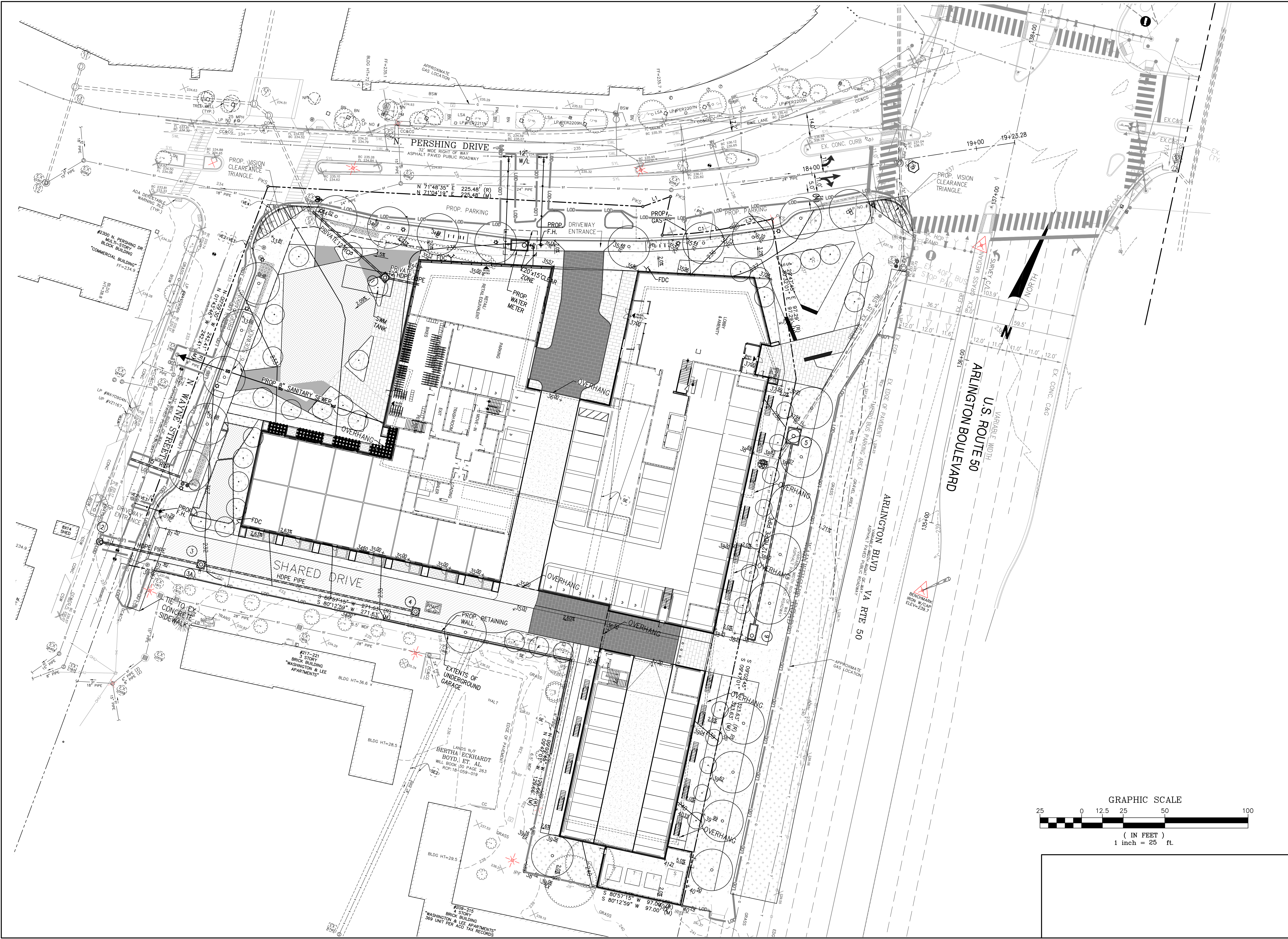
PROPOSED BUILDING AREA: 53,000 SF
 PROPOSED VEHICULAR AREA: 9,140 SF
 TOTAL PROPOSED COVERAGE AREA: 62,140 SF

TOTAL AVG SF = 62,140 SF = 60.0% COVERAGE (PROPOSED)
 TOTAL AREA SF 103,560 SF

SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/11/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'
 SHEET TITLE:
 PLOT AND LOCATION PLAN
 SHEET #: C05.00



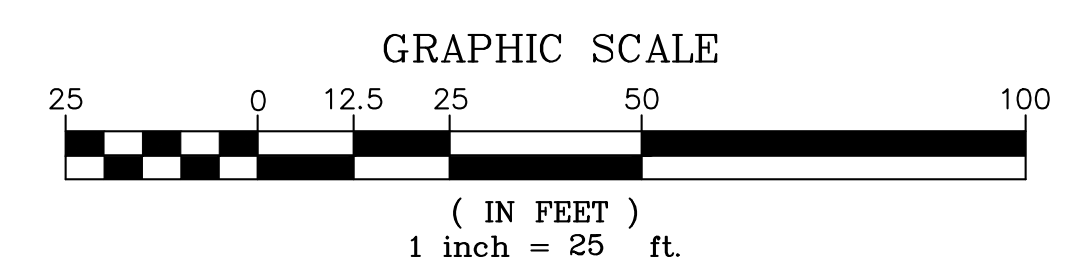


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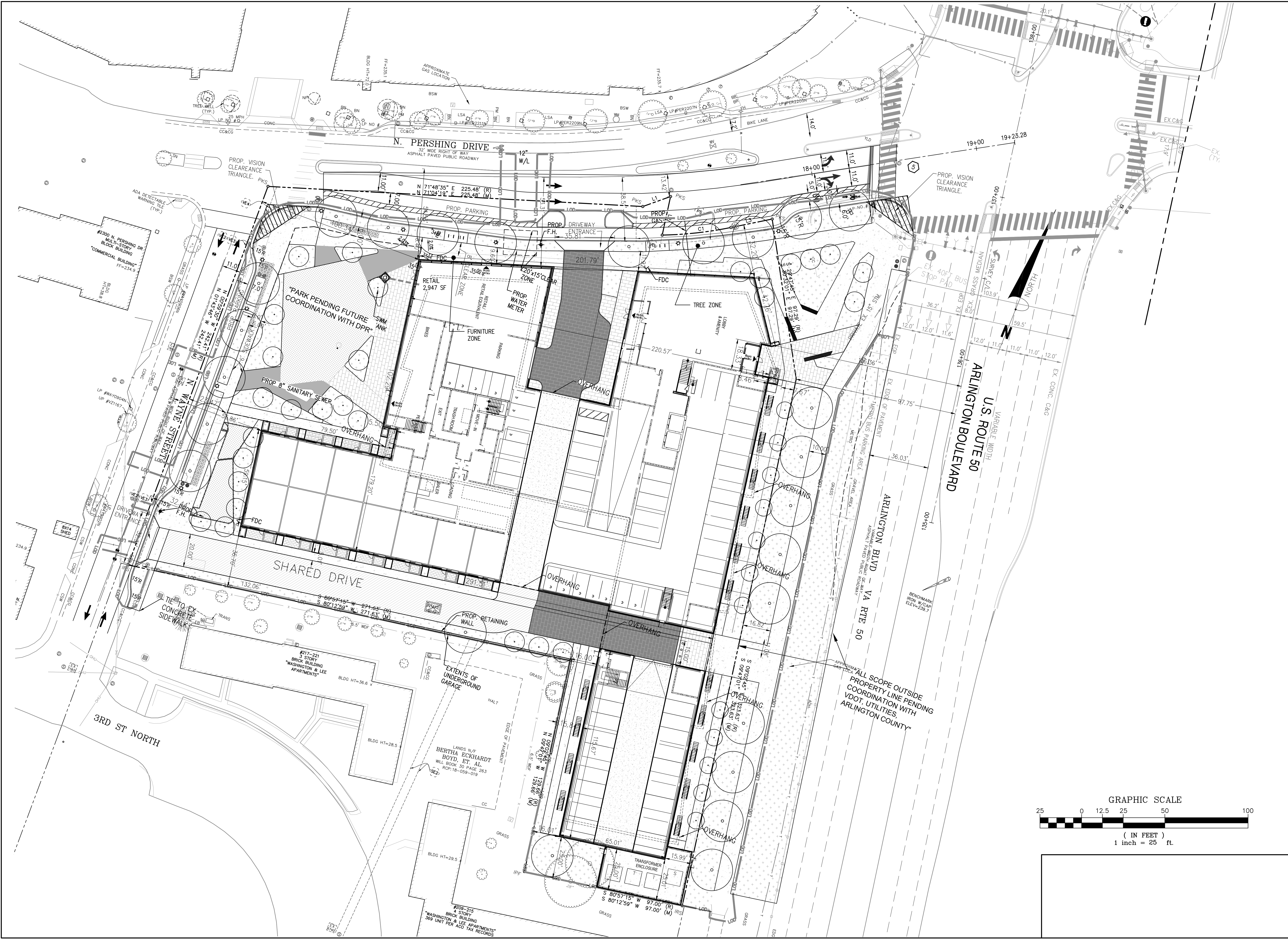
ARVA APARTMENTS

2201 ARLINGTON BLVD.
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 4.1 PRELIMINARY SITE PLAN
 ARLINGTON COUNTY, VIRGINIA



SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'
 SHEET TITLE:
 GRADING PLAN
 SHEET #: C05.10



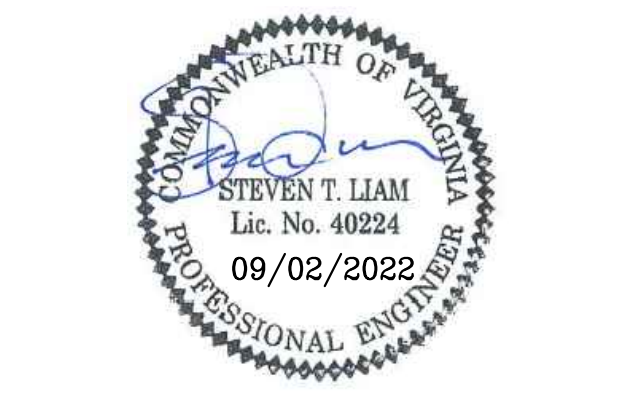
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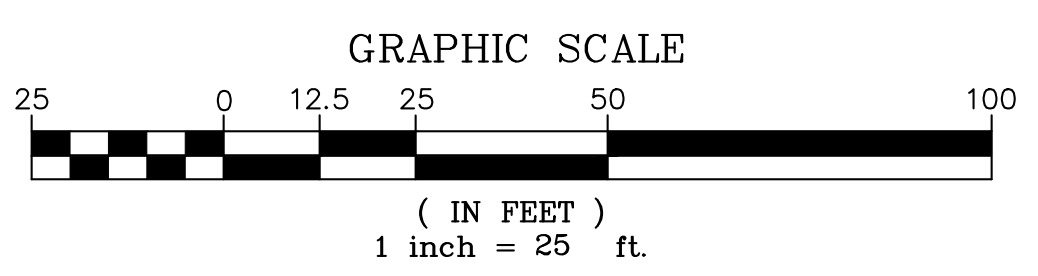
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 ARLINGTON COUNTY, VIRGINIA



SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/11/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

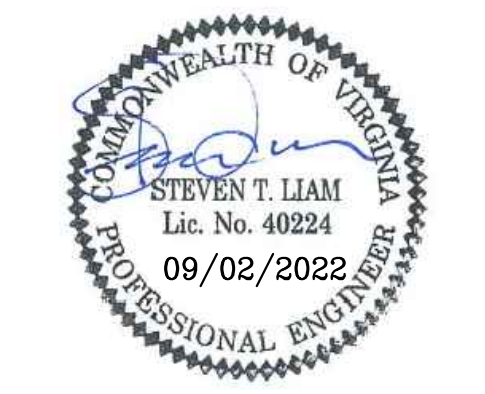


SCALE: 1"=25'
 SHEET TITLE:
 PRESENTATION PLAN
 SHEET #: C06.00

P:\6032 - Days Inn\6032-01-002 (ENR) - 2201 Arlington Boulevard\Engineering\Plans\4.1 Days Inn Arlington Site Plan\6032-01-002-PRESENTATION PLAN.dwg

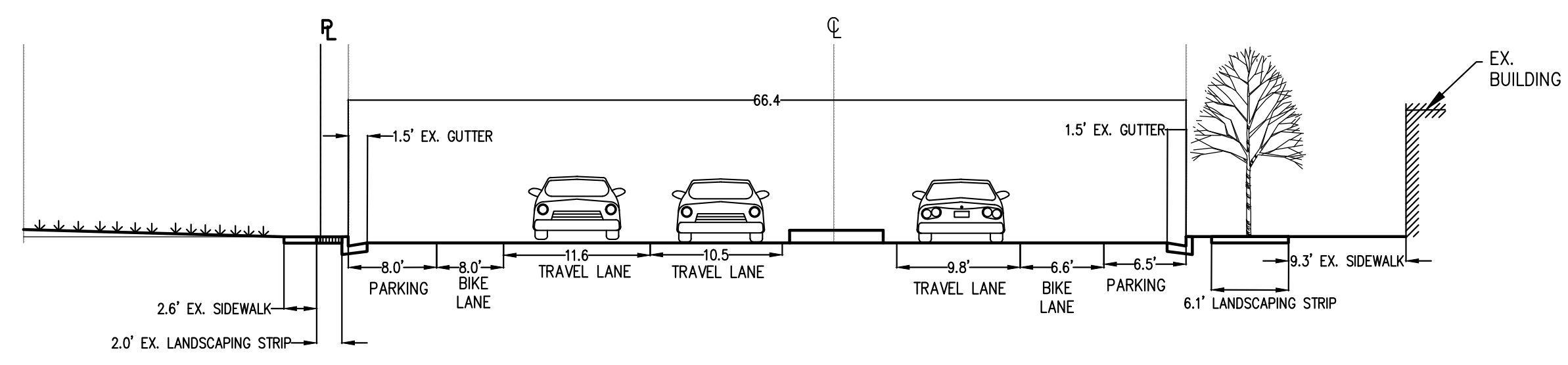
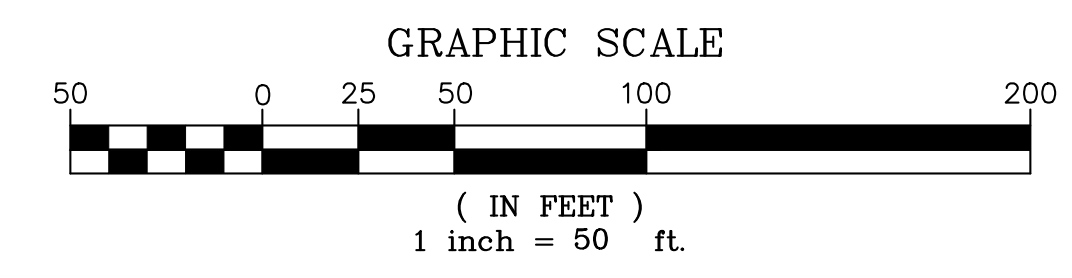
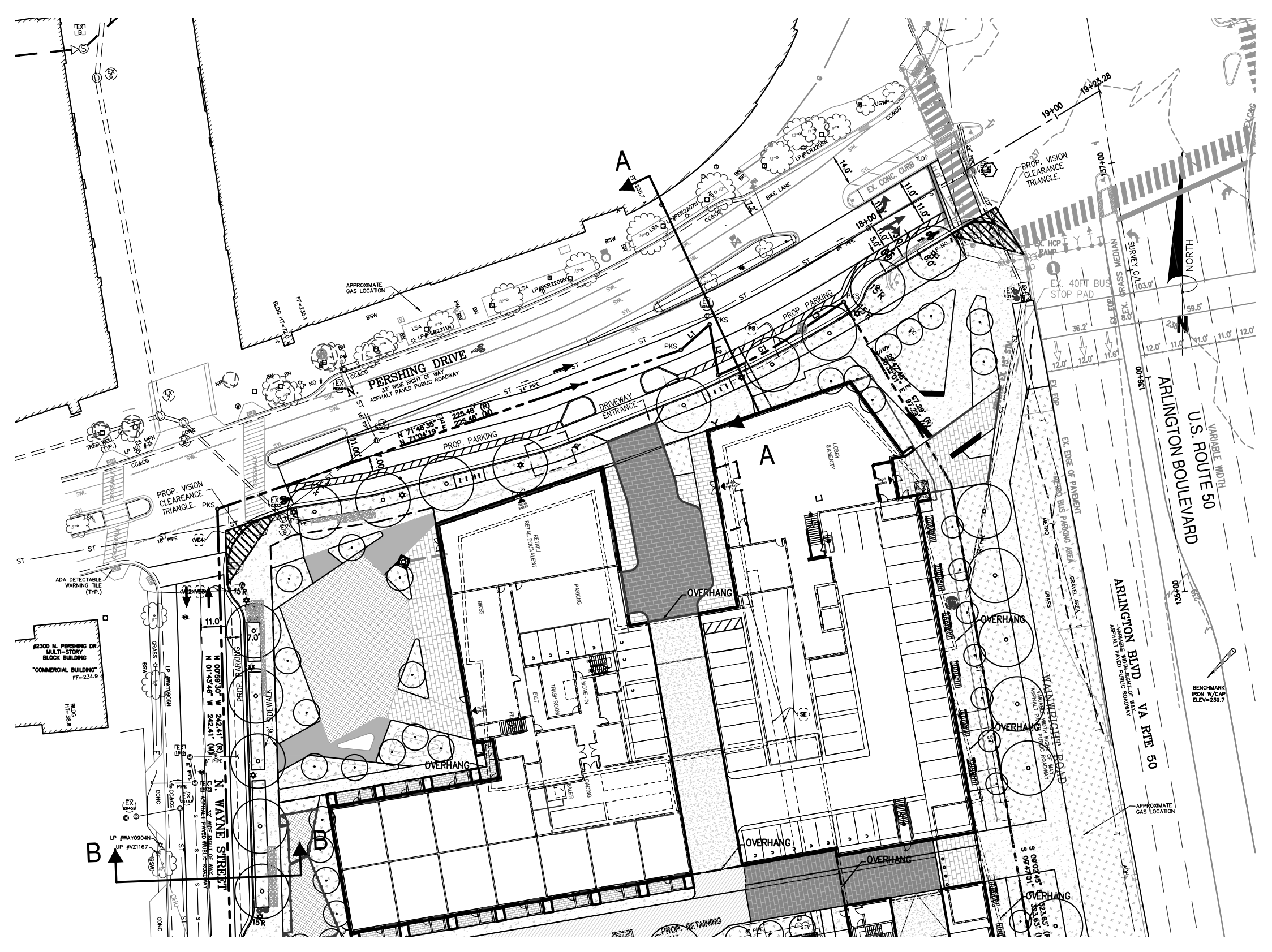
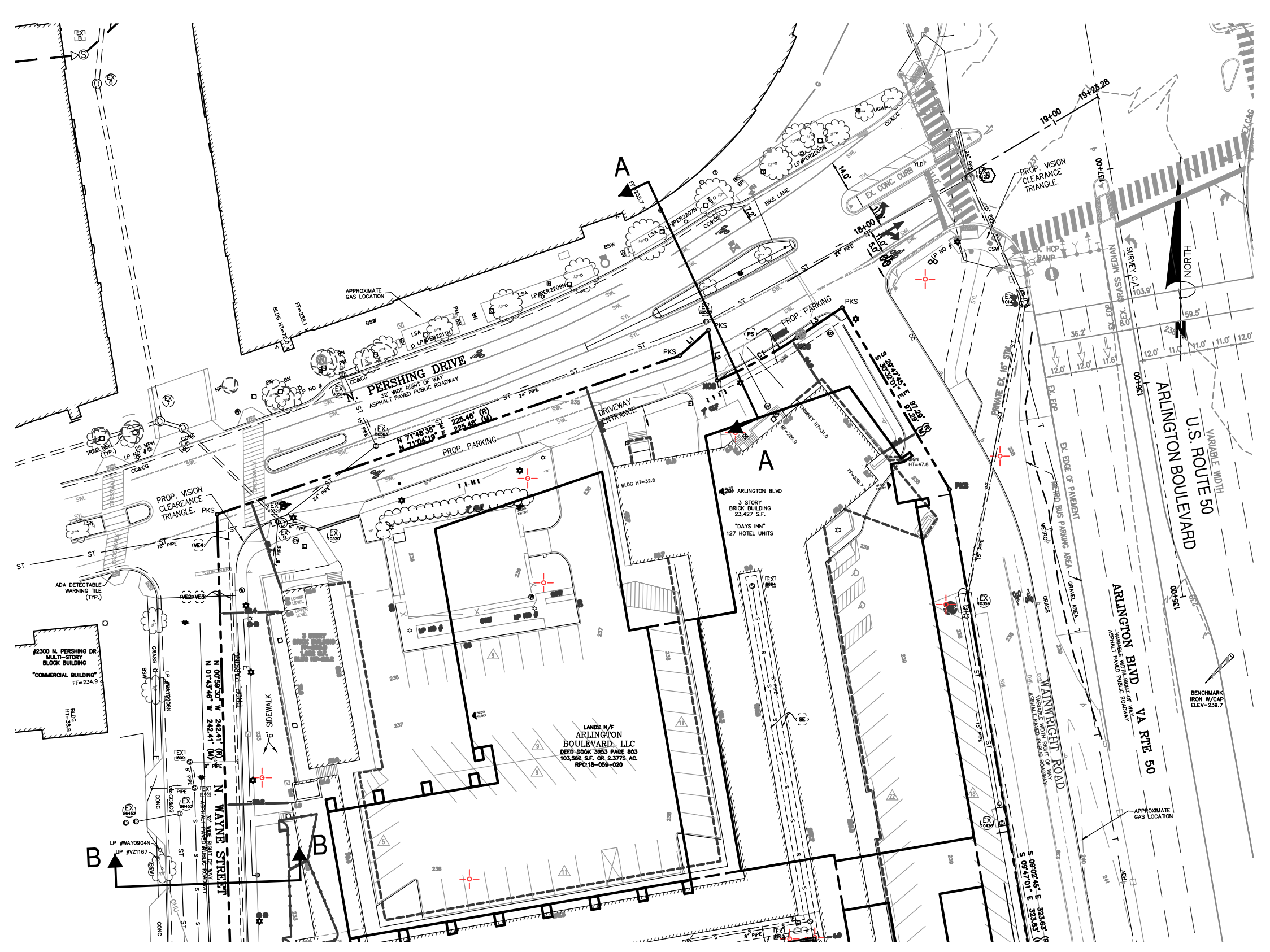
ARVA APARTMENTS

2201 ARLINGTON BLVD.
 ARLINGTON VA 2201
 4.1 PRELIMINARY SITE PLAN
 ARLINGTON COUNTY, VIRGINIA

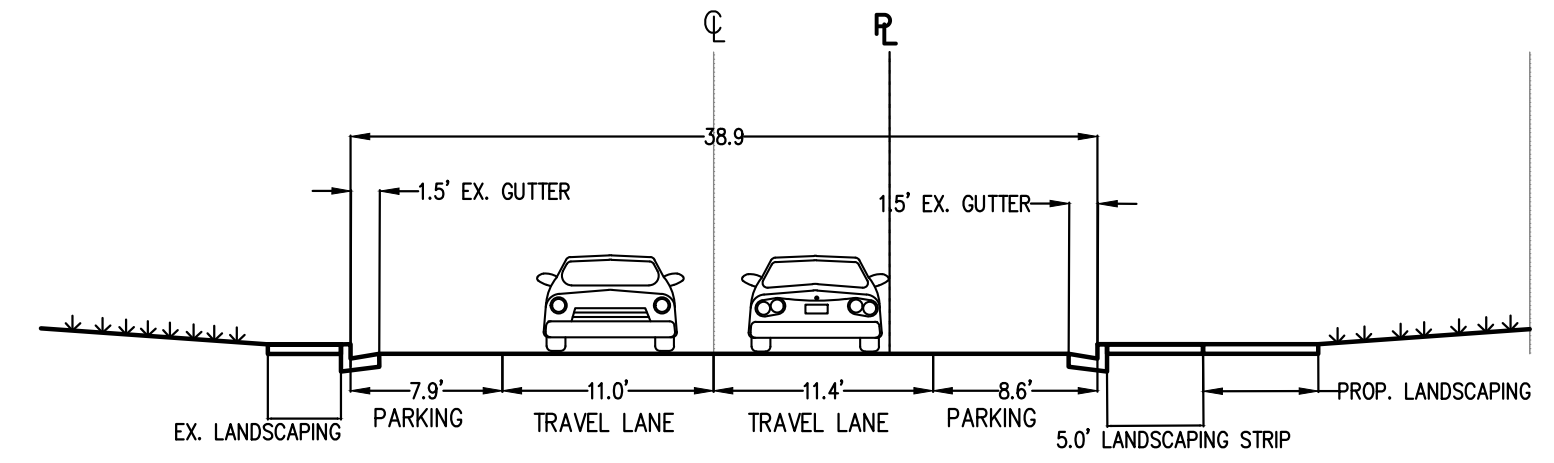


SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

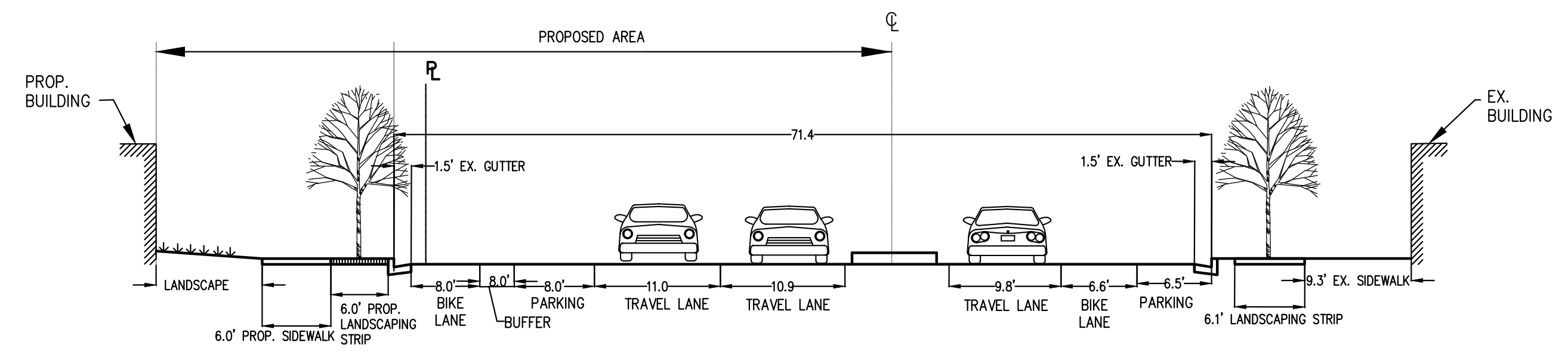
SCALE: 1"=25'
 SHEET TITLE:
 STREET CROSS SECTIONS
 SHEET #: C07.00



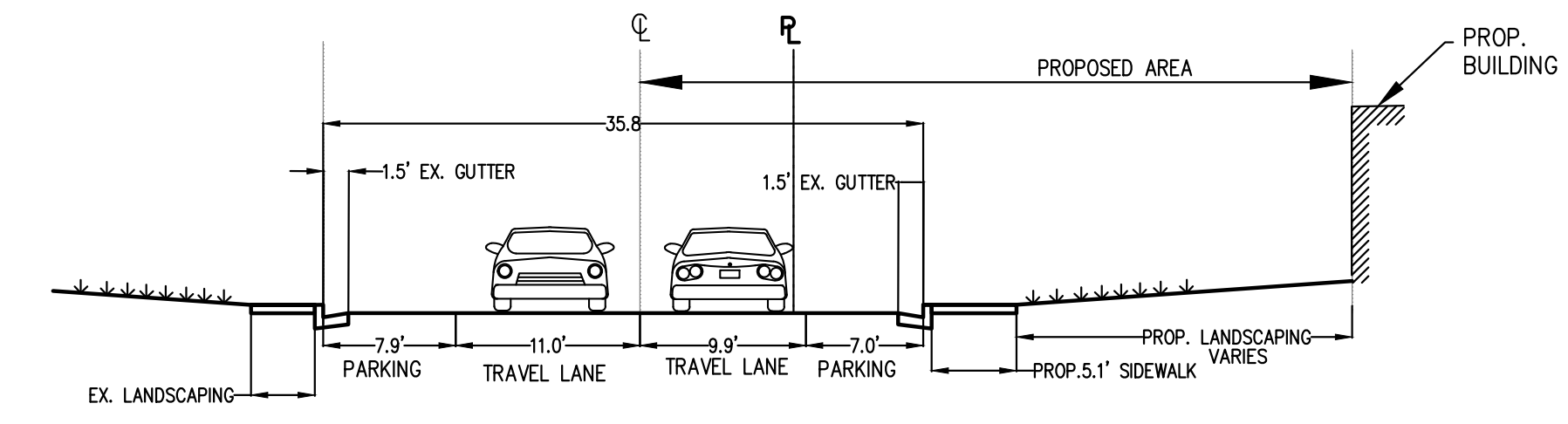
EXISTING "N. PERSHING DRIVE" CROSS SECTION A-A
 LOOKING WEST
 SCALE: 1"=10'



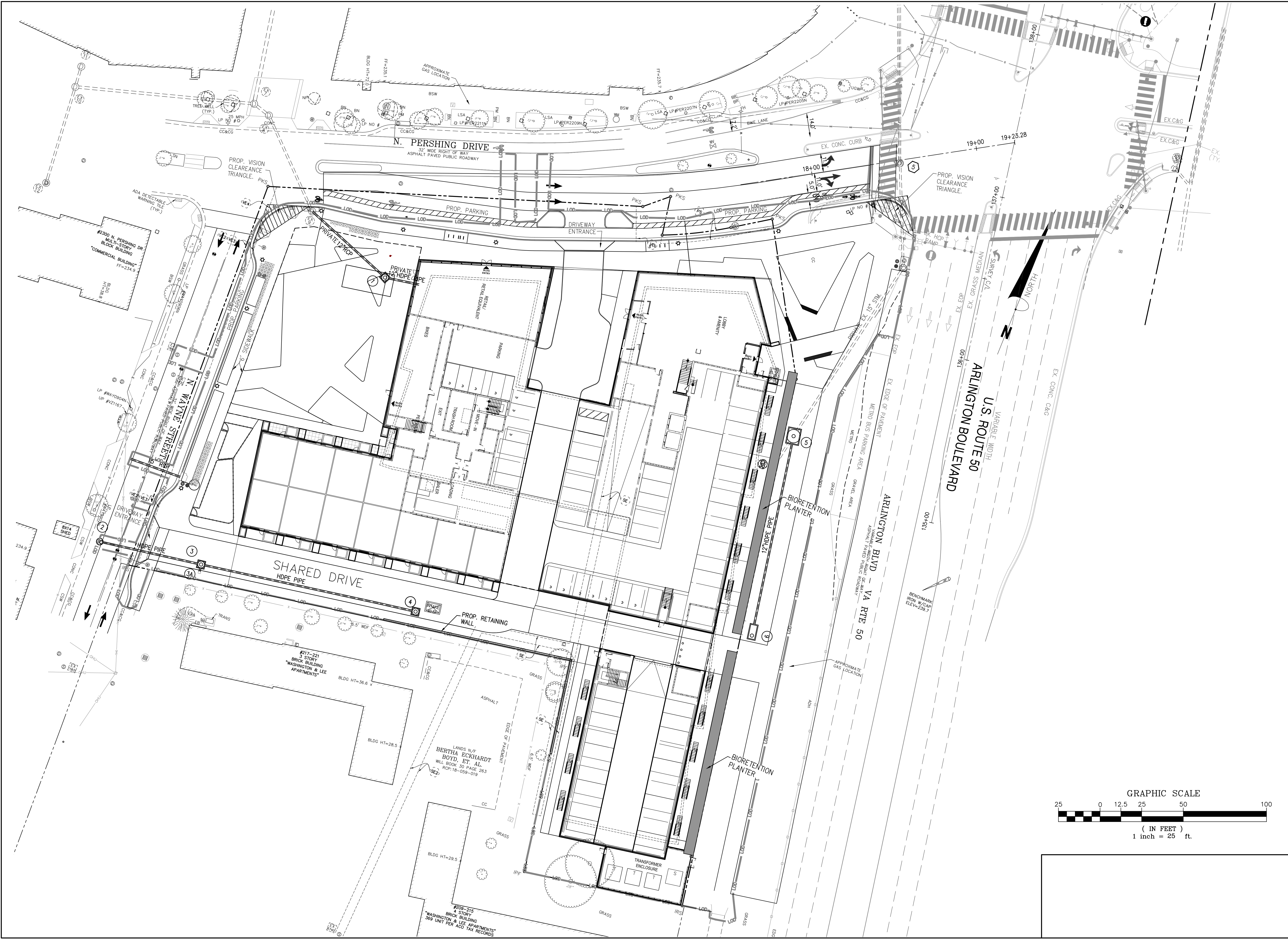
EXISTING "NORTH WAYNE STREET" CROSS SECTION B-B
 LOOKING NORTH
 SCALE: 1"=10'



PROPOSED "N. PERSHING DRIVE" CROSS SECTION A-A
 LOOKING WEST
 SCALE: 1"=10'



PROPOSED "NORTH WAYNE STREET" CROSS SECTION B-B
 LOOKING NORTH
 SCALE: 1"=10'



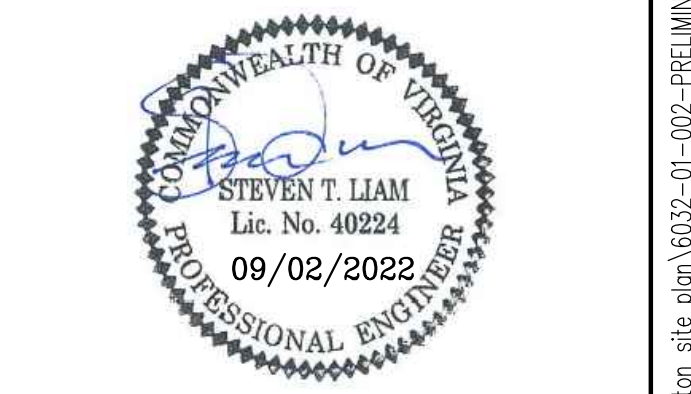
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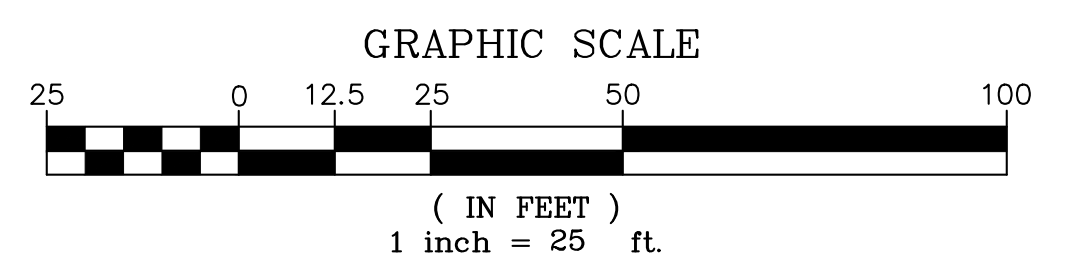
ARVA APARTMENTS

2201 ARLINGTON BLVD.
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 4.1 PRELIMINARY SITE PLAN
 ARLINGTON COUNTY, VIRGINIA



SUBMISSIONS

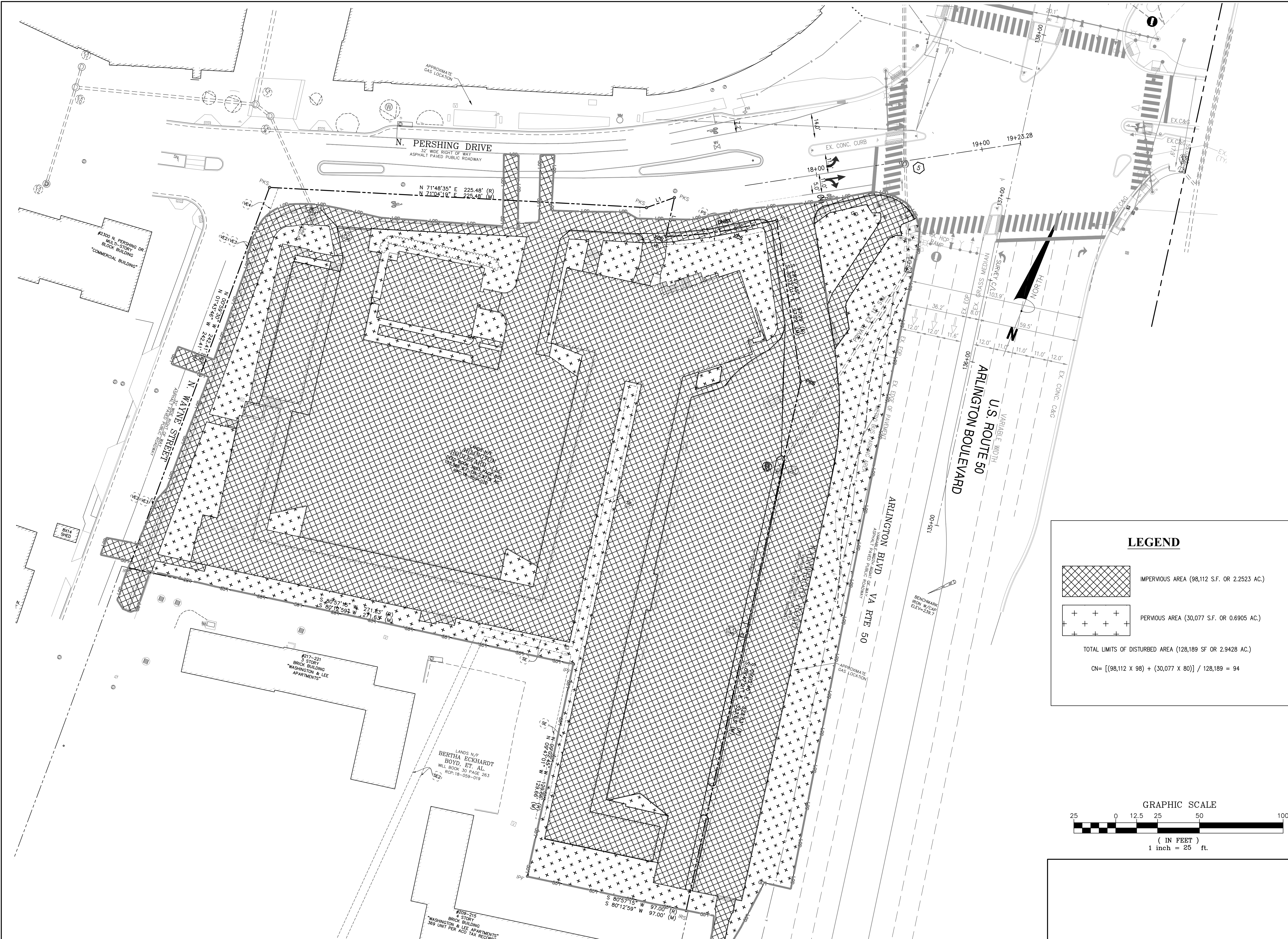
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022



SCALE: 1"=25'

SHEET TITLE:
 PRELIMINARY STORMWATER MANAGEMENT

SHEET #: C08.00



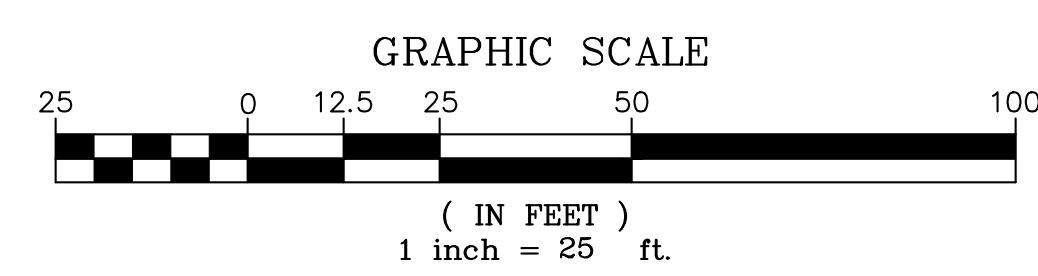
LEGEND

IMPERVIOUS AREA (98,112 S.F. OR 2.2523 AC.)

PERVIOUS AREA (30,077 S.F. OR 0.6905 AC.)

TOTAL LIMITS OF DISTURBED AREA (128,189 SF OR 2.9428 AC.)

$CN = [(98,112 \times 98) + (30,077 \times 80)] / 128,189 = 94$



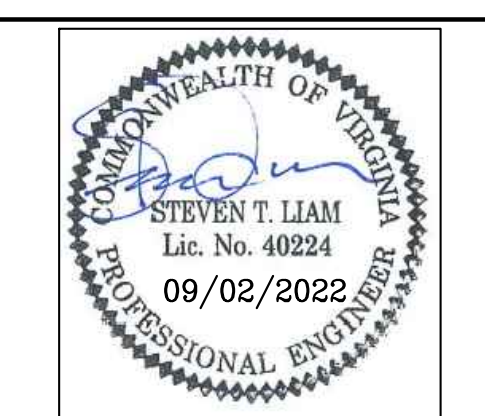
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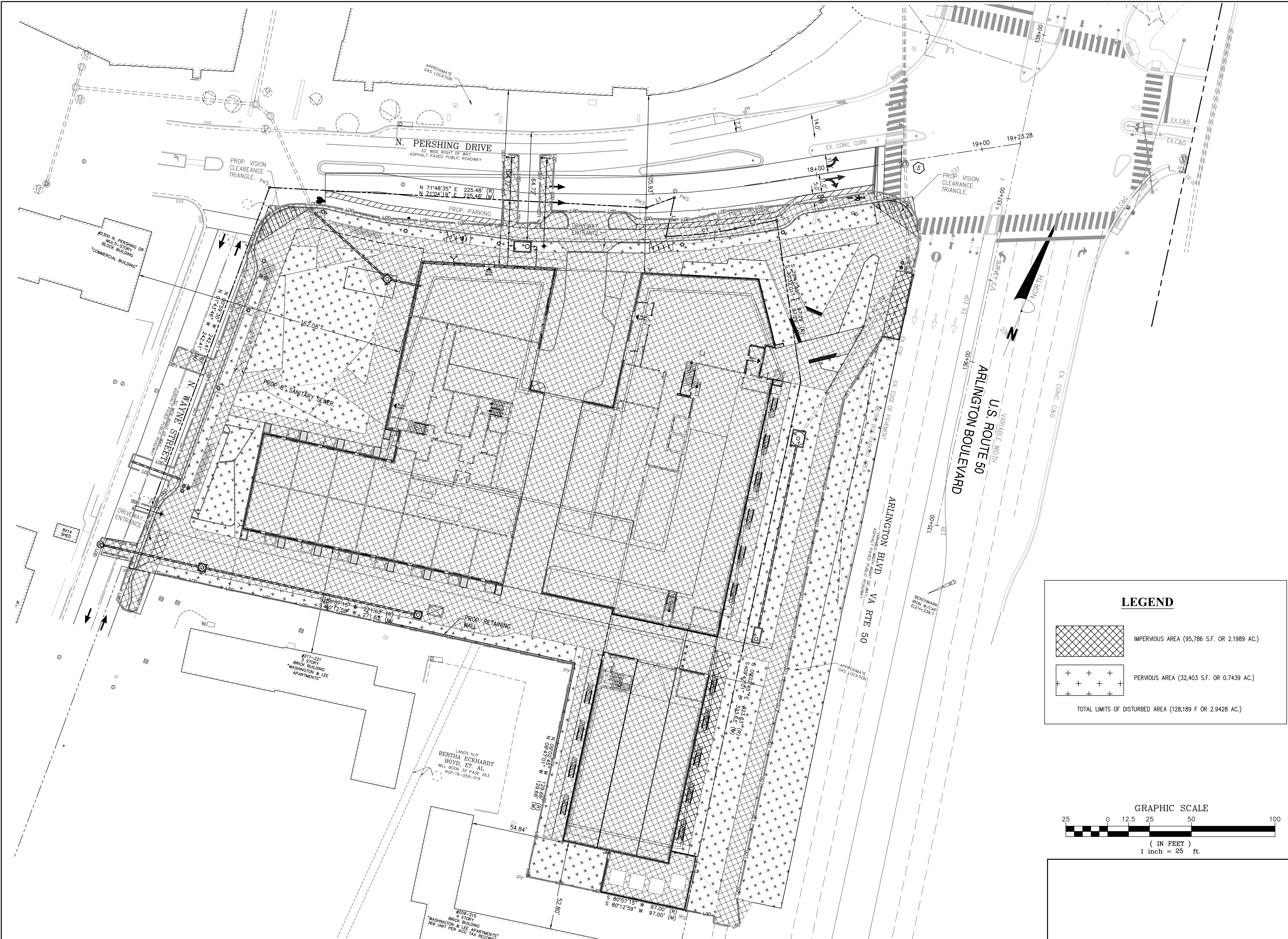
ARVA APARTMENTS

2201 ARLINGTON BLVD.
 ARLINGTON VA 2201
 4.1 PRELIMINARY SITE PLAN
 ARLINGTON COUNTY, VIRGINIA



SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'
 SHEET TITLE:
 PRE-DEVELOPMENT CONDITIONS
 SHEET #: C09.00



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 ARLINGTON COUNTY, VIRGINIA

LEGEND

IMPERVIOUS AREA (95,786 S.F. OR 2.1989 AC.)

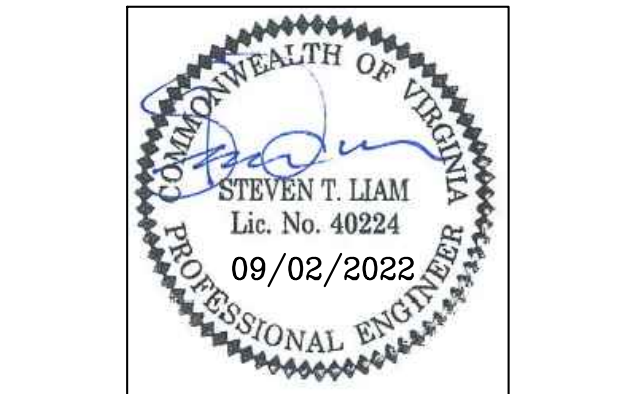
PERVIOUS AREA (32,403 S.F. OR 0.7439 AC.)

TOTAL LIMITS OF DISTURBED AREA (128,189 F OR 2.9428 AC.)

GRAPHIC SCALE

25 0 12.5 25 50 100

(IN FEET)
 1 inch = 25 ft.



SUBMISSIONS

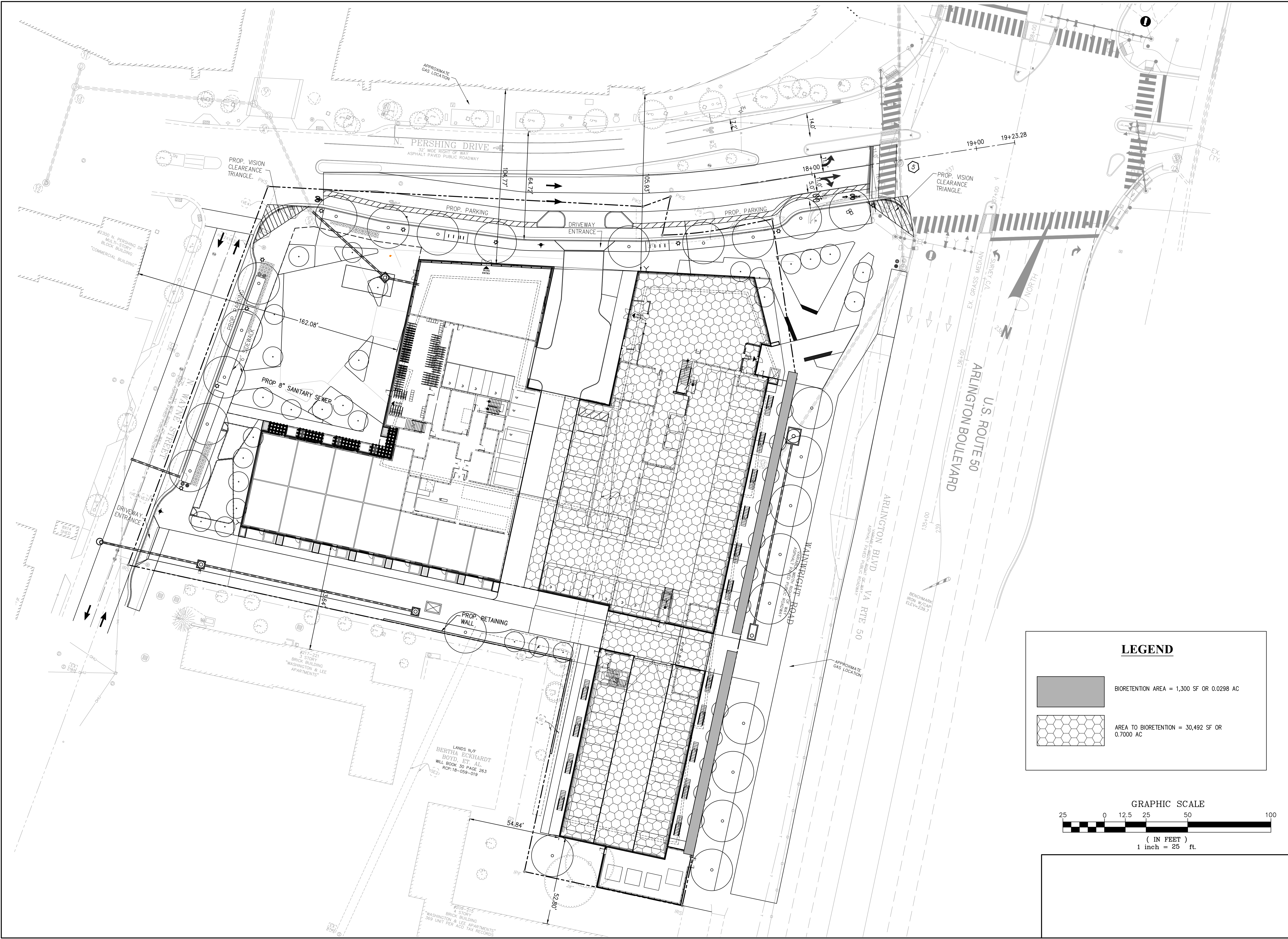
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'


SHEET TITLE:
 POST-DEVELOPMENT CONDITIONS

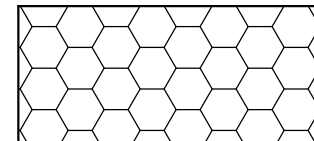
SHEET #: C09.10

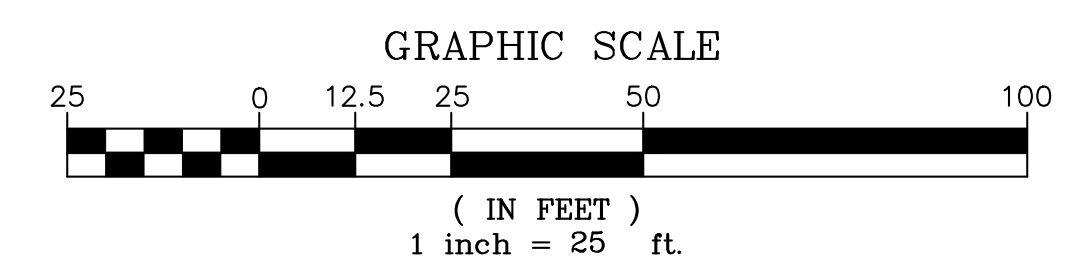

P:\6032 - daps\in\6032-01-002 (reg) - 2201 arlington boulevard\engineering\plans\4.1_daps_in_ arlington site plan\6032-01-002-POST-DEVELOPMENT CONDITIONS.dwg



LEGEND

 BIORETENTION AREA = 1,300 SF OR 0.0298 AC

 AREA TO BIORETENTION = 30,492 SF OR 0.7000 AC

CHECKED: STL
DRAWN: MG
DATE: 04/02/2022

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4.1 PRELIMINARY SITE PLAN
ARLINGTON COUNTY, VIRGINIA



SUBMISSIONS

NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'

SHEET TITLE:
STORMWATER MANAGEMENT PLAN

SHEET #: C09.20

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → **2.9428**

Maximum reduction required:	20%
The site's net increase in impervious cover (acres) is:	0.0000
Post-Development TP Load Reduction for Site (lb/yr):	0.9695

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed forest/open space					0.0000
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.6905	0.6905
Impervious Cover (acres)				2.2523	2.2523
					2.9428

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.0000
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.7439	0.7439
Impervious Cover (acres)				2.1989	2.1989
Area Check	OK.	OK.	OK.	OK.	2.9428

1-year storm	2-year storm	10-year storm
2.59	3.14	4.82

Use NOAA Atlas 14 (<http://hdsc.nws.noaa.gov/hdsc/pfds/>)

LAND COVER SUMMARY -- PRE-REDEVELOPMENT

Land Cover Summary-Pre		
Pre-ReDevelopment	Listed	Adjusted ¹
Forest/Open Space Cover (acres)	0.0000	0.0000
Weighted Rv(forest)	0.0000	0.0000
% Forest	0%	0%
Managed Turf Cover (acres)	0.6905	0.6905
Weighted Rv(turf)	0.2500	0.2500
% Managed Turf	23%	23%
Impervious Cover (acres)	2.2523	2.2523
Rv(impervious)	0.9500	0.9500
% Impervious	77%	77%
Total Site Area (acres)	2.9428	2.9428
Site Rv	0.7858	0.7858

Treatment Volume and Nutrient Load		
Pre-ReDevelopment Treatment Volume (acre-ft)	0.1927	0.1927
Pre-ReDevelopment Treatment Volume (cubic feet)	8,393.6853	8,393.6853
Pre-ReDevelopment TP Load (lb/yr)	5.2737	5.2737
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	1.7900	1.7900
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-redevelopment area excluding pervious land proposed for new impervious cover)		1.2065

LAND COVER SUMMARY -- POST DEVELOPMENT

Land Cover Summary-Post (Final)		Land Cover Summary-Post		Land Cover Summary-Post	
Post ReDev. & New Impervious		Post-ReDevelopment		Post-Development New Impervious	
Forest/Open Space Cover (acres)	0.0000	Forest/Open Space Cover (acres)	0.0000		
Weighted Rv(forest)	0.0000	Weighted Rv(forest)	0.0000		
% Forest	0%	% Forest	0%		
Managed Turf Cover (acres)	0.7439	Managed Turf Cover (acres)	0.7439		
Weighted Rv (turf)	0.2500	Weighted Rv (turf)	0.2500		
% Managed Turf	25%	% Managed Turf	25%		
Impervious Cover (acres)	2.1989	ReDev. Impervious Cover (acres)	2.1989	New Impervious Cover (acres)	0.0000
Rv(impervious)	0.9500	Rv(impervious)	0.9500	Rv(impervious)	--
% Impervious	75%	% Impervious	75%		
Final Site Area (acres)	2.9428	Total ReDev. Site Area (acres)	2.9428		
Final Post Dev Site Rv	0.7730	ReDev Site Rv	0.7730		

Treatment Volume and Nutrient Load			
Final Post-Development Treatment Volume (acre-ft)	0.1896	Post-ReDevelopment Treatment Volume (acre-ft)	0.1896
Final Post-Development Treatment Volume (cubic feet)	8,257.9959	Post-ReDevelopment Treatment Volume (cubic feet)	8,257.9959
Final Post-Development TP Load (lb/yr)	5.1885	Post-ReDevelopment TP Load (lb/yr)*	5.1885
Final Post-Development TP Load per acre (lb/acre/yr)	1.7600	Post-ReDevelopment TP Load per acre (lb/acre/yr)	1.7600
		Max. Reduction Required (Below Pre-ReDevelopment Load)	20%
		TP Load Reduction Required for Redeveloped Area (lb/yr)	0.9695
		TP Load Reduction Required for New Impervious Area (lb/yr)	0

SWM NARRATIVE

THE AREA USED FOR STORMWATER CALCULATIONS IS THE DISTURBED AREA. THIS SITE PROPOSES TO COMPLY WITH ALL STORMWATER MANAGEMENT REQUIREMENTS. THE EXISTING SITE IS HEAVILY IMPERVIOUS, WHILE THE PROPOSED SITE PROVIDES MORE PERVIOUS AREAS THROUGHOUT.

STORMWATER QUALITY CONTROL
IN ORDER TO MEET THE PHOSPHORUS REMOVAL REQUIREMENTS, APPROXIMATELY 0.7000 ACRES OF RUNOFF FROM THE ROOF WILL BE DIRECTED TO BIORETENTION FACILITIES. ADDITIONALLY, A HYDRODYNAMIC SEPARATOR WILL TREAT THE BIORETENTION OUTFLOWS IN A TREATMENT TRAIN.

THE PROPOSED BIORETENTION FACILITIES WILL MEET THE REQUIREMENTS OF THE MEMORANDUM TO INDUSTRY - USE OF STRUCTURAL STORMWATER TREATMENT SYSTEMS, IN WHICH A MINIMUM OF 70% OF THE TOTAL PHOSPHORUS (TP) REMOVAL FROM A TREATMENT TRAIN MUST BE ACHIEVED USING RUNOFF REDUCTION BMPs APPROVED BY THE VIRGINIA STORMWATER BMP CLEARINGHOUSE. PER THE CALCULATIONS SHOWN ON THIS SHEET, THE TOTAL PHOSPHORUS REMOVAL REQUIRED IS 0.9695 LB/YEAR. THE PROPOSED BIORETENTION FACILITIES WILL REMOVE 0.8332 LB/YEAR, WHICH IS GREATER THAN 70% OF THE TOTAL PHOSPHORUS REMOVAL REQUIRED. THE HYDRODYNAMIC SEPARATOR WILL REMOVE THE REMAINING PHOSPHORUS REQUIRED.

STORMWATER QUALITY COMPUTATIONS ARE CALCULATED VIA THE VIRGINIA RUNOFF REDUCTION METHOD SPREADSHEET. PHOSPHORUS LOAD REMOVAL IS ACHIEVED VIA BIORETENTION FACILITIES AND A HYDRODYNAMIC SEPARATOR.

STORMWATER QUANTITY CONTROL
DUE TO THE INCREASE IN PERVIOUS AREA PROPOSED WITH THIS PLAN, STORMWATER GENERATED FROM THE PROPOSED SITE IS ALREADY LESS THAN THAT REQUIRED BY THE ENERGY BALANCE COMPUTATIONS SHOWN ON THIS SHEET. THEREFORE, NO STORMWATER STORAGE IS PROPOSED WITH THIS PLAN.

PER THE ENERGY BALANCE EQUATION SHOWN ON THIS SHEET, IT HAS BEEN DETERMINED THAT THE ALLOWABLE 1-YEAR, 24-HOUR PEAK RELEASE RATE IS 9.02 CFS, WHILE THE 10-YEAR, 24-HOUR PEAK RELEASE RATE IS 20.70 CFS.

Stormwater Best Management Practices (RR = Runoff Reduction)

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
6. Bioretention (RR)													
6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40		0.7000	0.0000	965.5800	1,448.3700	2,413.9500	25	0.0000	1.5150	0.8332	0.6817	14.a. MTD - Hydrodynamic
14. Manufactured Treatment Devices (no RR)													
14.a. Manufactured Treatment Device-Hydrodynamic	0			1,448.3700	0.0000	1,448.3700	1,448.3700	20	0.6817	0.0000	0.1363	0.5454	

SWM Water Quantity Energy Balance Worksheet

SITE AREA (acre)	1-year		10-year	
	PRE	POST (adjusted)	PRE	POST (adjusted)
P	2.69	2.69	4.84	4.84
CN	94	92	94	92
S=1000/CN-10	0.64	0.87	0.64	0.87
0.25	0.13	0.17	0.13	0.17
RV=(P-0.25) ² /(P-0.25)+S	2.05	1.87	4.15	3.93

QPost Development <= I.F.* (Qpre-development* RVpre-development)/RVDeveloped

I.F. 0.8		CHANNEL PROTECTION	
Qpre-development	9.75	From HydroCAD	
QPost Development	9.08	From HydroCAD	
RVPost Development (with runoff reduction)	1.7739	From RRM	
Qallowable	9.02		

FLOOD CONTROL	
Qpre-development	19.61
QPost Development	19.04
RVPost Development (with runoff reduction)	3.9309
Qallowable	20.70

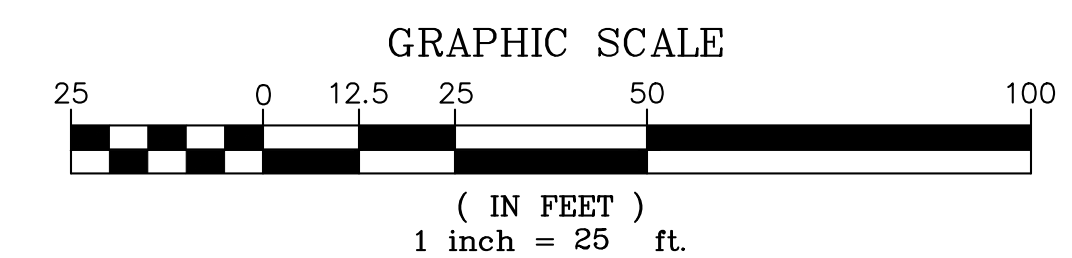
Qallowable/QPost Development	0.99
Vs/Vr	0.09
Vs	0.16
Storage required (cf)	1737

Site Compliance Summary

Maximum % Reduction Required Below Pre-ReDevelopment Load	20%
---	-----

Total Runoff Volume Reduction (ft ³)	965.5800
Total TP Load Reduction Achieved (lb/yr)	0.9696
Total TN Load Reduction Achieved (lb/yr)	6.9362
Remaining Post Development TP Load (lb/yr)	4.2189
Remaining TP Load Reduction (lb/yr) Required	0.0000

****No further TP load reduction required**



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DRAWN: MG
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Herndon, Virginia 20171
Phone: (703) 464-1000
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www.bowman.com

ARVA APARTMENTS

2201 ARLINGTON BLVD.
ARLINGTON VA 2201
4.1 PRELIMINARY SITE PLAN
ARLINGTON COUNTY, VIRGINIA



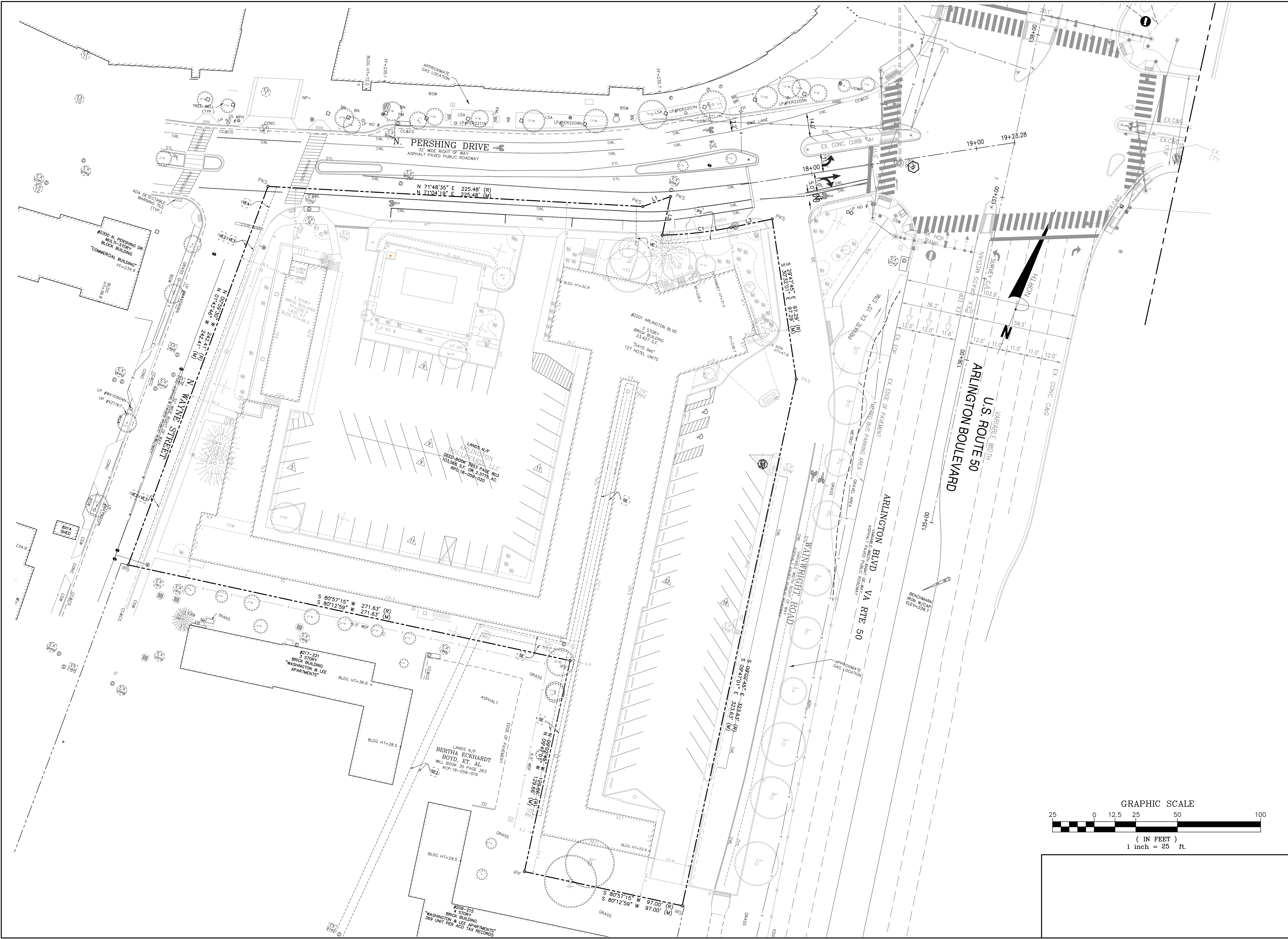
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NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	6/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'
SHEET TITLE:

STORMWATER MANAGEMENT COMPUTATIONS

SHEET #:

C09.30



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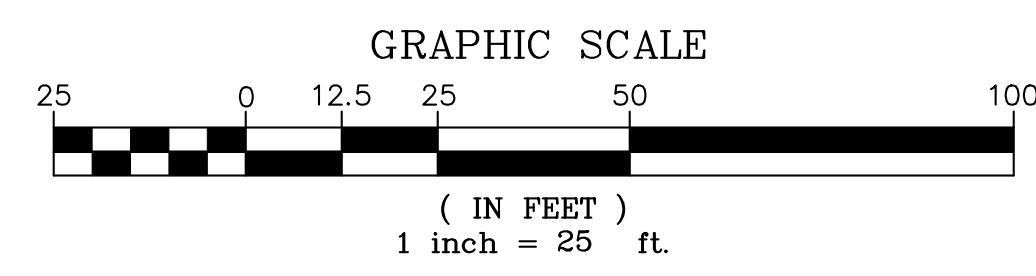
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SUBMISSIONS

NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/11/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

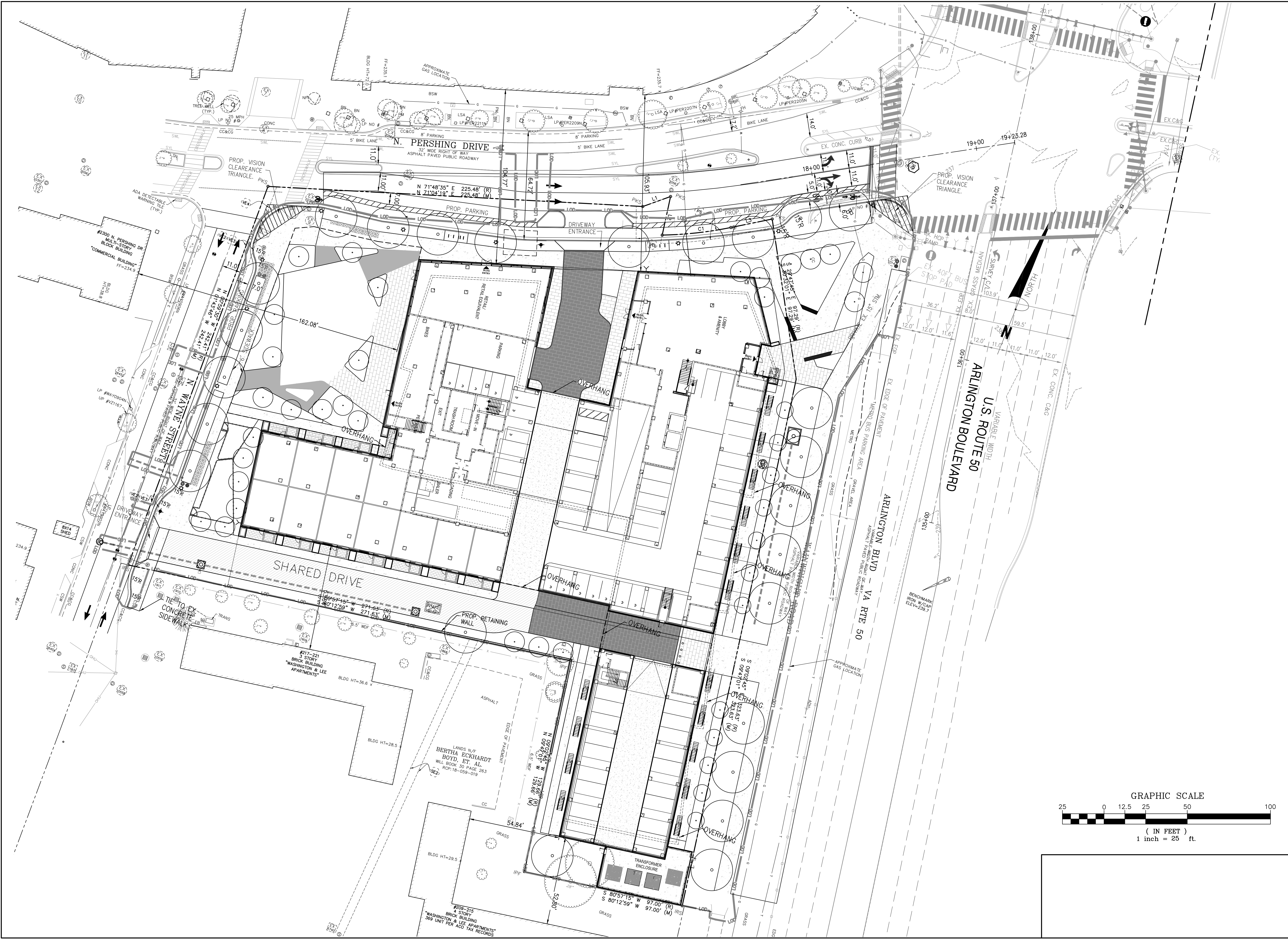


SCALE: 1"=25'

SHEET TITLE:
 EXISTING STRIPING AND MARKING PLAN

SHEET #: C10.00

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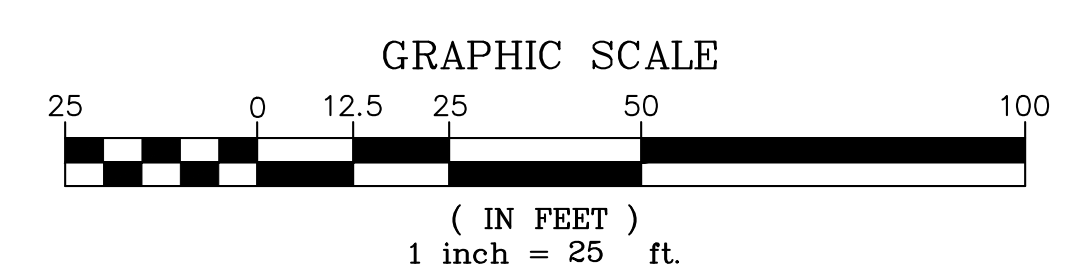
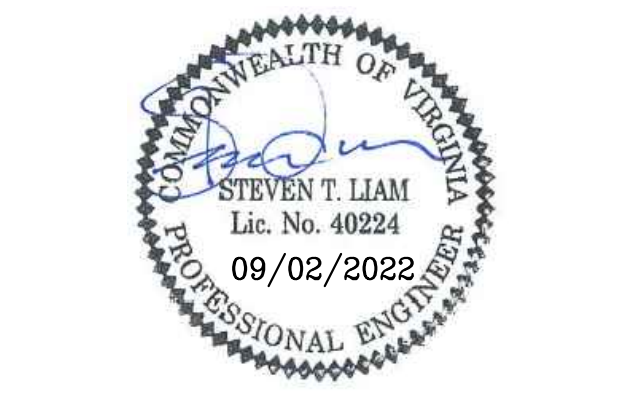
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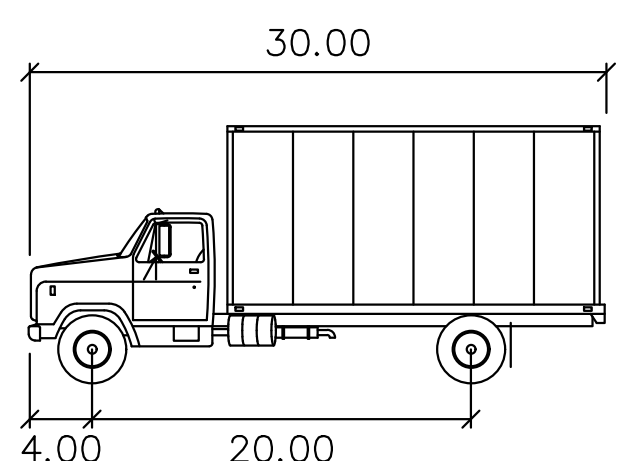
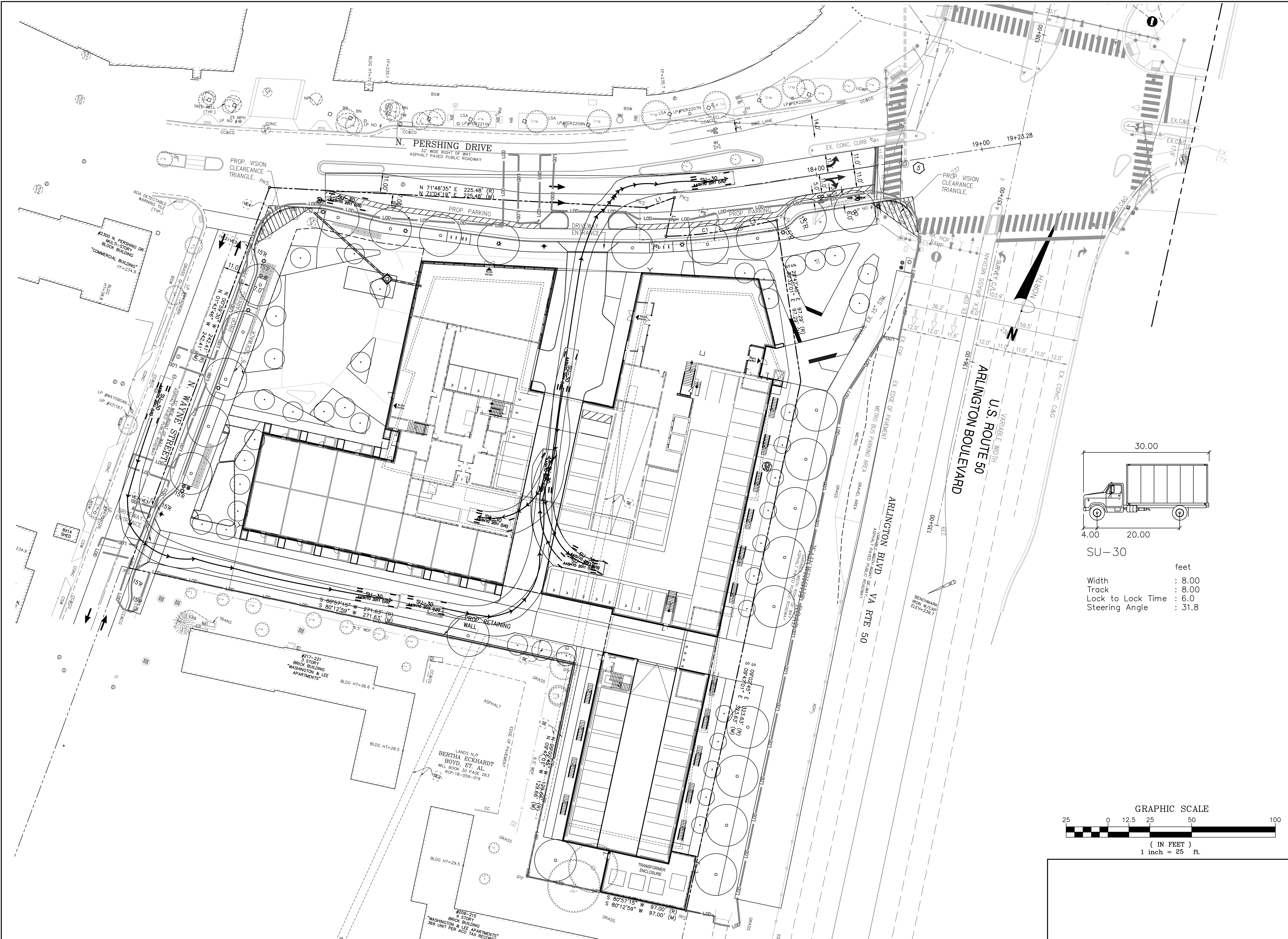
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NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/11/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'

SHEET TITLE:
 PROPOSED STRIPING AND MARKING

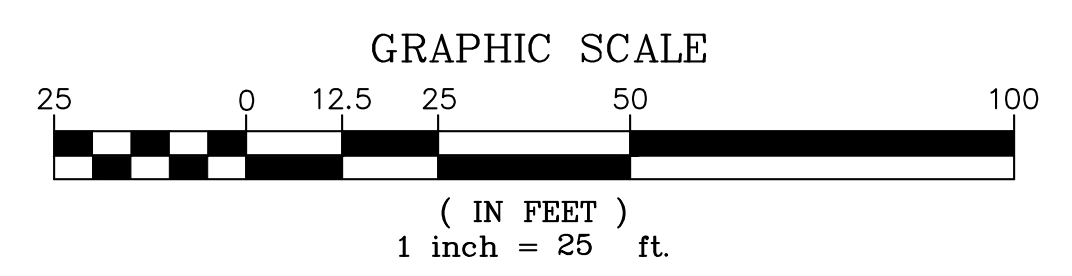
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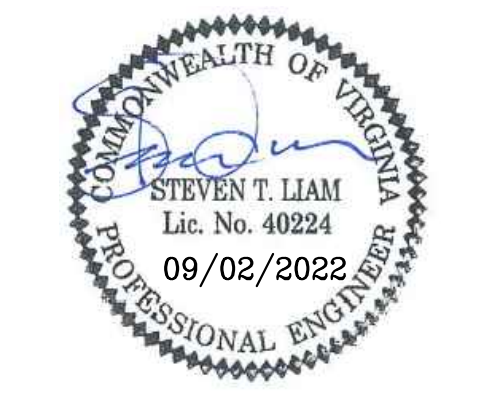
SU-30

Width : 8.00 feet
 Track : 8.00 feet
 Lock to Lock Time : 6.0 feet
 Steering Angle : 31.8 degrees



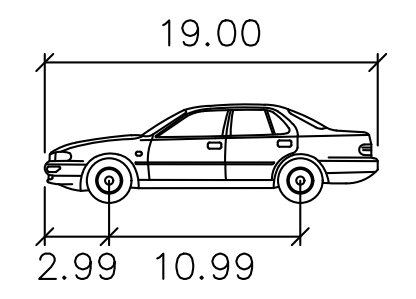
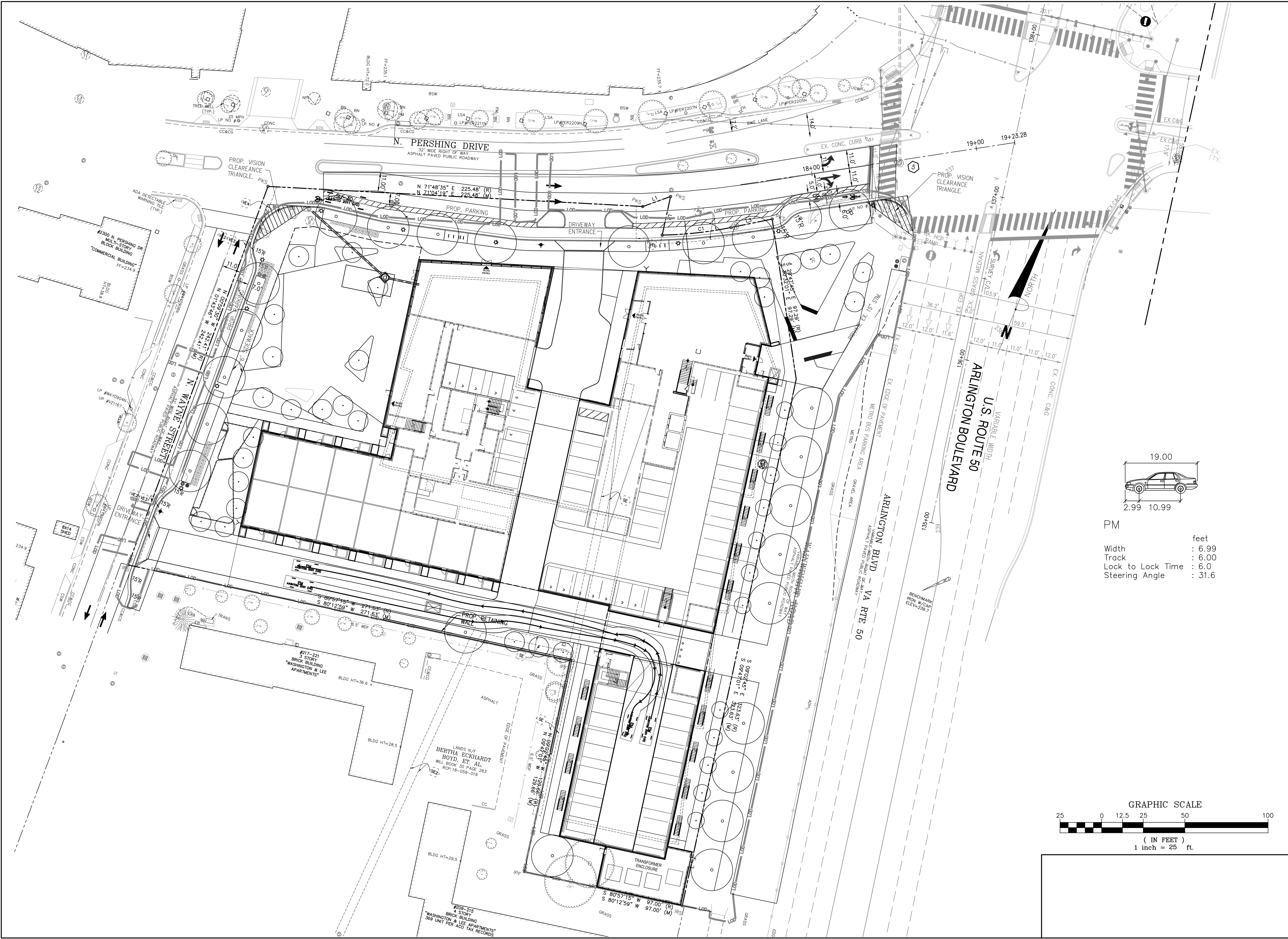
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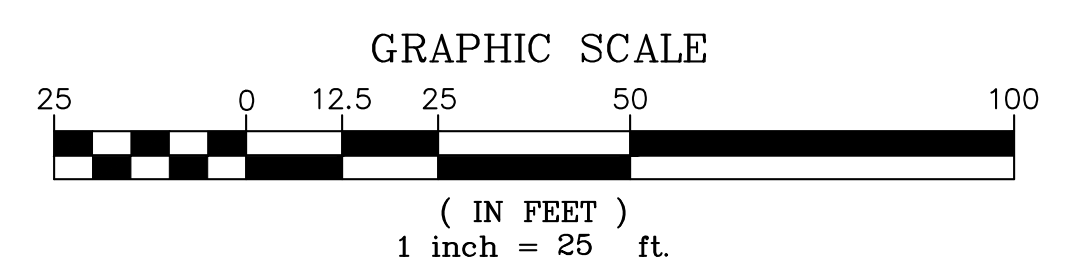
SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/11/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'
 SHEET TITLE:
 TRUCK TURNING MOVEMENT
 SHEET #: C12.00



PM

Width	: 6.99
Track	: 6.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.6



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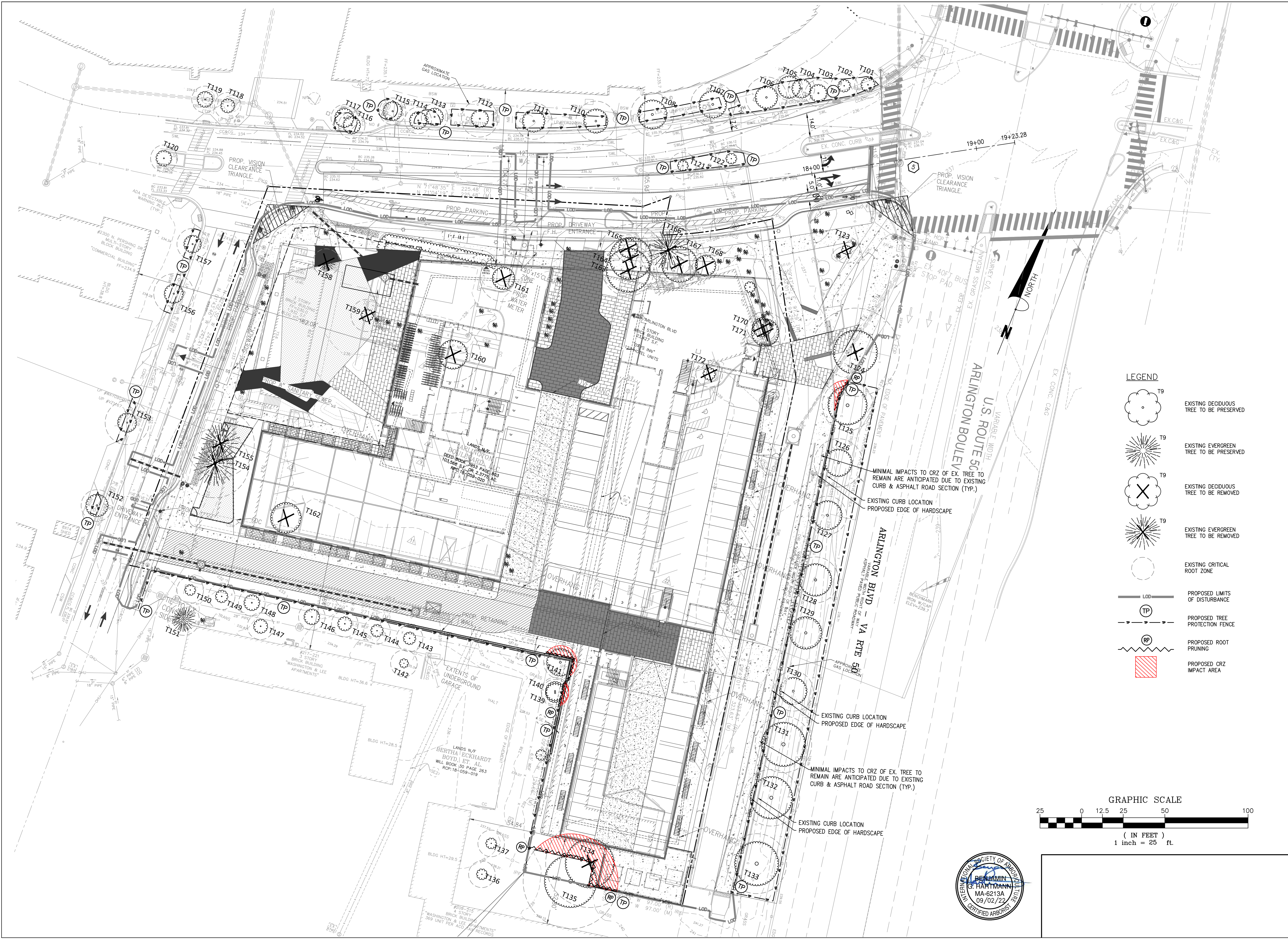
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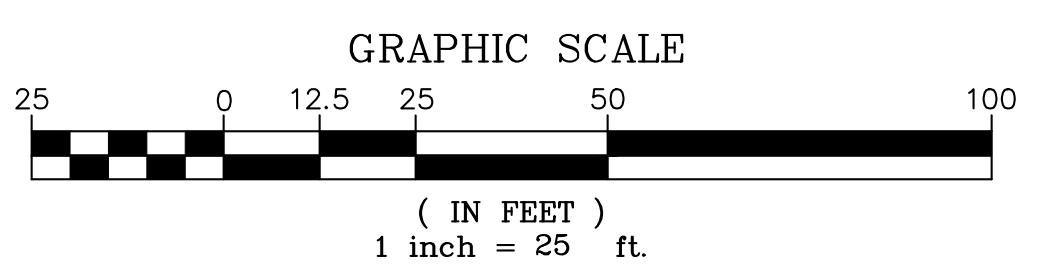


SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'
SHEET TITLE:
PASSENGER CAR MOVEMENT PLAN
SHEET #: C13.00



- LEGEND**
- T9 EXISTING DECIDUOUS TREE TO BE PRESERVED
 - T9 EXISTING EVERGREEN TREE TO BE PRESERVED
 - T9 EXISTING DECIDUOUS TREE TO BE REMOVED
 - T9 EXISTING EVERGREEN TREE TO BE REMOVED
 - EXISTING CRITICAL ROOT ZONE
 - PROPOSED LIMITS OF DISTURBANCE
 - PROPOSED TREE PROTECTION FENCE
 - PROPOSED ROOT PRUNING
 - PROPOSED CRZ IMPACT AREA



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 ARLINGTON COUNTY, VIRGINIA

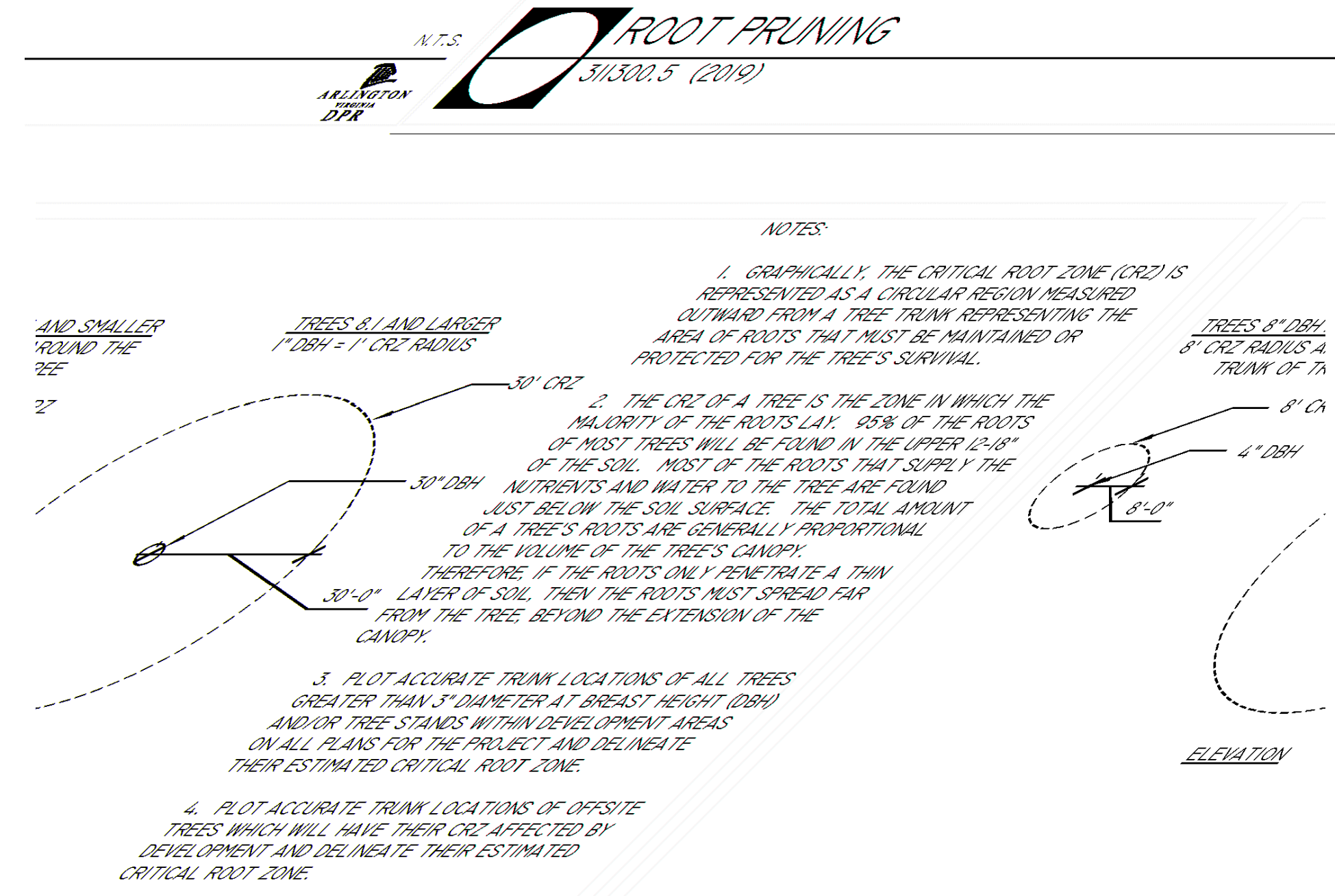
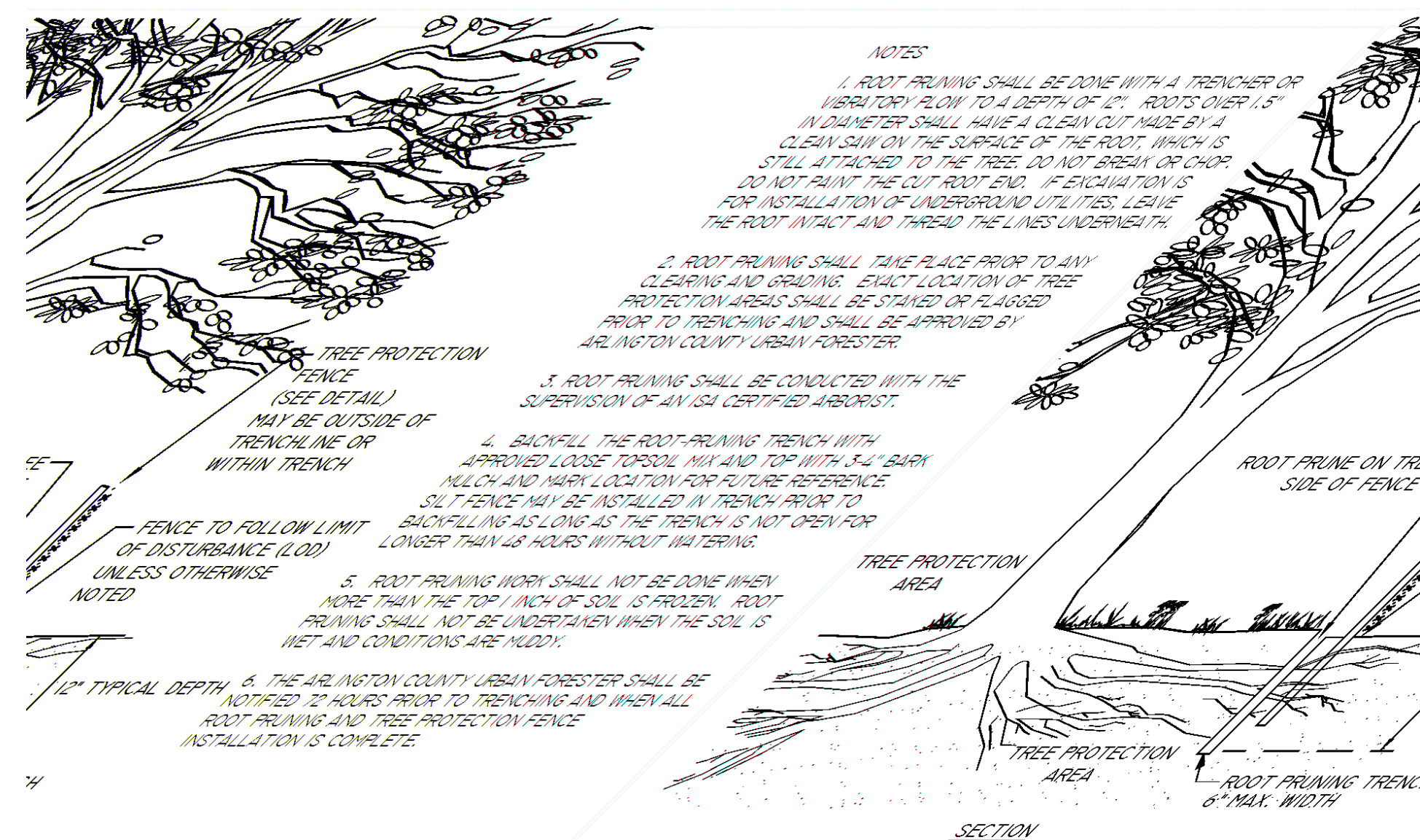
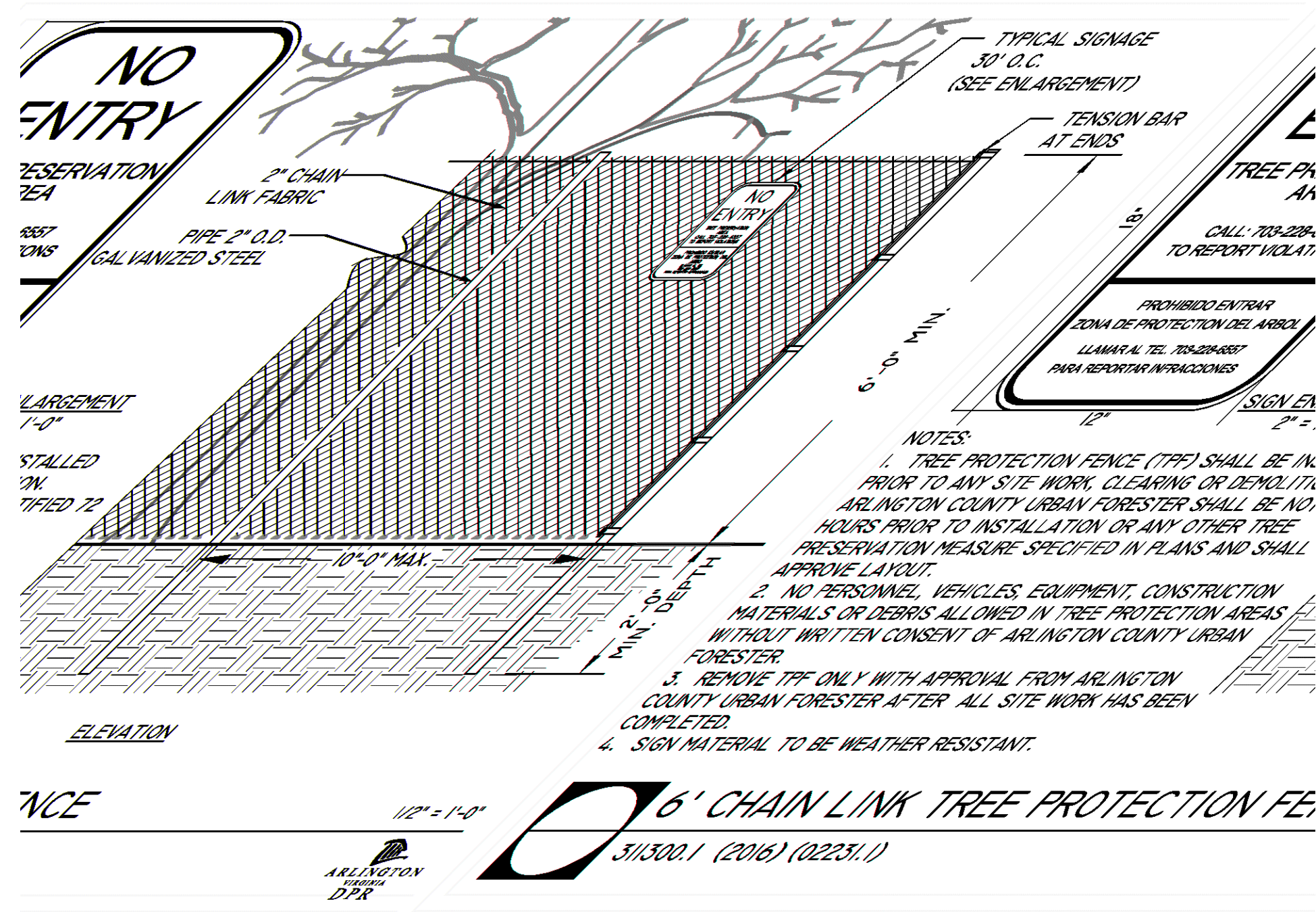


SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	8/17/2022
3	4.1 FIRST RESUBMISSION	9/02/2022

SCALE: 1"=25'

SHEET TITLE:
TREE PRESERVATION PLAN

SHEET #: T01.00



ARLINGTON COUNTY TREE PRESERVATION NOTES

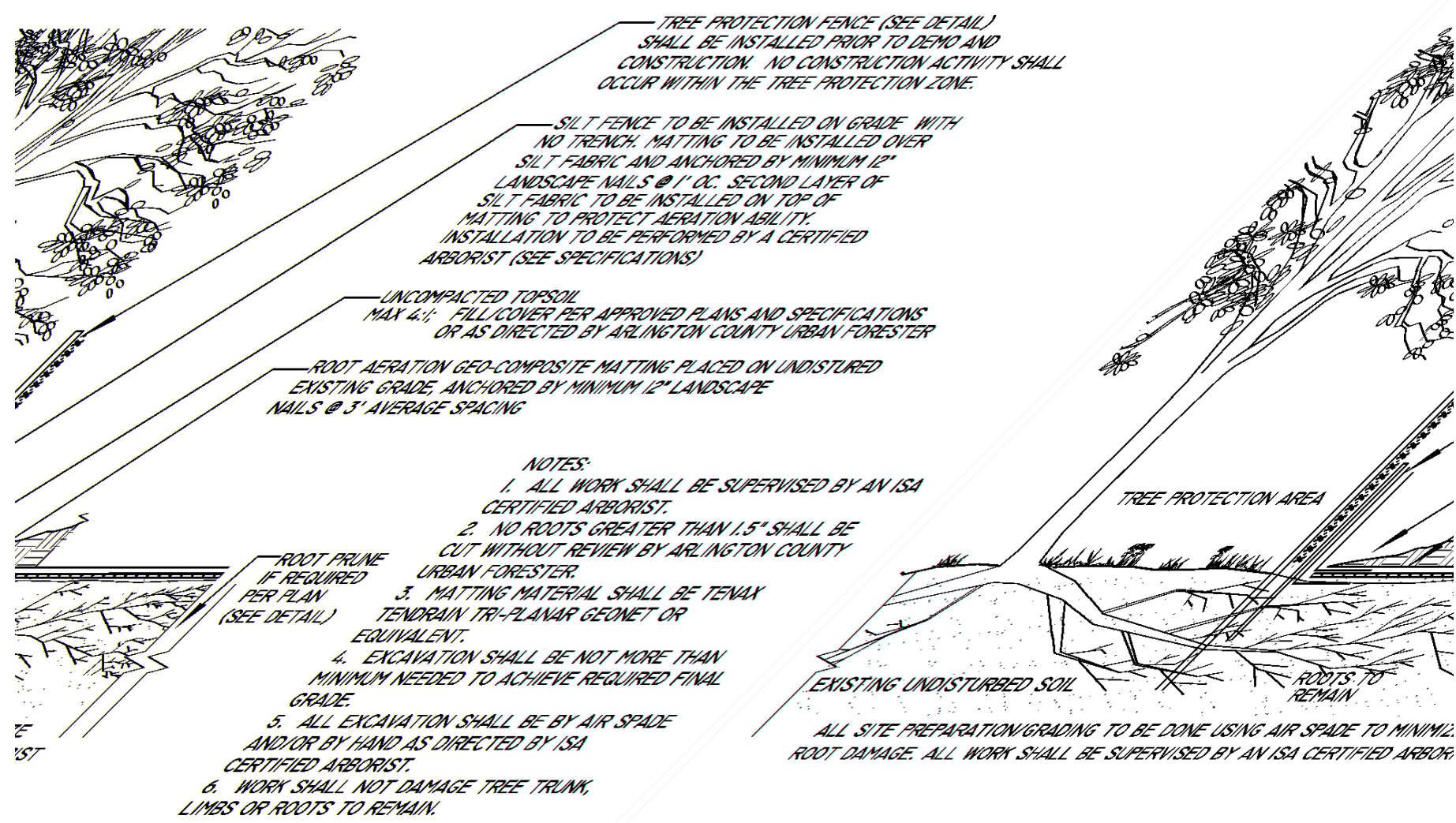
- PROPERTY OWNER SHALL SUBMIT A TREE INVENTORY DRAWING INDICATING DBH (DIAMETER BREAST HEIGHT SPECIES AND LOCATION FOR ALL TREES OVER 3" IN DIAMETER ON THE PROPERTY TO BE DEVELOPED AND ANY TREES ON ADJACENT PROPERTY WHOSE CRITICAL ROOT ZONES EXTEND INTO THE PROPERTY TO BE DEVELOPED.
- PROPERTY OWNER SHALL SUBMIT A TREE PROTECTION PLAN DESIGNATING TREES TO BE PRESERVED AND TREES TO BE REMOVED ON SUBJECT AND ADJACENT PROPERTY AND REPLACEMENT TREES FOR THOSE REMOVED IN ACCORDANCE WITH MANDATORY ARLINGTON COUNTY TREE REPLACEMENT GUIDELINES. RESULTS OF TREE REPLACEMENT GUIDELINES MUST BE SHOWN IN TABULAR FORM AS ILLUSTRATED IN SAID GUIDELINES.
- THE TREE PROTECTION PLAN MUST BE APPROVED BY ARLINGTON COUNTY PRIOR TO ISSUANCE OF A CLEARING AND GRADING PERMIT.
- USE CRITICAL ROOT ZONE DETAIL AS A MINIMUM REQUIREMENT FOR THE AREA TO BE PROTECTED. SPECIMEN TREES WILL BE DESIGNATED BY THE URBAN FORESTER AND PROTECTED ACCORDING TO DETAIL R-7.7.
- TREE PROTECTION FENCING SHALL BE ERRECTED AT THE CRITICAL ROOT ZONE OR BEYOND PRIOR TO START OF ANY CLEARING, GRADING OR OTHER CONSTRUCTION ACTIVITY. SIGNS STATING "NO ENTRY, TREE PROTECTION AREA, CALL 703-228-6557 TO REPORT VIOLATIONS" ARE TO BE POSTED IN BOTH ENGLISH AND SPANISH. SEE DETAIL IIA.5.
- TREE PROTECTION SHALL BE A MINIMUM OF 6' HIGH CHAIN LINK FENCE MOUNTED ON VERTICAL PIPES DRIVEN 2' INTO THE GROUND WITH NO GAPS.
- SUBMIT PHOTOGRAPHIC RECORD (2 SHOTS) OF ALL TREES TO BE PRESERVED OVER 3" DBH AFTER FENCE IS INSTALLED.
- NO PERSON, MATERIALS OR EQUIPMENT SHALL BE PERMITTED WITHIN THE TREE PROTECTION AREA. ANY VIOLATION OF THE REQUIREMENT MAY RESULT IN A FINE OF \$500 PER DAY OF VIOLATION.
- ANY DAMAGE TO A TREE BEING PRESERVED SHALL RESULT IN A PAYMENT BY THE OWNER/DEVELOPER TO THE COUNTY FOR THE AMOUNT OF DAMAGE BASED ON THE LATEST EDITION OF THE COUNCIL OF TREE AND LANDSCAPE APPRAISERS GUIDE FOR PLANT APPRAISALS PUBLISHED BY THE ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE). ALL TREES ARE TO BE VALUED AS LANDSCAPE TREES. FOR FURTHER GUIDANCE, SEE ARLINGTON COUNTY TREE APPRAISAL POLICY, ADOPTED BY THE ARLINGTON COUNTY BOARD OCTOBER, 2004.
- TREE PROTECTION SHALL NOT BE REMOVED UNTIL COMPLETION OF ALL CONSTRUCTION ACTIVITY.
- WHEN EXCAVATION IS TO TAKE PLACE WITHIN THE CRITICAL ROOT ZONE, THE DEVELOPER SHALL EMPLOY A PROFESSIONAL ARBORIST TO ROOT PRUNE IMMEDIATELY BEYOND THE LIMITS OF EXCAVATION TO A DEPTH OF 12 INCHES, PRIOR TO EXCAVATION.
- ANY EXCEPTIONS TO THE ABOVE REQUIREMENTS, SUCH AS CONSTRUCTION WITHIN THE CRITICAL ROOT ZONE, MUST BE APPROVED IN ADVANCE BY ARLINGTON COUNTY BY WAY OF THE TREE PRESERVATION PLAN.
- ADDITIONAL REQUIREMENTS MAY BE NECESSARY ON A CASE-BY-CASE BASIS.

GENERAL AIRSPADE NOTES

- ALL WORK SHALL BE SUPERVISED BY AN ISA CERTIFIED ARBORIST.
- NO ROOTS GREATER THAN 1.5" SHALL BE CUT WITHOUT REVIEW BY ARLINGTON COUNTY URBAN FORESTER.
- EXCAVATION SHALL BE NOT MORE THAN MINIMUM NEEDED TO ACHIEVE REQUIRED FINAL GRADE.
- WORK SHALL NOT DAMAGE TREE TRUNK, LIMBS, OR ROOTS TO REMAIN.

GENERAL CRZ IMPACT NOTES

- EXISTING SITE FEATURES MAY HAVE LIMITED ROOT GROWTH, DECREASING OPPORTUNITY FOR NEGATIVE IMPACTS TO CRZ FROM PROPOSED CONDITIONS (i.e. EX. PEDESTRIAN CONNECTIONS, RETAINING WALLS, VAULTS, ETC.)



TREE INVENTORY & ANALYSIS

2201 Arlington Blvd. Arlington, VA

Date of site visit(s): March 11, 2022

Certified Arborist: Ben Hartmann (MA-6213A)

Tree #	Botanic Name	Common Name	Caliper (DBH)	Condition Rating	Species Rating	Total Rating	Replacements Required	CRZ % Impacted	Preserve/Remove
T101	Quercus phellos	Willow Oak	7.2	0.70	0.70	3.53	-	0%	Preserve
T102	Lagerstroemia indica	Grape Myrtle*	5	0.70	0.70	2.45	-	0%	Preserve
T103	Quercus phellos	Willow Oak	8.8	0.70	0.70	4.31	-	0%	Preserve
T104	Lagerstroemia indica	Grape Myrtle*	5	0.70	0.70	2.50	-	0%	Preserve
T105	Lagerstroemia indica	Grape Myrtle*	5	0.70	0.70	2.45	-	0%	Preserve
T106	Quercus phellos	Willow Oak	12.3	0.70	0.70	6.03	-	0%	Preserve
T107	Quercus phellos	Willow Oak	13.2	0.70	0.70	6.47	-	0%	Preserve
T108	Quercus phellos	Willow Oak	13	0.70	0.70	6.37	-	0%	Preserve
T109	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	Preserve
T110	Quercus phellos	Willow Oak	12	0.70	0.70	5.88	-	0%	Preserve
T111	Quercus phellos	Willow Oak	1	0.70	0.70	5.39	-	0%	Preserve
T112	Quercus phellos	Willow Oak	1	0.70	0.70	5.39	-	0%	Preserve
T113	Ginkgo biloba	Ginkgo Tree	7.5	0.75	0.70	3.94	-	0%	Preserve
T114	Ginkgo biloba	Ginkgo Tree	7	0.70	0.70	3.43	-	0%	Preserve
T115	Ginkgo biloba	Ginkgo Tree	7.8	0.75	0.70	4.10	-	0%	Preserve
T116	Ginkgo biloba	Ginkgo Tree	7.7	0.75	0.70	4.04	-	0%	Preserve
T117	Ginkgo biloba	Ginkgo Tree	8.2	0.75	0.70	4.31	-	0%	Preserve
T118	Ginkgo biloba	Ginkgo Tree	8	0.75	0.70	4.20	-	0%	Preserve
T119	Ginkgo biloba	Ginkgo Tree	7.2	0.75	0.70	3.78	-	0%	Preserve
T120	Prunus x Okame	Okame Cherry	6	0.70	0.70	2.94	-	0%	Preserve
T121	Prunus x Okame	Okame Cherry	5	0.60	0.70	2.10	-	0%	Preserve
T122	Prunus x Okame	Okame Cherry	4	0.70	0.70	1.96	-	0%	Preserve
T123	Ilex attenuata	Fosters Holly	4.5	0.80	0.40	1.44	1	100%	REMOVE
T124	Pyrus calleryana	Bradford Pear	26.5	0.45	0.40	4.77	1	100%	REMOVE
T125	Pyrus calleryana	Bradford Pear*	15.2	0.60	0.40	3.65	-	7%	Preserve
T126	Pyrus calleryana	Bradford Pear*	14.5	0.60	0.40	3.48	-	0%	Preserve
T127	Pyrus calleryana	Bradford Pear*	11.5	0.40	0.40	1.84	-	0%	Preserve
T128	Pyrus calleryana	Bradford Pear*	13.8	0.50	0.40	2.76	-	0%	Preserve
T129	Pyrus calleryana	Bradford Pear*	8.6	0.50	0.40	1.72	-	0%	Preserve
T130	Pyrus calleryana	Bradford Pear*	12	0.45	0.40	2.16	-	0%	Preserve
T131	Pyrus calleryana	Bradford Pear*	17	0.60	0.40	4.08	-	0%	Preserve
T132	Pyrus calleryana	Bradford Pear*	17	0.60	0.40	4.08	-	0%	Preserve
T133	Pyrus calleryana	Bradford Pear*	18	0.50	0.40	3.60	-	0%	Preserve
T134	Robinia pseudoacacia	Black Locust	26.5	0.60	0.50	7.95	2	100%	REMOVE
T135	Robinia pseudoacacia	Black Locust	26.5	0.65	0.50	8.26	-	30%	Preserve
T136	Liquidambar styraciflua	Sweetgum	3	0.75	0.70	1.58	-	0%	Preserve
T137	Platanus x acerifolia	London Planetree	5	0.75	0.70	2.63	-	0%	Preserve
T138	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
T139	Monia alba	White Mulberry*	8	0.60	0.40	1.92	-	15%	Preserve
T140	Monia alba	White Mulberry*	8	0.60	0.40	1.92	-	15%	Preserve
T141	Monia alba	White Mulberry*	10	0.55	0.40	2.20	-	30%	Preserve
T142	Tilia cordata	Little-leaf Linden	4.5	0.75	0.70	2.36	-	0%	Preserve
T143	Cercis canadensis	Eastern Redbud	3	0.70	0.70	1.47	-	0%	Preserve
T144	Cercis canadensis	Eastern Redbud	5	0.70	0.70	2.45	-	0%	Preserve
T145	Paulownia tomentosa	Princess Tree	5.8	0.70	0.40	1.62	-	0%	Preserve
T146	Cercis canadensis	Eastern Redbud*	4.2	0.70	0.70	2.06	-	0%	Preserve
T147	Betula spp.	Birch Tree	3.5	0.75	0.50	1.31	-	0%	Preserve
T148	Cercis canadensis	Eastern Redbud*	4.5	0.70	0.70	2.21	-	0%	Preserve
T149	Cercis canadensis	Eastern Redbud*	6.4	0.70	0.70	3.14	-	0%	Preserve
T150	Cercis canadensis	Eastern Redbud	3	0.60	0.70	1.26	-	0%	Preserve
T151	Cryptomena japonica	Japanese Cedar	9.5	0.70	0.70	4.66	-	0%	Preserve
T152	Quercus phellos	Willow Oak	9.5	0.75	0.70	4.99	-	0%	Preserve
T153	Quercus phellos	Willow Oak	13.2	0.65	0.70	6.01	-	0%	Preserve
T154	Juniperus virginiana	Eastern Redcedar	20.6	0.50	0.70	7.21	2	100%	REMOVE
T155	Juniperus virginiana	Eastern Redcedar*	20.4	0.65	0.70	8.28	2	100%	REMOVE
T156	Quercus phellos	Willow Oak	12	0.70	0.70	5.88	-	0%	Preserve
T157	Quercus phellos	Willow Oak	9.4	0.70	0.70	4.61	-	0%	Preserve
T158	Juniperus virginiana	Eastern Redcedar	3.4	0.60	0.70	1.43	1	100%	REMOVE
T159	Juniperus virginiana	Eastern Redcedar	9.7	0.60	0.70	4.07	1	100%	REMOVE
T160	Lagerstroemia indica	Grape Myrtle	16.5	0.60	0.70	6.93	2	100%	REMOVE
T161	Lagerstroemia indica	Grape Myrtle*	14	0.70	0.70	6.86	2	100%	REMOVE
T162	Acer rubrum	Red Maple	5	0.70	0.70	2.45	1	100%	REMOVE
T163	Pyrus calleryana	Bradford Pear	15.5	0.60	0.40	3.72	1	100%	REMOVE
T164	Pyrus calleryana	Bradford Pear	20.5	0.40	0.40	3.28	1	100%	REMOVE
T165	Lagerstroemia indica	Grape Myrtle	4	0.60	0.70	1.68	1	100%	REMOVE
T166	Juniperus virginiana	Eastern Redcedar	17	0.70	0.70	8.33	2	100%	REMOVE
T167	Acer rubrum	Red Maple	14	0.65	0.70	6.37	2	100%	REMOVE
T168	Platanus glabra	Japanese Platan*	7.8	0.75	0.50	2.93	1	100%	REMOVE
T169	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
T170	Ilex opaca	American Holly	9	0.75	0.70	4.73	1	100%	REMOVE
T171	Ilex opaca	American Holly	12.3	0.70	0.70	6.03	2	100%	REMOVE
T172	Acer palmatum	Japanese Maple	3.5	0.75	0.70	1.84	1	100%	REMOVE

TOTAL: 27

Notes:

- Condition Rating based on formula provided by the Guide for Plant Appraisal published by the ISA.
- Species Rating based on formula provided by the Guide for Plant Appraisal published by the ISA.
- All trees with a minimum 3" D.B.H. were inventoried and rated.
- Trees 3"-10" DBH are automatically replaced at a rate of one for one.
- The developer agrees to make a contribution to the County's Tree Canopy Fund of at least \$2,400 per tree, or a greater amount if the contribution policy changes at the time of payment, for every tree that cannot be planted onsite. The contribution shall be required when tree planting requirements cannot be met on the property. The payment shall be delivered to the Department of Parks and Recreation Office prior to the issuance of the Excavation/Sheeting and Shoring Permit.
- Trees with multi-stem trunks are signified with *.
- Trees may be re-evaluated following spring leafout to confirm inventory & analysis.



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2201 ARLINGTON BLVD.
 ARLINGTON VA 2201

4.1 PRELIMINARY SITE PLAN

ARLINGTON COUNTY, VIRGINIA

ARVA APARTMENTS

CHECKED: STL

DATE: 04/02/2022



SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	4.1 PRELIMINARY SUBMISSION	8/10/2022
2	100% SD	6/17/2022
3	4.1 FIRST RESUBMISSION	8/02/2022

SCALE: NTS
 SHEET TITLE:
 TREE PRESERVATION NOTES & DETAILS

SHEET #: T01.10

ABBREVIATIONS

A	AD ADJ AFG ALT ALUM APPROX ARCH	AREA DRAIN ADJACENT ABOVE FINISHED GRADE ALTERNATE ALUMINUM APPROXIMATE ARCHITECT(URAL)	L	L LT LP	LENGTH LIGHT LOW POINT
B	BC BLDG BLKS BOC BOT BR BS BW	BOTTOM OF CURB BUILDING BLOCKING BACK OF CURB BOTTOM BOTTOM OF RAMP BOTTOM OF STAIR BOTTOM OF WALL	M	MAS MATL MAX MECH MED MFR MIN MISC MTL	MASONRY MATERIAL MAXIMUM MECHANICAL MEDIUM MANUFACTURER MINIMUM MISCELLANEOUS METAL
C	CEM CIP CJ CMU CO COL CONT CONC CU FT	CEMENT CAST IN PLACE CONTROL JOINT CONCRETE MASONRY UNIT CLEANOUT COLUMN CONTINUOUS CONCRETE CUBIC FEET	N	N NIC NO NOM NTS	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
D	DD DE DI DIA DIAG DIM DN DS DWG(S)	DECK DRAIN DRAINAGE EASEMENT DRAIN INLET DIAMETER DIAGONAL DIMENSION DOWN DOWN SPOUT DRAWING(S)	O	OC OD OPNG OPP	ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE
E	E EA EJ EL ELEC EOP EQ EQUIP ESMT EW EXP EXIST EXT	EAST EACH EXPANSION JOINT ELEVATION ELECTRIC(AL) EDGE OF PAVEMENT EQUAL EQUIPMENT EASEMENT EACH WAY EXPANSION EXISTING EXTERIOR	P	PB PERF PNL PNT PSI PT POB POC PROP	PLANT BED PERFORATED PANEL PAINT(ED) POUNDS/SQUARE INCH PRESSURE TREATED POINT OF BEGINNING POINT OF CURVATURE PROPOSED
F	FAB FDC FH FIN FOC FT FTG	FABRIC FIRE DEPT. CONNECTION FIRE HYDRANT FINISH FACE OF CURB FOOT, FEET FOOTING	Q	QTY	QUANTITY
G	GA GAL GALV GC GV	GAUGE GALLON GALVANIZED GENERAL CONTRACTOR GATE VALVE	R	RAD REINF REQD REV R.O.W	RADIUS REINFORC(E), (ING) REQUIRED REVISION RIGHT OF WAY
H	HDW HDWD HORZ HP HT	HARDWARE HARDWOOD HORIZONTAL HIGH POINT HEIGHT	S	S SB SCHED SD SF SIM SQ SSMH STL SSTL STD SUSP SW SYM	SOUTH SETBACK SCHEDULE(E), (ED) STORM DRAIN SQUARE FOOT, FEET SIMILAR SQUARE SANITARY SEWER MANHOLE STEEL STAINLESS STEEL STANDARD SUSPENDED SIDEWALK SYMBOL
I	ID INCL INSUL INT INV	INSIDE DIAMETER INCLUDE INSULATION INTERIOR INVERT	T	TBD TC THK TR TS TW TYP	TO BE DETERMINED TOP OF CURB THICK(NESS) TOP OF RAMP TOP OF STAIR TOP OF WALL TYPICAL
J	JB JT	JUNCTION BOX JOINT	U	UE U.N.O	UTILITY EASEMENT UNLESS NOTED OTHERWISE
K	KO	KNOCK OUT	V	VERT VIF	VERTICAL VERIFY IN FIELD
			W	W W/ W/O WD WL WM WT WWM	WEST, WIDE, WIDTH WITH WITHOUT WOOD WATER LINE WATER METER WEIGHT WELDED WIRE MESH

NOTE: ABBREVIATIONS APPLY TO LANDDESIGN NOTATIONS ONLY. SURVEY, ARCHITECTURAL AND OTHER ABBREVIATIONS MAY VARY.

SYMBOLS

DRAWING TITLE

SECTION REFERENCE

ELEVATION OR VIEW REFERENCE

DETAIL REFERENCE

ENLARGEMENT REFERENCE

DETAIL KEYNOTE INDICATOR

NORTH ARROW

GRAPHIC SCALE

REVISION

SPOT ELEVATION

LINETYPE LEGEND

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4.1 FIRST RESUBMISSION	09/02/22

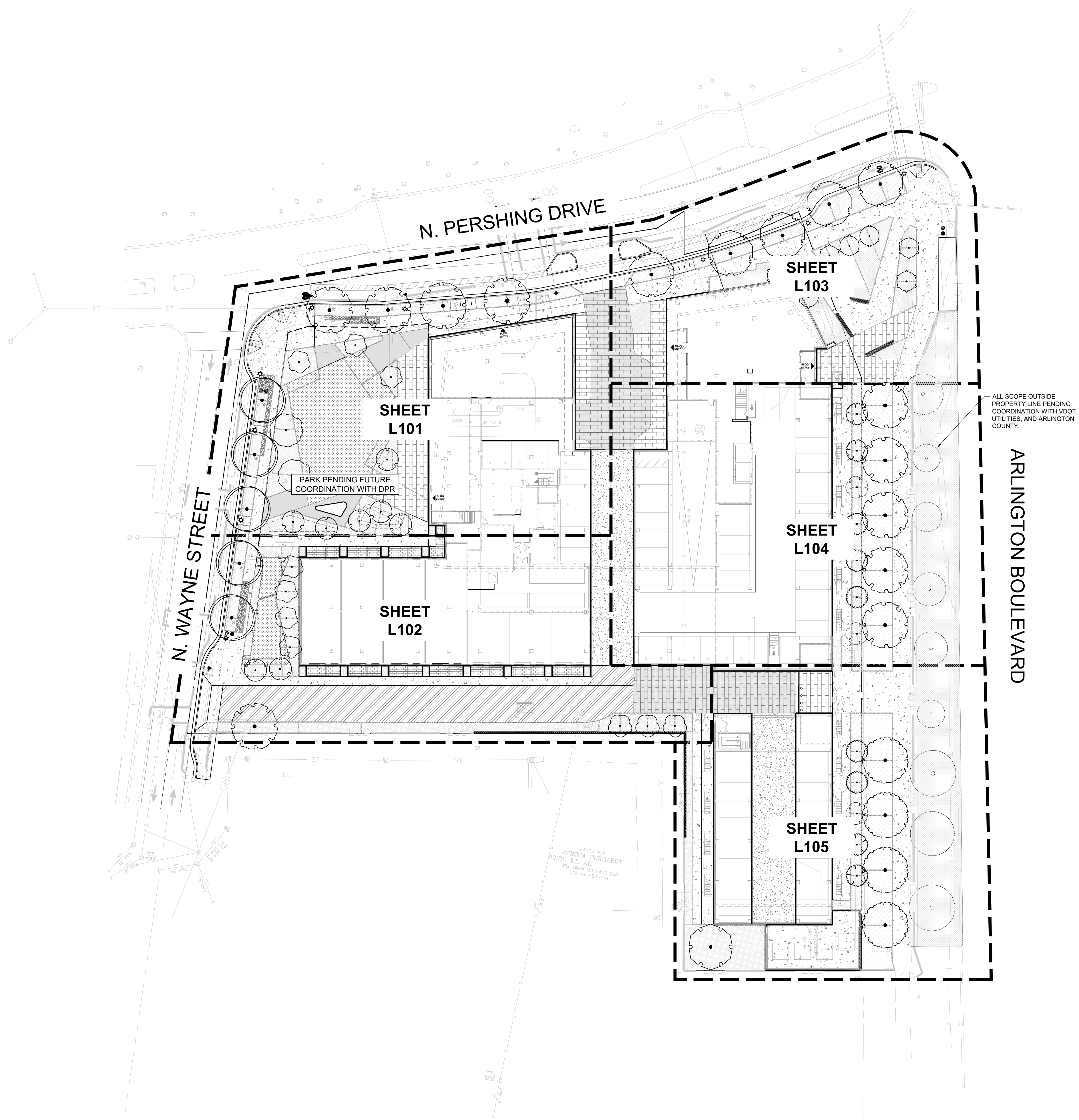


GENERAL LEGEND

L-002

PROJECT NO.

2021205



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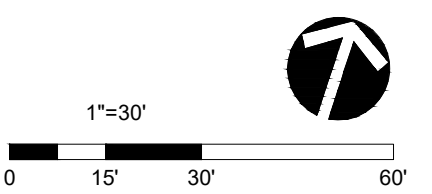
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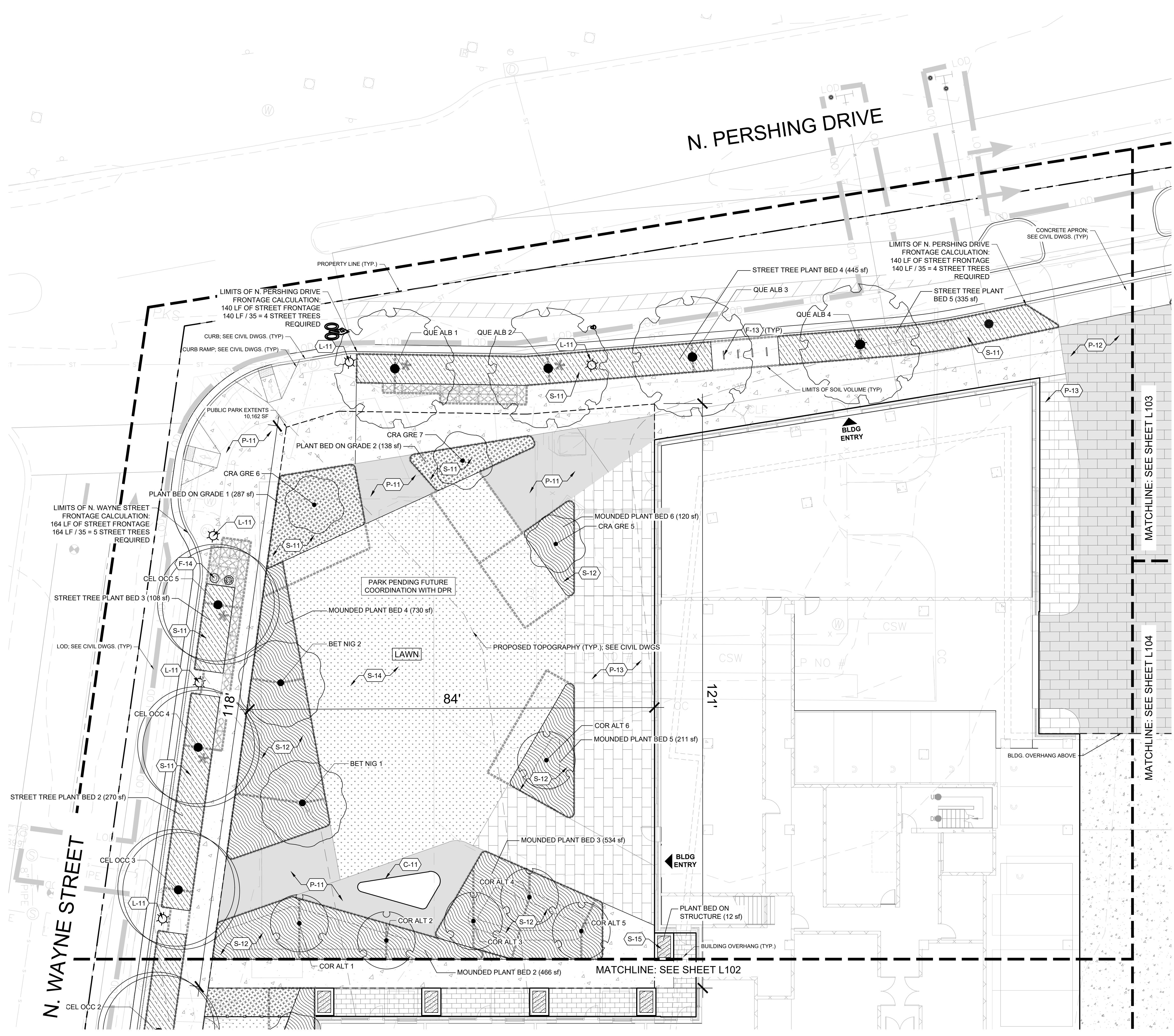
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REFERENCE PLAN

L-003

- NOTES:**
1. SEE SHEET L-110 FOR LANDSCAPE CALCULATIONS.
 2. SEE CIVIL DRAWINGS FOR ALL UTILITY INFORMATION AND ASSESSMENT.
 3. ALL HATCHES ARE FOR GRAPHIC REPRESENTATION ONLY
 4. ALL DRAWINGS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN.
 5. DRAWINGS ARE NOT FOR CONSTRUCTION.



REFERENCE SCHEDULE

SYMBOL	CUSTOM DESCRIPTION	DETAIL
C-11	PAVILION	
SYMBOL	FURNISHINGS DESCRIPTION	DETAIL
F-11	BENCH	
F-12	BOLLARD	
F-13	BIKE RACK	2/L521
F-14	RECEPTACLES	3/L521
SYMBOL	PAVING & CURBS DESCRIPTION	DETAIL
P-10	VEH. CONC. PAVING	4/L501
P-11	PED. CONC. PAVING	1/L501
P-12	VEH. UNIT PAVING	2/L501
P-13	PED. UNIT PAVING	3/L501
P-14	SYNTHETIC TURF	5/L501
SYMBOL	RAILINGS & FENCES DESCRIPTION	DETAIL
R-11	FENCE - DOG RUN	
R-12	GATE	
SYMBOL	SOILS DESCRIPTION	DETAIL
S-11	PLANT BED	
S-12	MOUNDED PLANT BED	
S-13	BIORETENTION PLANTING	
S-14	LAWN	
S-15	PLANTER	

TREE SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	BET NIG	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK
	CEL OCC	CELTIS OCCIDENTALIS / COMMON HACKBERRY
	COR ALT	CORNUS ALTERNIFOLIA / PAGODA DOGWOOD
	CRA GRE	CRATAEGUS VIRIDIS / GREEN HAWTHORN
	QUE ALB	QUERCUS ALBA / WHITE OAK

PLANTING SCHEDULE

	STREET TREE PLANT BED	1,508 SF
	MOUNDED PLANT BED	1,595 SF
	PLANT BED ON GRADE	425 SF
	PLANT BED ON STRUCTURE	12 SF
	LIMITS OF SOIL VOLUME TAKEOFF	
	PROPOSED STRUCTURAL CELLS TO ACHIEVE REQUIRED SOIL VOLUME	

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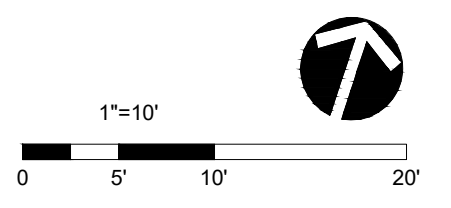
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PLAN - SITE NORTH WEST

L-101

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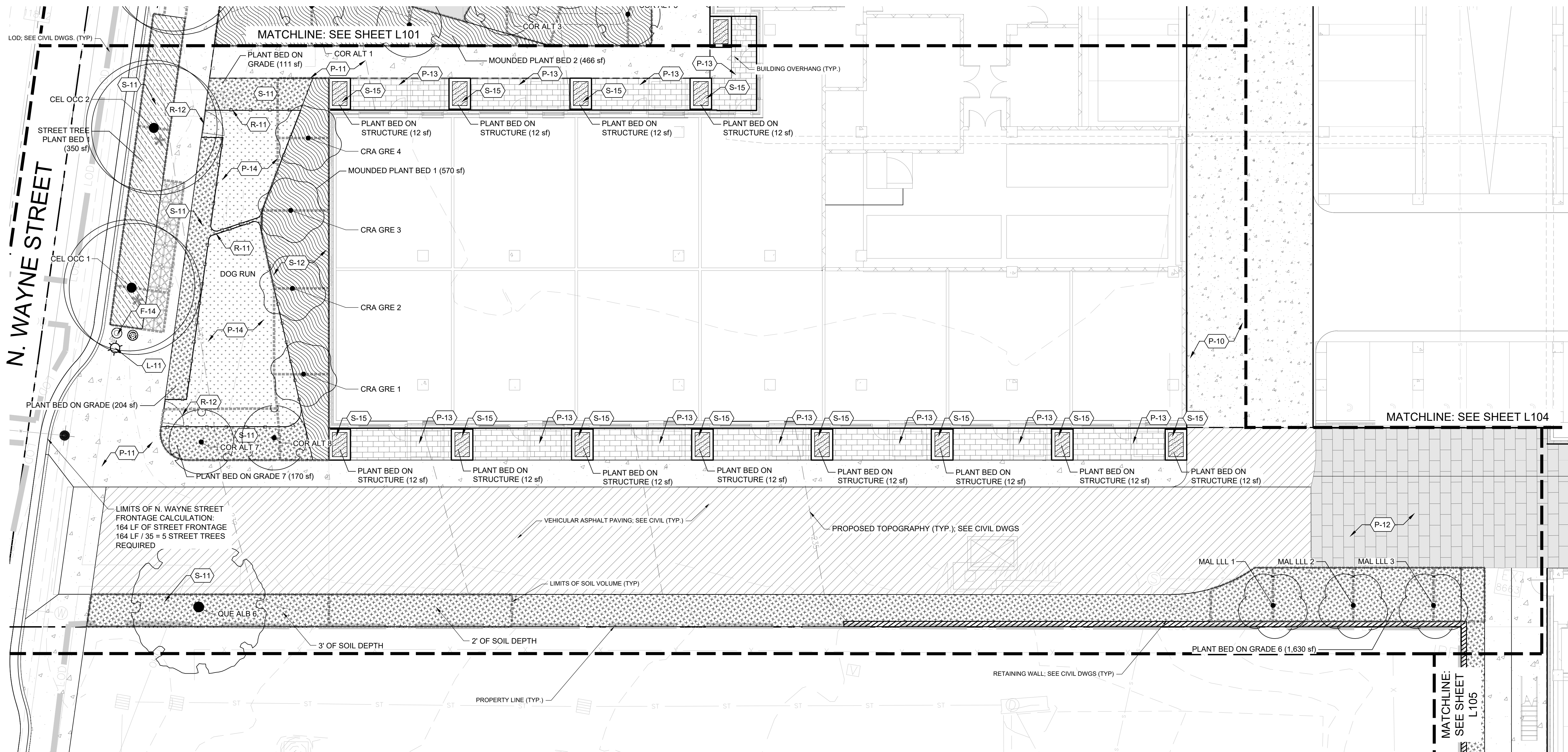
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TREE SCHEDULE

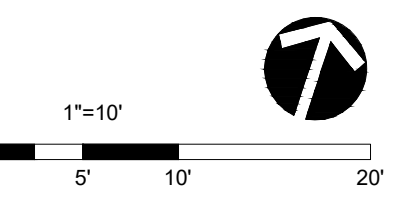
TREES	CODE	BOTANICAL / COMMON NAME
	CEL OCC	CELTIS OCCIDENTALIS / COMMON HACKBERRY
	COR ALT	CORNUS ALTERNIFOLIA / PAGODA DOGWOOD
	CRA GRE	CRATAEGUS VIRIDIS / GREEN HAWTHORN
	MAL LLL	MALUS CORONARIA / SWEET CRABAPPLE
	QUE ALB	QUERCUS ALBA / WHITE OAK

PLANTING SCHEDULE

	STREET TREE PLANT BED	350 SF
	MOUNDED PLANT BED	1,036 SF
	PLANT BED ON GRADE	2,564 SF
	PLANT BED ON STRUCTURE	157 SF

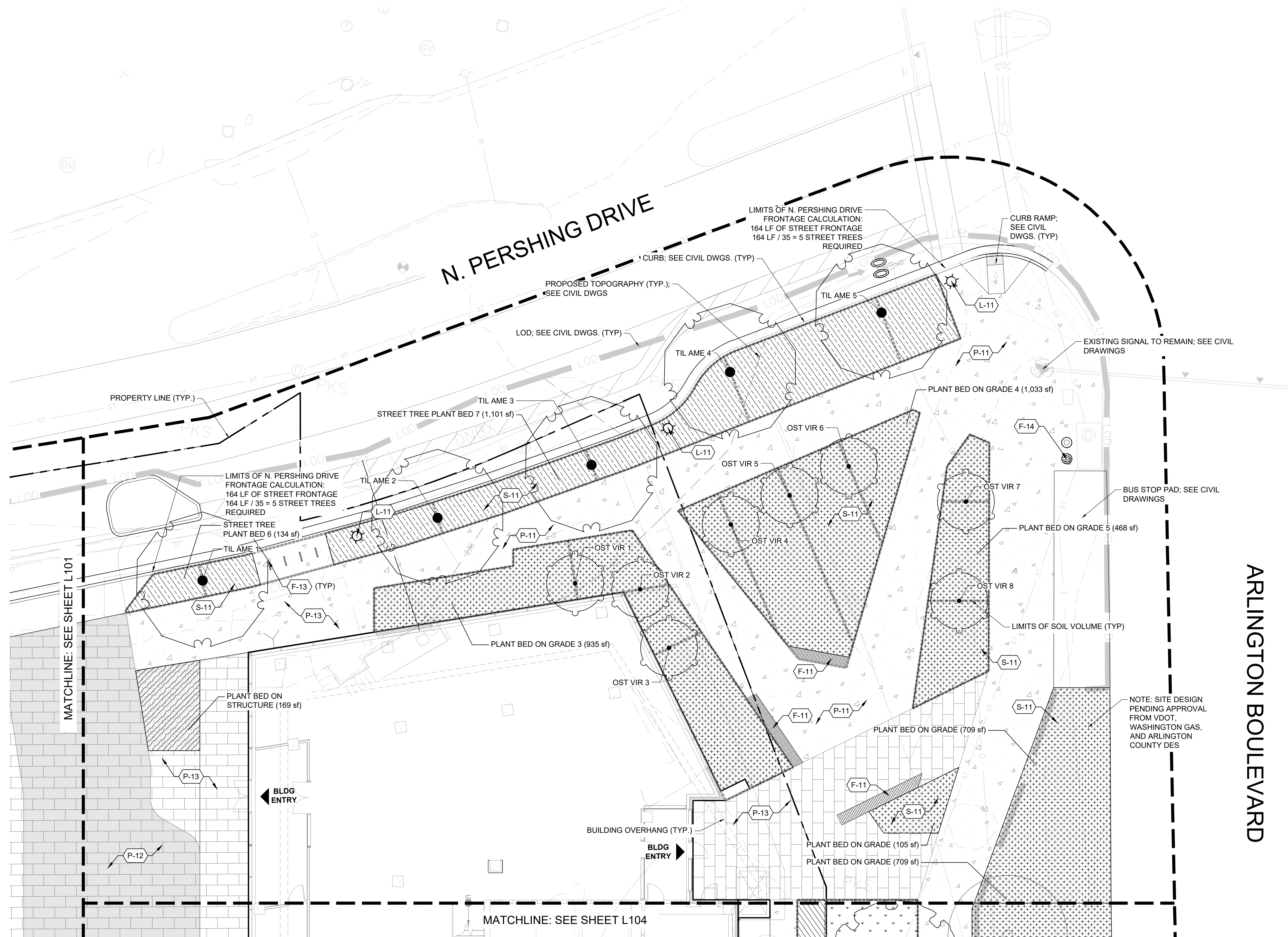
REFERENCE SCHEDULE

SYMBOL	CUSTOM DESCRIPTION	DETAIL	SYMBOL	RAILINGS & FENCES DESCRIPTION	DETAIL
	PAVILION			FENCE - DOG RUN	
	BENCH			GATE	
	BOLLARD			PLANT BED	
	BIKE RACK	2/L521		MOUNDED PLANT BED	
	RECEPTACLES	3/L521		BIORETENTION PLANTING	
	VEH. CONC. PAVING	4/L501		LAWN	
	PED. CONC. PAVING	1/L501		PLANTER	
	VEH. UNIT PAVING	2/L501			
	PED. UNIT PAVING	3/L501			
	SYNTHETIC TURF	5/L501			
				LIMITS OF SOIL VOLUME TAKEOFF	
				PROPOSED STRUCTURAL CELLS TO ACHIEVE REQUIRED SOIL VOLUME	



PLAN - SITE SOUTH WEST

L-102



REFERENCE SCHEDULE

SYMBOL	CUSTOM DESCRIPTION	DETAIL
(G-11)	PAVILION	
SYMBOL	FURNISHINGS DESCRIPTION	DETAIL
(F-11)	BENCH	
(F-12)	BOLLARD	
(F-13)	BIKE RACK	2/L521
(F-14)	RECEPTACLES	3/L521
SYMBOL	PAVING & CURBS DESCRIPTION	DETAIL
(P-10)	VEH. CONC. PAVING	4/L501
(P-11)	PED. CONC. PAVING	1/L501
(P-12)	VEH. UNIT PAVING	2/L501
(P-13)	PED. UNIT PAVING	3/L501
(P-14)	SYNTHETIC TURF	5/L501
SYMBOL	RAILINGS & FENCES DESCRIPTION	DETAIL
(R-11)	FENCE - DOG RUN	
(R-12)	GATE	
SYMBOL	SOILS DESCRIPTION	DETAIL
(S-11)	PLANT BED	
(S-12)	MOUNDED PLANT BED	
(S-13)	BIORETENTION PLANTING	
(S-14)	LAWN	

TREE SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	OST VIR	OSTRYA VIRGINIANA / AMERICAN HOPHORNBEAM
	TIL AME	TILIA AMERICANA / AMERICAN LINDEN

PLANTING SCHEDULE

	STREET TREE PLANT BED	1,209 SF
	PLANT BED ON GRADE	3,250 SF
	PLANT BED ON STRUCTURE	169 SF
	LAWN	2,650 SF
	LIMITS OF SOIL VOLUME TAKEOFF	
	PROPOSED STRUCTURAL CELLS TO ACHIEVE REQUIRED SOIL VOLUME	

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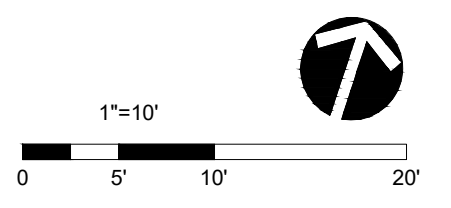
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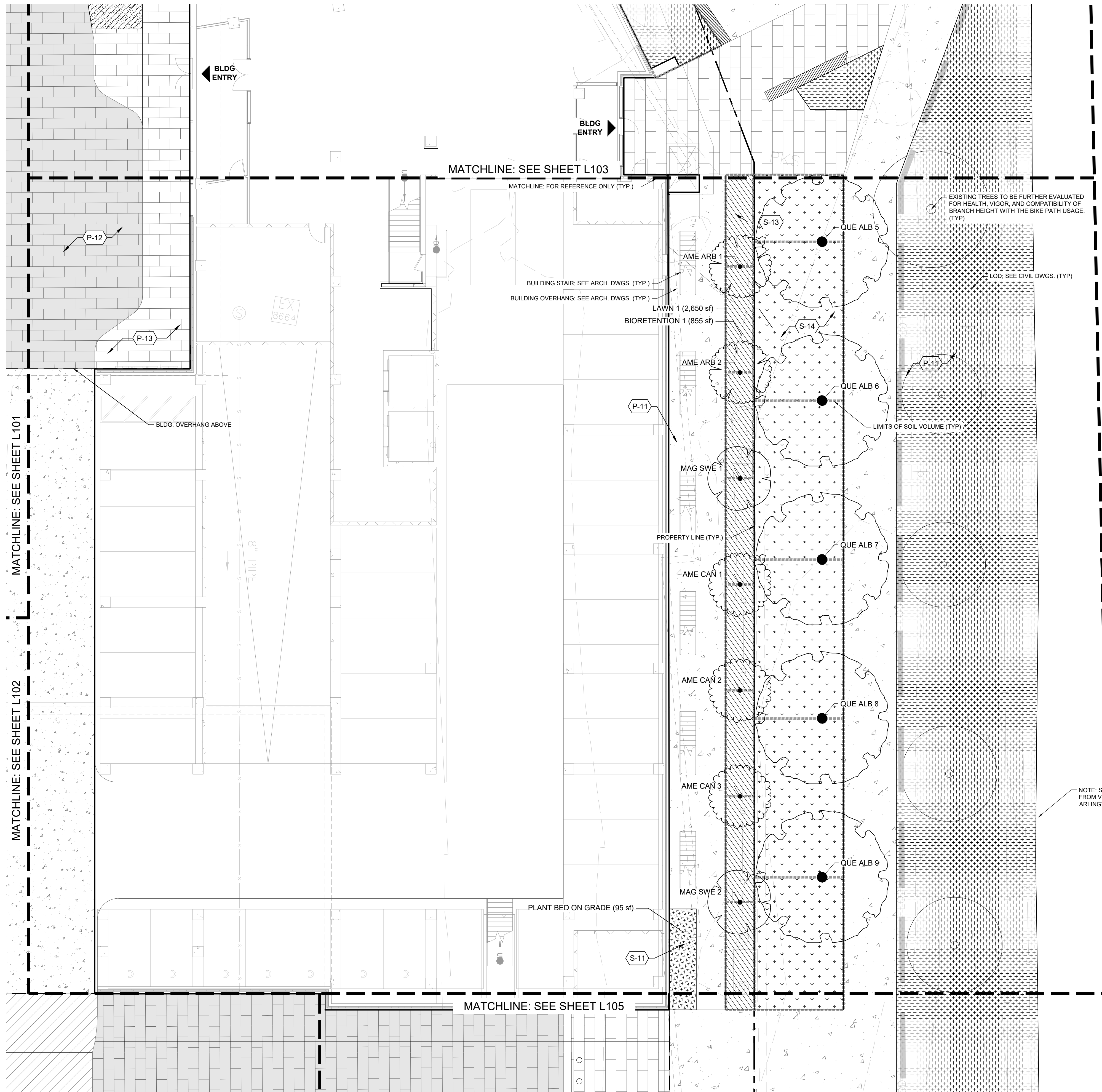
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PLAN - SITE NORTH EAST

L-103



ARLINGTON BOULEVARD

REFERENCE SCHEDULE

SYMBOL	CUSTOM DESCRIPTION	DETAIL
C-11	PAVILION	
F-11	BENCH	
F-12	BOLLARD	
F-13	BIKE RACK	2/L521
F-14	RECEPTACLES	3/L521
P-10	PAVING & CURBS	
P-10	VEH. CONC. PAVING	4/L501
P-11	PED. CONC. PAVING	1/L501
P-12	VEH. UNIT PAVING	2/L501
P-13	PED. UNIT PAVING	3/L501
P-14	SYNTHETIC TURF	5/L501
R-11	RAILINGS & FENCES	
R-11	FENCE - DOG RUN	
R-12	GATE	
S-11	SOILS	
S-11	PLANT BED	
S-12	MOUNDED PLANT BED	
S-13	BIORETENTION PLANTING	
S-14	LAWN	
S-15	PLANTER	

TREE SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	AME ARB	AMELANCHIER ARBOREA / DOWNY SERVICEBERRY
	AME CAN	AMELANCHIER CANADENSIS / CANADIAN SERVICEBERRY
	MAG SWE	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA
	QUE ALB	QUERCUS ALBA / WHITE OAK

PLANTING SCHEDULE

	BIORETENTION	855 SF
	PLANT BED ON GRADE	8,382 SF
	LIMITS OF SOIL VOLUME TAKEOFF	
	PROPOSED STRUCTURAL CELLS TO ACHIEVE REQUIRED SOIL VOLUME	

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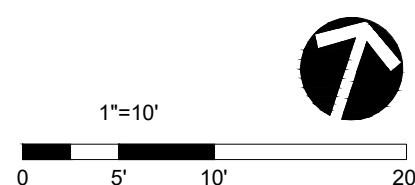
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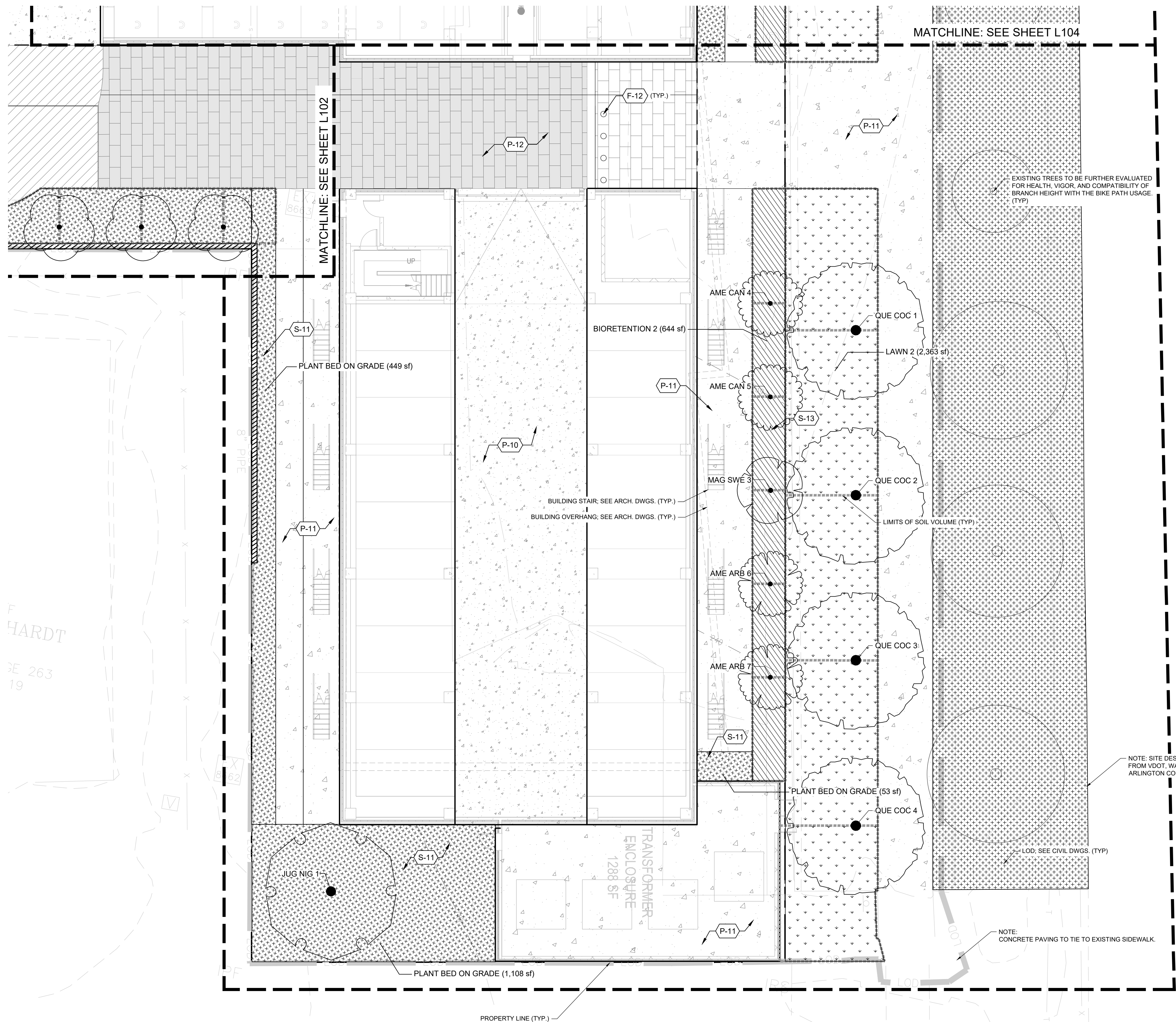
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PLAN - SITE EAST

L-104



REFERENCE SCHEDULE

SYMBOL	CUSTOM DESCRIPTION	DETAIL
C-11	PAVILION	
SYMBOL	FURNISHINGS DESCRIPTION	DETAIL
F-11	BENCH	
F-12	BOLLARD	
F-13	BIKE RACK	2/L521
F-14	RECEPTACLES	3/L521
SYMBOL	PAVING & CURBS DESCRIPTION	DETAIL
P-10	VEH. CONC. PAVING	4/L501
P-11	PED. CONC. PAVING	1/L501
P-12	VEH. UNIT PAVING	2/L501
P-13	PED. UNIT PAVING	3/L501
P-14	SYNTHETIC TURF	5/L501
SYMBOL	RAILINGS & FENCES DESCRIPTION	DETAIL
R-11	FENCE - DOG RUN	
R-12	GATE	
SYMBOL	SOILS DESCRIPTION	DETAIL
S-11	PLANT BED	
S-12	MOUNDED PLANT BED	
S-13	BIORETENTION PLANTING	
S-14	LAWN	
S-15	PLANTER	

TREE SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	AME ARB	AMELANCHIER ARBOREA / DOWNY SERVICEBERRY
	AME CAN	AMELANCHIER CANADENSIS / CANADIAN SERVICEBERRY
	JUG NIG	JUGLANS NIGRA / BLACK WALNUT
	MAG SWE	MAGNOLIA VIRGINIANA / SWEETBAY MAGNOLIA
	QUE COC	QUERCUS COCCINEA / SCARLET OAK

PLANTING SCHEDULE

	BIORETENTION	644 SF
	PLANT BED ON GRADE	9,992 SF
	LAWN	5,013 SF
	LIMITS OF SOIL VOLUME TAKEOFF	
	PROPOSED STRUCTURAL CELLS TO ACHIEVE REQUIRED SOIL VOLUME	

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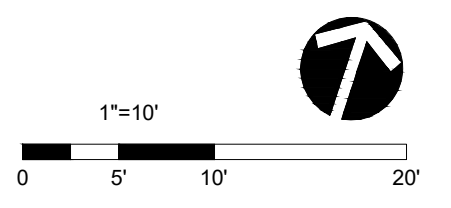
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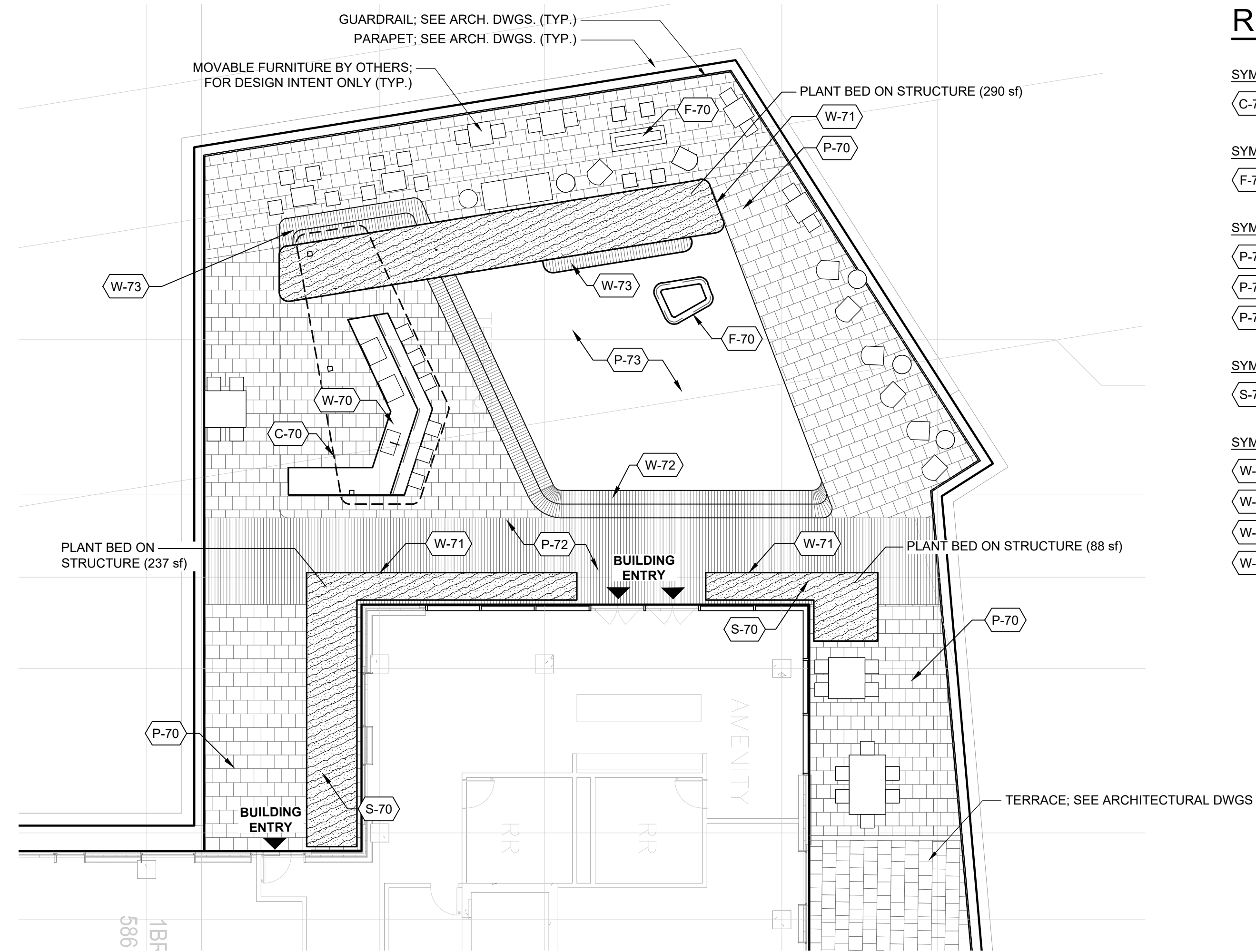
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4.1 PRELIMINARY SUBMISSION	06/10/22
4.1 FIRST RESUBMISSION	09/02/22



PLAN - SITE SOUTH EAST

L-105



REFERENCE NOTES SCHEDULE

SYMBOL	CUSTOM DESCRIPTION	DETAIL
(C-70)	OVERHEAD STRUCTURE	
FURNISHINGS DESCRIPTION		
(F-70)	FIRE FEATURE	
PAVING & CURBS DESCRIPTION		
(P-70)	PEDESTAL PAVERS	2/L502
(P-72)	WOOD DECKING - ON STRUCTURE	4/L502
(P-73)	SYNTHETIC TURF - ON STRUCTURE	3/L502
SOILS DESCRIPTION		
(S-70)	INTENSIVE GREEN ROOF	5/L602
WALLS & STAIRS DESCRIPTION		
(W-70)	OUTDOOR KITCHEN	
(W-71)	METAL WALL	1/L511
(W-72)	WOOD STEPS	
(W-73)	WOOD BENCH	

PLANTING SCHEDULE

(Hatched Box)	PLANT BED ON STRUCTURE	616 SF
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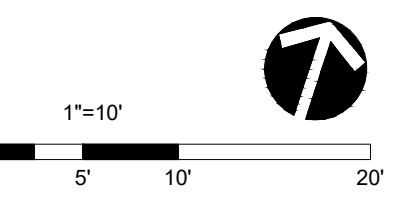
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PLAN - LEVEL 7 NORTH

L-108

20-YEAR TREE CANOPY COVERAGE WORKSHEET PER CHESAPEAKE BAY PRESERVATION ORDINANCE - TREES WITHIN THE PROPERTY LINE

QUANTITY	KEY	TREE SPECIES	COMMON NAME	PLANTING SIZE HEIGHT (ft.)	CALIPER SIZE AT PLANTING (in.)	SPREAD AT PLANTING (ft.)	CANOPY SIZE	20 YEAR COVERAGE (sq. ft.)	SUBTOTAL COVERAGE (sq. ft.)
4	AME ARB	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	6-7		4-6	SMALL-MEDIUM	137.50	550.00
5	AME CAN	AMELANCHIER CANADENSIS	CANADIAN SERVICEBERRY	6-7		4-6	SMALL-MEDIUM	137.50	687.50
2	BET NIG	BETULA NIGRA	RIVER BIRCH	8-10		5-7	MEDIUM	218.75	437.50
5	CEL OCC	CELTIS OCCIDENTALIS	COMMON HACKBERRY	2-2 1/2		2-3	LARGE	393.75	1968.75
8	COR ALT	CORNUS ALETRIFOLIA	PAGODA DOGWOOD	>1		2-3	SMALL-MEDIUM	137.50	1100.00
7	CRA GRE	CRATAEGUS VIRIDIS	GREEN HAWTHORN	>1		3-4	SMALL-MEDIUM	137.50	962.50
1	JUG NIG	JUGLANS NIGRA	BLACK WALNUT	2-2 1/2		5-7	LARGE	393.75	393.75
3	MAG SWE	MAGNOLIA VIRGINIANA	SWEETBAY	6-7		3-4	SMALL-MEDIUM	137.50	412.5
3	MAL LLL	MALUS CORONARIA	SWEET CRABAPPLE	>1		2-3	SMALL-MEDIUM	137.50	412.5
3	OST VIR	OSTRYA VIRGINIANA	EASTERN HOPHORNBEAM	>1		2-3	SMALL-MEDIUM	137.50	412.5
5	QUE ALB	QUERCUS ALBA	WHITE OAK	1 3/4 - 2		4-5	LARGE	393.75	1968.8
3	TIL AME	TILIA AMERICANA	AMERICAN BASSWOOD	2-2 1/2		3-4	LARGE	393.75	1181.3
TOTAL:	49								TOTAL: 10487.50

TREES PROVIDED WITHIN THE PROPERTY LINE 49
 TOTAL TREE CANOPY COVERAGE PROVIDED 10487.50 SQ FT
 TOTAL SITE AREA 103,566 SQ FT
 PERCENT OF TREE CANOPY COVERAGE PROVIDED =10.13%

NOTE: ARLINGTON COUNTY CODE PER CHAPTER 61
 CHESAPEAKE BAY PRESERVATION ORDINANCE MINIMUM
 TREE CANOPY REQUIREMENTS: TEN PERCENT (10%).

103,566 SQ FT SITE AREA X 10% = 10,357 SQ FT MINIMUM
 TREE CANOPY COVERAGE

PLANT SCHEDULE - TREES LOCATED IN PUBLIC RIGHT-OF-WAY

QTY.	KEY	GENUS	SPECIES	VARIETY	COMMON NAME	CALIPER SIZE	SPREAD AT PLANTING
5	OST VIR	OSTRAYA	VIRGINIANA	-	AMERICAN HOPHORNBEAM	>1"	2-3'
5	QUE ALB	QUERCUS	ALBA	-	WHITE OAK	1 3/4 - 2"	4-5'
5	QUE COC	QUERCUS	COCCICNEA	-	SCARLET OAK	2 - 2 1/2"	4-5'
2	TIL AME	TILIA	AMERICANA	-	AMERICAN LINDEN	2-2 1/2"	3-4'

17 TOTAL TREES PROVIDED

LOCATION	TREE ID	CANOPY SIZE	SOIL VOLUME REQUIRED (CF)	TREE SOIL AREA	SOIL VOLUME PROVIDED (@ 3-FT DEPTH)	STRUCTURAL CELLS† (Y/N)
STREET TREE PLANT BED 1						
	CEL OCC 1	LARGE	3000	336	3008	Y
	CEL OCC 2	LARGE	3000	432	1296	Y
STREET TREE PLANT BED 2						
	CEL OCC 3	LARGE	3000	350	1050	N
	CEL OCC 4	LARGE	3000	410	1230	Y
STREET TREE PLANT BED 3						
	CEL OCC 5	LARGE	3000	338	1014	Y
STREET TREE PLANT BED 4						
	QUE ALB 1	LARGE	3000	336	1008	Y
	QUE ALB 2	LARGE	3000	463	1389	Y
	QUE ALB 3	LARGE	3000	391	1173	N
STREET TREE PLANT BED 5						
	QUE ALB 4	LARGE	3000	442	1326	N
STREET TREE PLANT BED 6						
	TIL AME 1	LARGE	3000	344	1032	N
STREET TREE PLANT BED 7						
	TIL AME 2	LARGE	3000	449	1347	N
	TIL AME 3	LARGE	3000	412	1236	N
	TIL AME 4	LARGE	3000	620	1860	N
	TIL AME 5	LARGE	3000	539	1617	N
MOUNDED PLANT BED 1						
	CRA GRE 1	MEDIUM	700	315	945	N
	CRA GRE 2	MEDIUM	700	332	996	N
	CRA GRE 3	MEDIUM	700	309	927	N
	CRA GRE 4	MEDIUM	700	245	735	N
MOUNDED PLANT BED 2						
	COR ALT 1	MEDIUM	700	367	1101	N
	COR ALT 2	MEDIUM	700	275	825	N
MOUNDED PLANT BED 3						
	COR ALT 3	MEDIUM	700	279	837	N
	COR ALT 4	MEDIUM	700	418	1254	N
	COR ALT 5	MEDIUM	700	255	765	N
MOUNDED PLANT BED 4						
	BET NIG 1	MEDIUM	700	556	1668	N
	BET NIG 2	MEDIUM	700	544	1632	N
MOUNDED PLANT BED 5						
	COR ALT 6	MEDIUM	900	334	1002	N
MOUNDED PLANT BED 6						
	CRA GRE 5	MEDIUM	900	301	903	N
PLANT BED ON GRADE 1						
	CRA GRE 6	MEDIUM	900	405	1215	N
PLANT BED ON GRADE 2						
	CRA GRE 7	MEDIUM	900	321	963	N
PLANT BED ON GRADE 3						
	OST VIR 1	MEDIUM	700	491	1473	N
	OST VIR 2	MEDIUM	700	263	789	N
	OST VIR 3	MEDIUM	700	455	1365	N
PLANT BED ON GRADE 4						
	OST VIR 4	MEDIUM	700	543	1629	N
	OST VIR 5	MEDIUM	700	771	2313	N
	OST VIR 6	MEDIUM	700	511	1533	N
PLANT BED ON GRADE 5						
	OST VIR 7	MEDIUM	700	266	798	N
	OST VIR 8	MEDIUM	700	384	1152	N
LAWN 1						
	QUE ALB 5	LARGE	3000	717	2151	N
	QUE ALB 6	LARGE	3000	1008	3024	N
	QUE ALB 7	LARGE	3000	1008	3024	N
	QUE ALB 8	LARGE	3000	1008	3024	N
	QUE ALB 9	LARGE	3000	873	2619	N
LAWN 2						
	QUE COC 1	LARGE	3000	897	2611	N
	QUE COC 2	LARGE	3000	1008	3024	N
	QUE COC 3	LARGE	3000	1018	3054	N
	QUE COC 4	LARGE	3000	953	2859	N
BIORETENTION 1						
	AME ARB 1	SMALL	600	301	603	N
	AME ARB 2	SMALL	600	210	630	N
	MAG SWE 1	SMALL	600	210	630	N
	AME CAN 1	SMALL	600	210	630	N
	AME CAN 2	SMALL	600	210	630	N
	AME CAN 3	SMALL	600	210	630	N
	MAG SWE 2	SMALL	600	217	651	N
BIORETENTION 2						
	AME CAN 4	SMALL	600	224	672	N
	AME CAN 5	SMALL	600	203	609	N
	MAG SWE 3	SMALL	600	203	609	N
	AME ARB 6	SMALL	600	203	609	N
	AME ARB 7	SMALL	600	214	642	N
PLANT BED ON GRADE 6						
	QUE ALB 6	LARGE	3000	268 @ 3" + 208 @ 2"	1210	N
	MAL LLL 1	MEDIUM	700	246	738	N
	MAL LLL 2	MEDIUM	700	289	867	N
	MAL LLL 3	MEDIUM	700	243	729	N
PLANT BED ON GRADE 7						
	COR ALT 7	SMALL	600	204	612	N
	COR ALT 8	SMALL	600	294	882	N

* TREE CALCULATED AT VARYING SOIL DEPTHS

TREE INVENTORY & ANALYSIS

2201 Arlington Blvd. Arlington, VA

Date of site visit(s): March 11, 2022

Certified Arborist: Ben Hartmann (MA-G213A)

Tree #	Botanic Name	Common Name	Caliper (DBH)	Condition Rating	Species Rating	Total Rating	Replacements Required	CRZ % Impacted	Preserve/Remove
T101	Quercus phellos	Willow Oak	7.2	0.70	0.70	3.93		0%	Preserve
T102	Lagerstroemia indica	Grape Myrtle*	5	0.70	0.70	2.45		0%	Preserve
T103	Quercus phellos	Willow Oak	6.6	0.70	0.70	4.31		0%	Preserve
T104	Lagerstroemia indica	Grape Myrtle*	5.1	0.70	0.70	2.50		0%	Preserve
T105	Lagerstroemia indica	Grape Myrtle*	5	0.70	0.70	2.45		0%	Preserve
T106	Quercus phellos	Willow Oak	12.3	0.70	0.70	6.03		0%	Preserve
T107	Quercus phellos	Willow Oak	13.2	0.70	0.70	6.47		0%	Preserve
T108	Quercus phellos	Willow Oak	13	0.70	0.70	6.37		0%	Preserve
T109	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
T110	Quercus phellos	Willow Oak	12	0.70	0.70	5.88		0%	Preserve
T111	Quercus phellos	Willow Oak	11	0.70	0.70	5.39		0%	Preserve
T112	Quercus phellos	Willow Oak	11	0.70	0.70	5.39		0%	Preserve
T113	Ginkgo biloba	Ginkgo Tree	7.5	0.75	0.70	3.94		0%	Preserve
T114	Ginkgo biloba	Ginkgo Tree	7	0.70	0.70	3.43		0%	Preserve
T115	Ginkgo biloba	Ginkgo Tree	7.8	0.75	0.70	4.10		0%	Preserve
T116	Ginkgo biloba	Ginkgo Tree	7.7	0.75	0.70	4.04		0%	Preserve
T117	Ginkgo biloba	Ginkgo Tree	8.2	0.75	0.70	4.31		0%	Preserve
T118	Ginkgo biloba	Ginkgo Tree	8	0.75	0.70	4.20		0%	Preserve
T119	Ginkgo biloba	Ginkgo Tree	7.2	0.75	0.70	3.78		0%	Preserve
T120	Prunus x Chiame	Chame Cherry	6	0.70	0.70	2.94		0%	Preserve
T121	Prunus x Chiame	Chame Cherry	5	0.60	0.70	2.10		0%	Preserve
T122	Prunus x Chiame	Chame Cherry	4	0.70	0.70	1.96		0%	Preserve
T123	Ilex attenuata	Foxglove Holly	4.5	0.80	0.40	1.44	1	100%	REMOVE
T124	Pyrus calleryana	Braeford Pear	26.5	0.45	0.40	4.77	1	100%	REMOVE
T125	Pyrus calleryana	Braeford Pear*	15.2	0.60	0.40	3.68	1	100%	REMOVE
T126	Pyrus calleryana	Braeford Pear*	14.5	0.60	0.40	3.48	1	100%	REMOVE
T127	Pyrus calleryana	Braeford Pear*	11.5	0.40	0.40	1.64	1	100%	REMOVE
T128	Pyrus calleryana	Braeford Pear*	13.8	0.50	0.40	2.76	1	100%	REMOVE
T129	Pyrus calleryana	Braeford Pear*	6.6	0.50	0.40	1.72	1	100%	REMOVE
T130	Pyrus calleryana	Braeford Pear*	12	0.45	0.40	2.16	1	100%	REMOVE
T131	Pyrus calleryana	Braeford Pear*	17	0.60	0.40	4.08	1	100%	REMOVE
T132	Pyrus calleryana	Braeford Pear*	17	0.60	0.40	4.08	1	100%	REMOVE
T133	Pyrus calleryana	Braeford Pear*	16	0.50	0.40	3.60	1	100%	REMOVE
T134	Robinia pseudoacacia	Black Locust	26.5	0.60	0.50	7.99	2	100%	REMOVE
T135	Robinia pseudoacacia	Black Locust	28.5	0.65	0.50	9.26		30%	Preserve
T136	Liquidambar styraciflua	Sweetgum	3	0.75	0.70	1.58		0%	Preserve
T137	Platanus x acerifolia	Lionion Planetree	5	0.75	0.70	2.63		0%	Preserve
T138	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
T139	Morus alba	White Mulberry*	8	0.60	0.40	1.92		15%	Preserve
T140	Morus alba	White Mulberry*	8	0.60	0.40	1.92		15%	Preserve
T141	Morus alba	White Mulberry*	10	0.55	0.40	2.20		30%	Preserve
T142	Tilia cordata	Little-leaf Linden	4.5	0.75	0.70	2.36		0%	Preserve
T143	Cercos canadensis	Eastern Redbud	3	0.70	0.70	1.47		0%	Preserve
T144	Cercos canadensis	Eastern Redbud	5	0.70	0.70	2.45		0%	Preserve
T145	Paikonia to								

Landscape Plan Notes and Details

LANDSCAPE AND PLANTING NOTES

- MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED ON PLANS, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- GRADING AND PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE, AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE AND STANDARDS. THE ACCEPTABLE PLANTING RANGE IS FROM MARCH-JUNE 15 AND SEPTEMBER-DECEMBER, FOR NON-TREE MATERIAL, AND OCTOBER - JUNE 15 FOR TREES. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS MUDDY OR FROZEN. CARE SHALL BE TAKEN TO PROVIDE PLANTS WITH ENOUGH WATER TO COMBAT HEAT STRESS DURING HOT/DRY WEATHER.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT OR REPRESENTATIVE. SOIL AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM BUILDING. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO GROWTH OF PLANT MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT PER APPROVED PLANS. NO TREES SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS. LAYOUT OF PLANTS SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED DENSELY FOLIATED BRANCHES, VIGOROUS ROOT SYSTEMS, AND BE FREE FROM DEFECTS AND INJURIES. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF ROOTBALL SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF ANSI "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE INSTALLER TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR ALL PLANT MATERIAL. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF PRACTICAL. IF THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE-DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD SHALL BE REJECTED, UNLESS OTHERWISE DIRECTED BY THE ARLINGTON COUNTY LANDSCAPE ARCHITECT OR REPRESENTATIVE.
- ALL INJURED ROOTS SHALL BE PRUNED USING ANSI A300 STANDARDS.
- CONTRACTOR SHALL PROVIDE 4 IN. MINIMUM THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHALL BE FREE OF WEEDS, DEBRIS, ROCKS LARGER THAN 2 IN., WOOD, ROOTS, VEGETABLE MATTER, AND CLAY CLODS. CLEAN, FERTILE TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED.

Landscape Plan Notes and Details

- PLANTING PITS SHALL BE DUG PER COUNTY DETAILS. SET PLANTS PLUMB AND STRAIGHT, WITH ROOT FLARES SLIGHTLY ABOVE GRADE. DO NOT COVER THE ROOT FLARE WITH SOIL OR MULCH. BACKFILL PLANTING PITS WITH AMENDED TOPSOIL, AND THOROUGHLY WATER AND TAMP AS BACK-FILLING PROGRESSES. WATER AGAIN TO ACHIEVE SOIL SATURATION IMMEDIATELY FOLLOWING PLANTING.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME, SO AS NOT TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH ANSI A300- STANDARDS FOR TREE CARE PRACTICES, TO PRESERVE THE HEALTH AND APPEARANCE OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- TREES SHALL BE SUPPORTED AFTER PLANTING ONLY AS DIRECTED BY THE URBAN FORESTER. IF INSTALLED, THE LANDSCAPE CONTRACTOR SHALL REMOVE STAKING, GUYING AND TREE WRAP AT THE END OF THE ONE-YEAR MAINTENANCE AND WARRANTY PERIOD.
- ALL PLANTING BEDS SHALL BE MULCHED WITH A 3 IN. LAYER OF WEED-FREE DOUBLE SHREDDED HARDWOOD BARK MULCH, OR OTHER EQUIVALENT AS APPROVED BY THE LANDSCAPE ARCHITECT OR REPRESENTATIVE. KEEP MULCH AWAY FROM TRUNKS OF TREES AND OTHER PLANT MATERIALS.
- NEW PLANTINGS AND TURF SHALL BE ADEQUATELY IRRIGATED OR WATERED THROUGHOUT ESTABLISHMENT.
- UPON COMPLETION OF ALL PLANTING AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT AND DEBRIS. ALL PAVED AREAS SHALL BE BROOM-SWEPT AND LEFT IN A NEAT CONDITION.
- URBAN FORESTER NOTIFICATION: THE DEVELOPER AGREES TO NOTIFY THE URBAN FORESTER AT LEAST 72 HOURS IN ADVANCE OF THE INSTALLATION OF DRAINAGE, SPECIAL SOIL EXPANSION EQUIPMENT, TREE PIT CREATION, AND SCHEDULED PLANTING OF ANY TREES IN THE PUBLIC RIGHT OF WAY, AND TO BE AVAILABLE AT THE TIME OF PLANTING TO MEET WITH DPR STAFF TO INSPECT THE PLANT MATERIAL, TREE PIT AND PLANTING TECHNIQUES. SOIL USED IN THE TREE PIT MUST MEET THE SPECIFICATIONS FOR STREET TREE PLANTING IN THE "STANDARDS FOR PLANTING AND PRESERVATION OF TREES ON SITE PLAN PROJECTS" AVAILABLE FROM THE URBAN FORESTER.

Landscape Plan Notes and Details

LANDSCAPE MAINTENANCE MANAGEMENT PROGRAM

- GENERAL:
 - A. ALL PLANTING AREAS, INCLUDING LAWNS, BUFFERS, AND PARKING LOTS, SHALL BE PERIODICALLY INSPECTED A MINIMUM OF ONCE PER MONTH. A FALL CLEAN-UP SHALL BE PERFORMED EACH YEAR.
 - B. REMOVE ALL LITTER, DEBRIS AND WEEDS.
 - C. MAINTAIN A MINIMUM OF A 2 INCH DEPTH OF ORGANIC HARDWOOD MULCH OR EQUIVALENT IN ALL PLANTING BEDS.
- IRRIGATION:
 - A. KEEP NEW TURF MOIST UNTIL ALL SEED GERMINATES AND BECOMES AN ESTABLISHED STAND OF TURF.
 - B. AUTOMATIC SPRINKLERS SHALL BE CLEANED OUT AND TURNED OFF IN THE FALL PRIOR TO THE FIRST FROST, AND TESTED WHEN TURNED ON IN THE SPRING.
 - C. EVALUATE SUCCESS OF IRRIGATION SYSTEM AND MODIFY AS NECESSARY.
- PRUNING: ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI PRUNING STANDARDS. REMOVAL OF DEAD, DISEASED, INSECT INFESTED OR WEAK WOOD SHALL TAKE PLACE WHEN APPROPRIATE FOR THE SPECIES. THE VIRGINIA TECH PRUNING CALENDAR SHALL BE USED FOR GUIDANCE ON APPROPRIATE TIMING. EXCESSIVE SHOOTS AND SUCKERS SHALL BE REMOVED.
- INSECT AND DISEASE CONTROL: THE CONTROL OF INSECTS AND DISEASE ASSOCIATED WITH ALL PLANTING AREAS SHALL BE A MAINTENANCE PRIORITY. ALL PLANTINGS, INCLUDING EXISTING MATURE TREES, SHALL BE PERIODICALLY INSPECTED FOR INSECT OR DISEASE INFESTATION. METHODS USED TO CONTROL INSECTS OR DISEASE MAY RANGE FROM SPRAYING AND PRUNING TO PLANT REMOVAL. SAFETY AND CONTROL SHALL BE OF PRIME CONCERN. TRAINED AND CERTIFIED PERSONNEL SHALL PERFORM THESE TASKS.
- RENOVATION:
 - A. RENOVATION INCLUDES THE RESEEDING OR REPLANTING OF LANDSCAPE AREAS DAMAGED, DESTROYED OR FAILING DUE TO INSECTS, DISEASE, WEATHER OR PHYSICAL DAMAGE.
 - B. ALL LAWN AREAS WHERE SOIL HAS BEEN EXPOSED SHALL BE RENOVATED DURING THE NEXT PLANTING SEASON. PROPER HORTICULTURAL AND SOIL EROSION PREVENTION METHODS SHALL BE USED. IF SOIL EROSION HAS OCCURRED, THE AREA SHALL BE REPAIRED WITH A SEED MIXTURE COMPATIBLE WITH EXISTING SOIL.
 - C. ALL PLANTINGS WHICH ARE DAMAGED OR DESTROYED SHALL BE REPLACED DURING OR BEFORE THE NEXT GROWING SEASON.
 - D. CARE SHALL BE TAKEN TO AVOID DAMAGE TO ESTABLISHED TREE ROOTS DURING RENOVATION OF LANDSCAPE
- SITE AMENITIES: BENCHES, PATHS, BICYCLE RACKS, TRASH RECEPTACLES, AND SIGNS SHALL BE INSPECTED AT LEAST TWICE A YEAR, ONCE IN SPRING AND ONCE IN AUTUMN, TO DETERMINE THEIR CONDITION. ANY DAMAGED, WORN, OR UNSAFE CONDITIONS SHALL BE RECTIFIED IMMEDIATELY.
- PAVED SURFACES:
 - A. ALL PAVED SURFACES SHALL BE INSPECTED ON A MONTHLY-BASIS FOR TRASH, STAINS, DAMAGE, CRACKS, POT HOLES, AND OBSTRUCTIONS, AND RETURNED TO THEIR ORIGINAL CONDITIONS. ANY UNSAFE CONDITIONS, SUCH AS UNEVEN SURFACES OR TRIPPING HAZZARDS, SHALL BE RECTIFIED IMMEDIATELY.

ARVA APARTMENTS

2201 ARLINGTON BOULEVARD,
ARLINGTON, VA 22201

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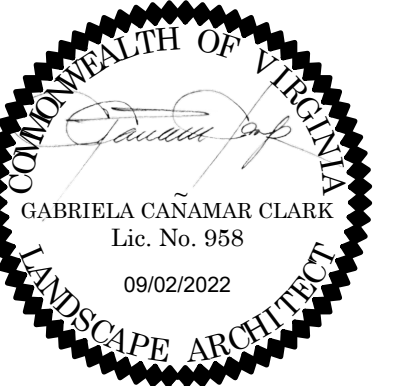
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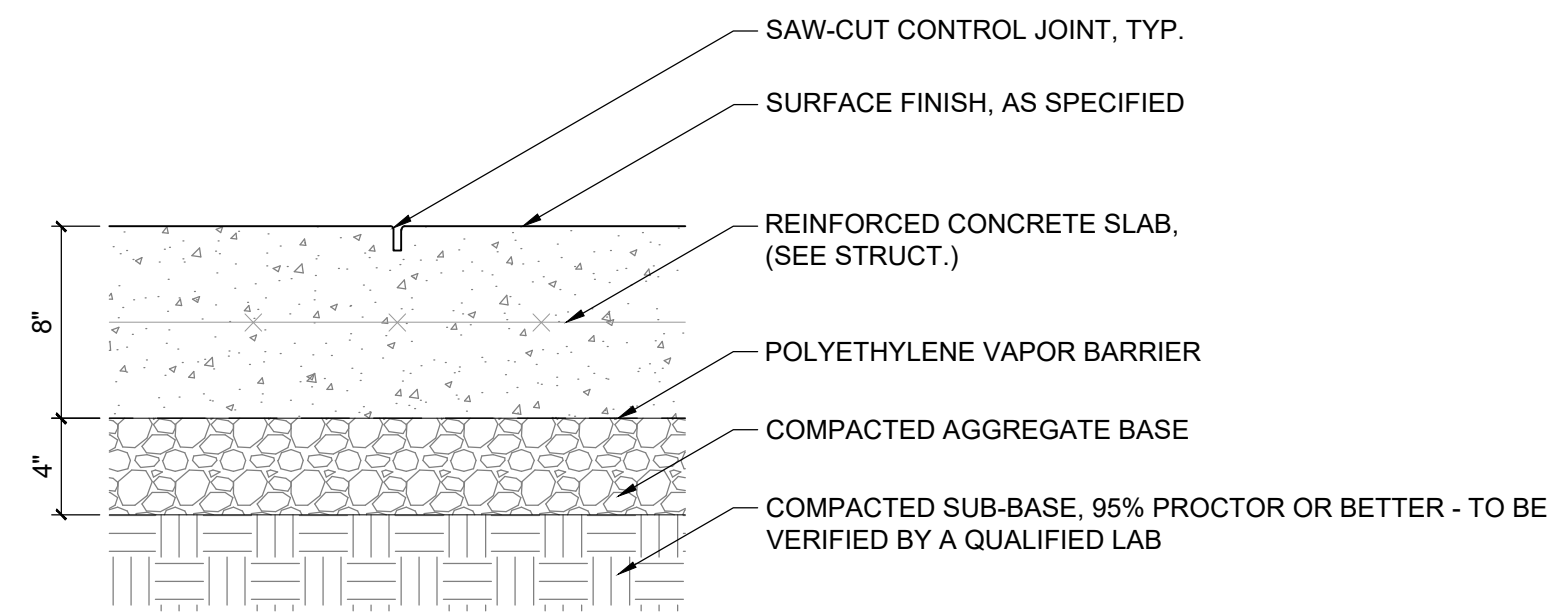
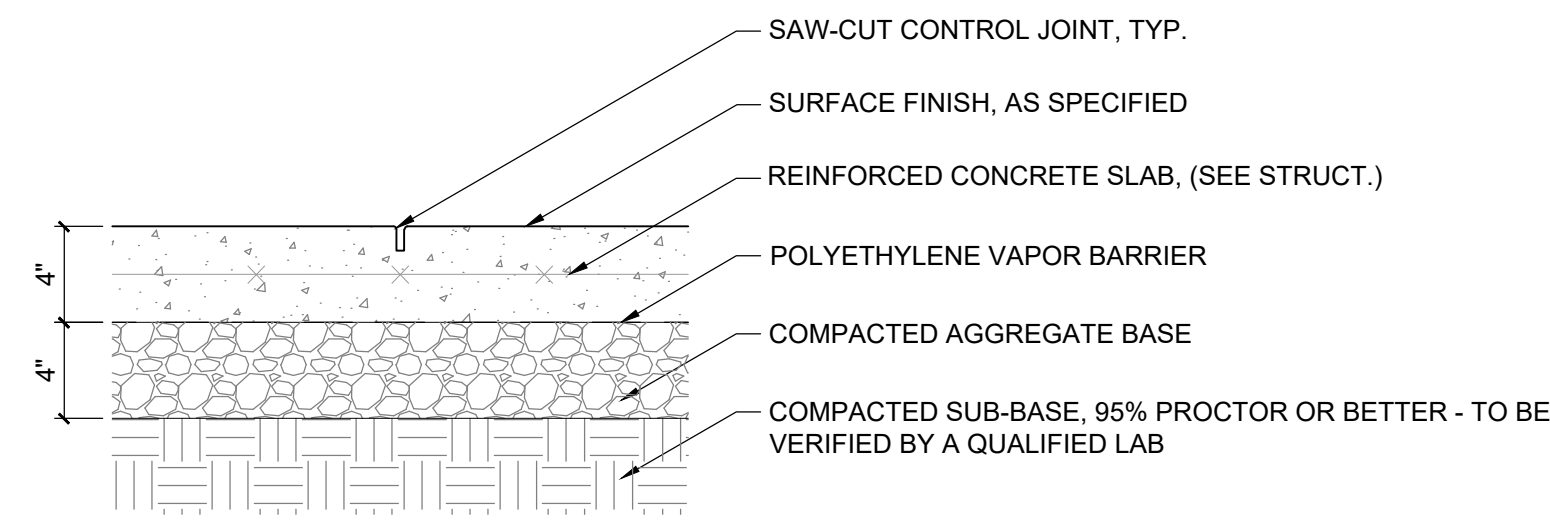
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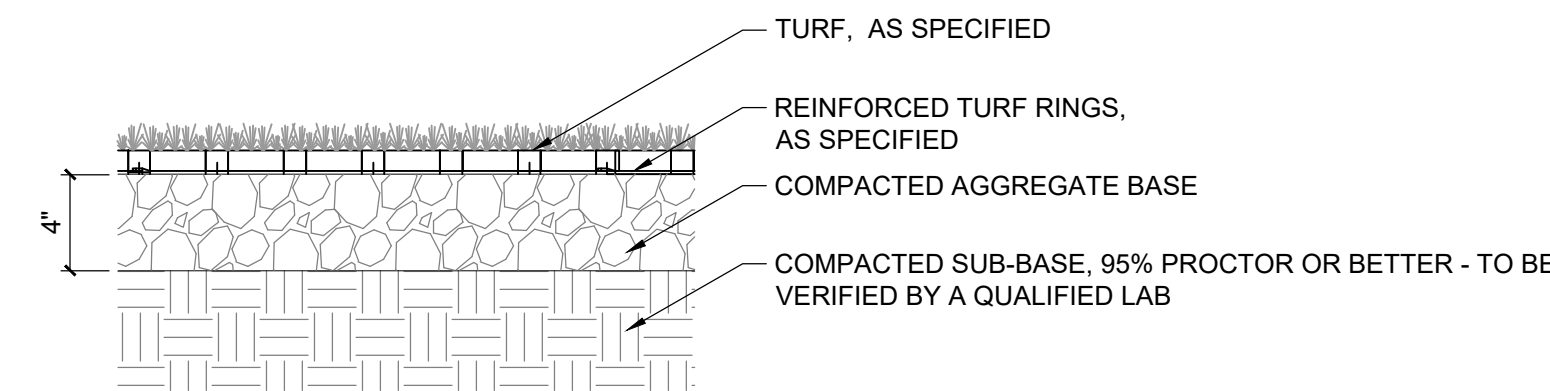
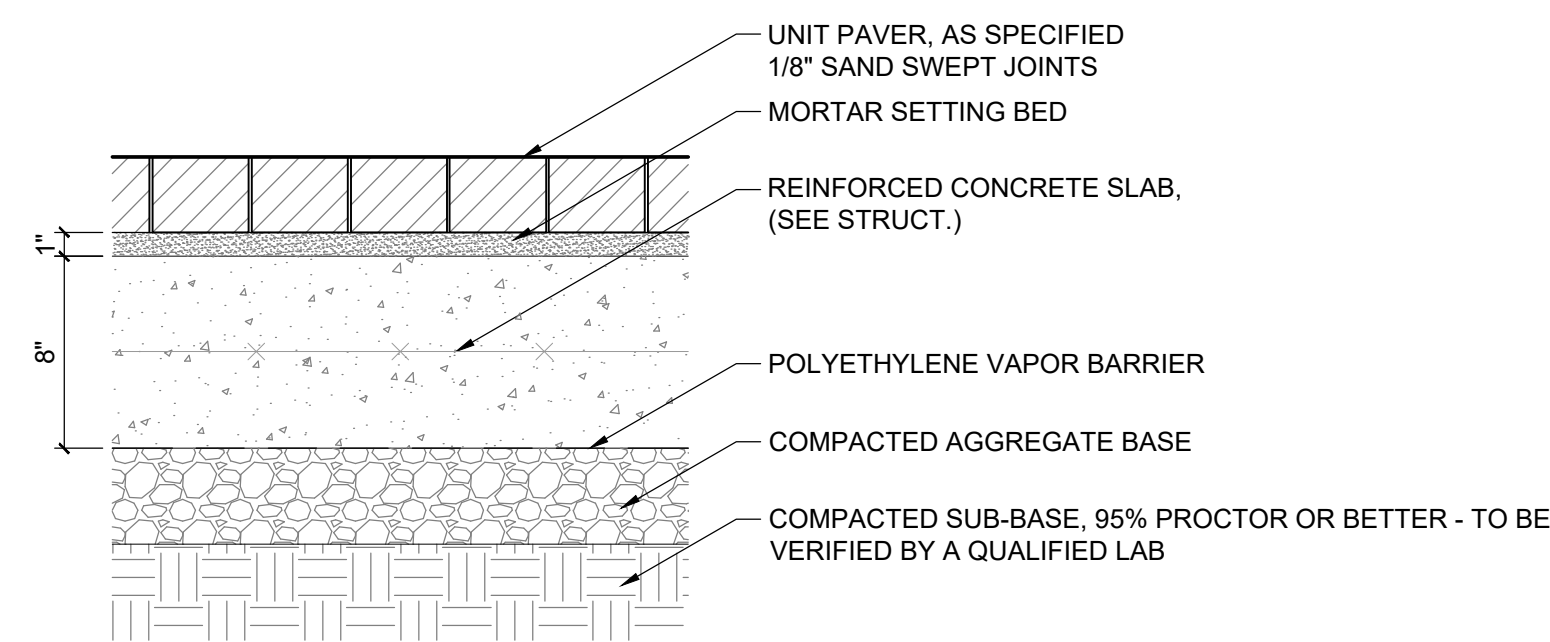
PLANTING NOTES

L-111



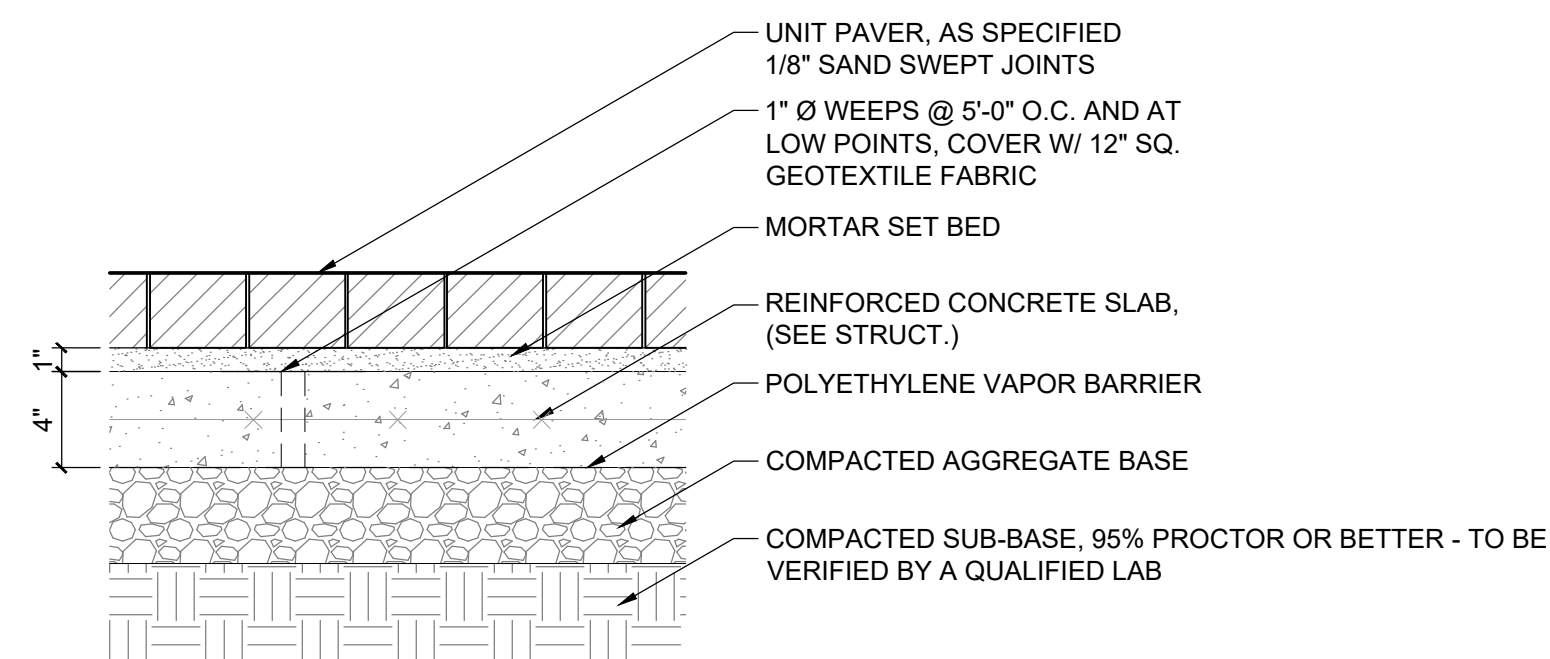
1 PED. CONC. PAVING
L501 SECTION 1 1/2" = 1'-0"

4 VEH. CONC. PAVING
L501 SECTION 1 1/2" = 1'-0"



2 VEH. UNIT PAVING
L501 SECTION 1 1/2" = 1'-0"

5 SYNTHETIC TURF
L501 SECTION 1 1/2" = 1'-0"



3 PED. UNIT PAVING
L501 SECTION 1 1/2" = 1'-0"

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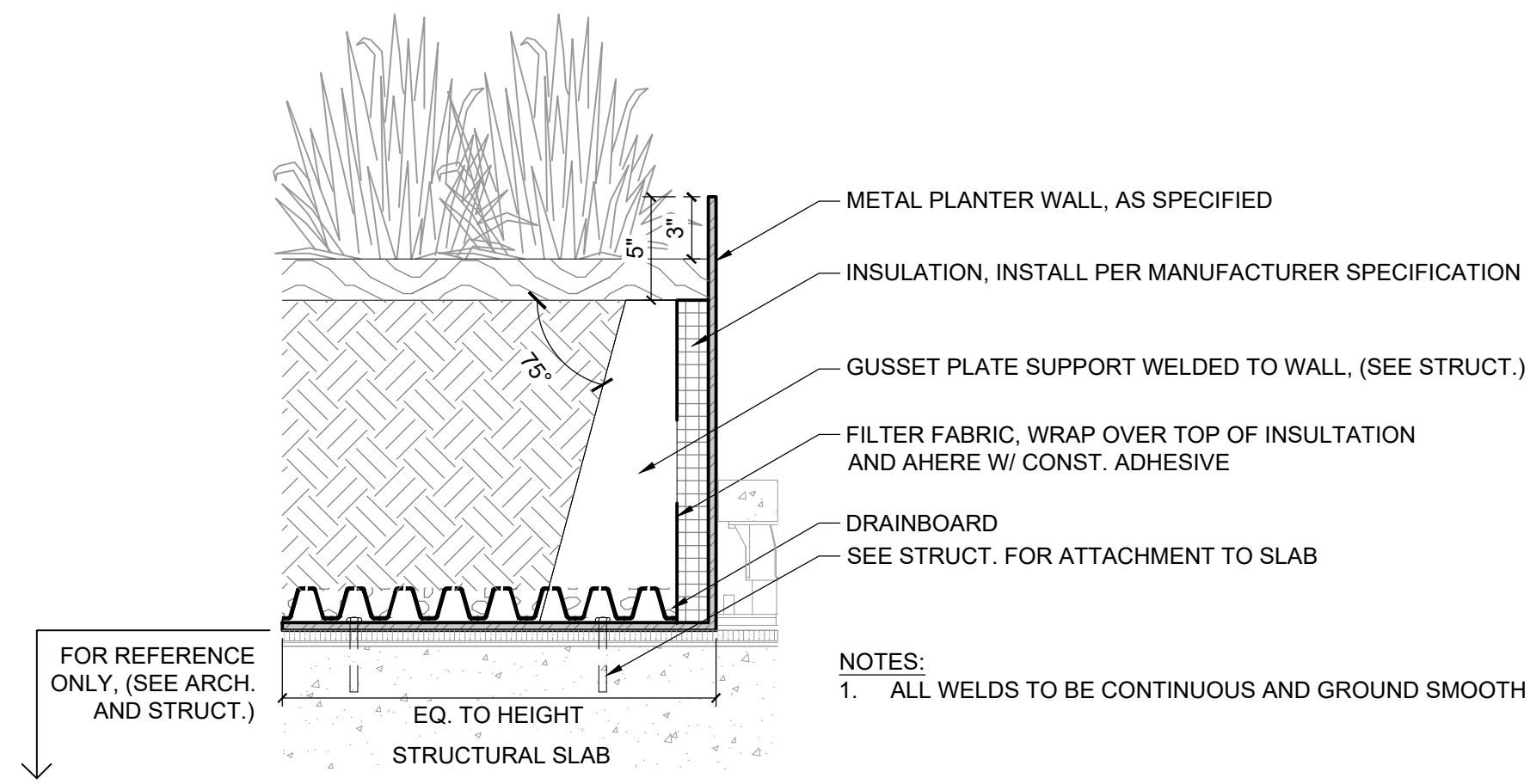


DETAILS - PAVING

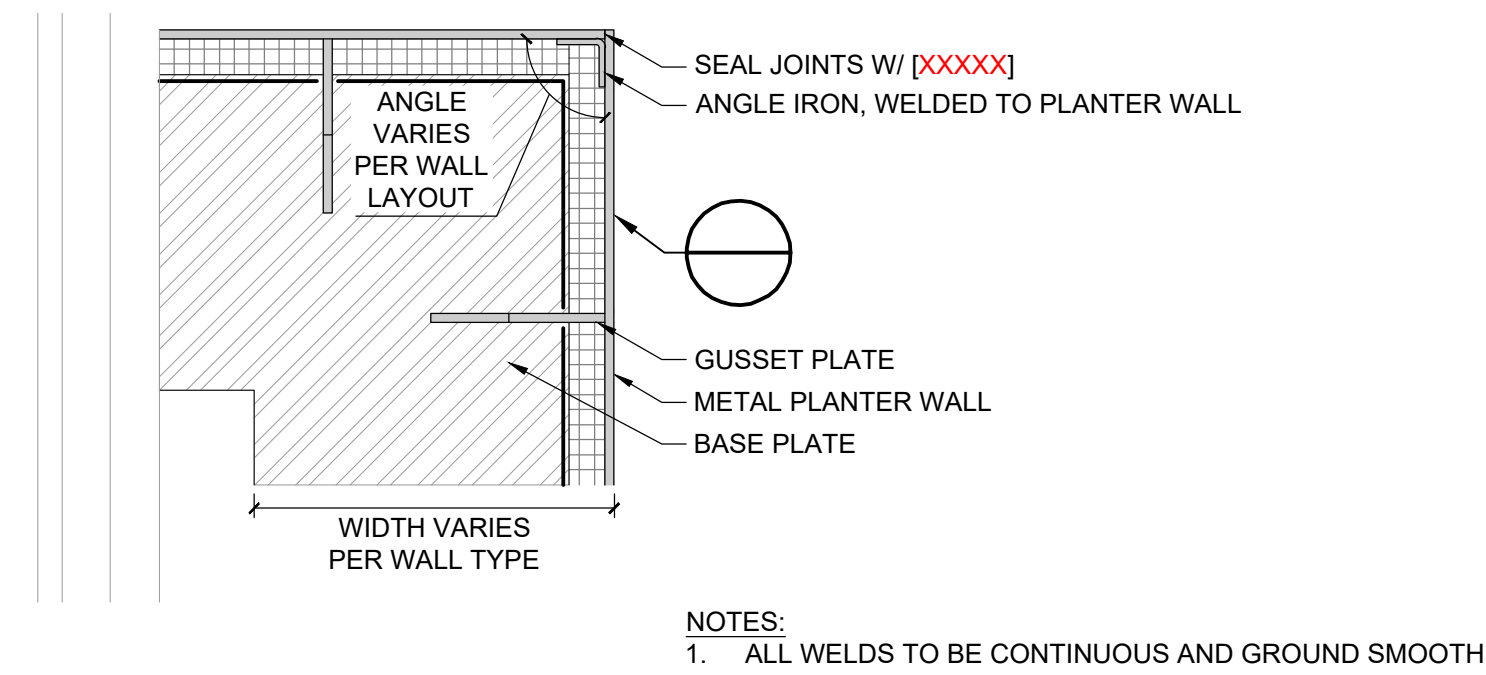
L-501

PROJECT NO.

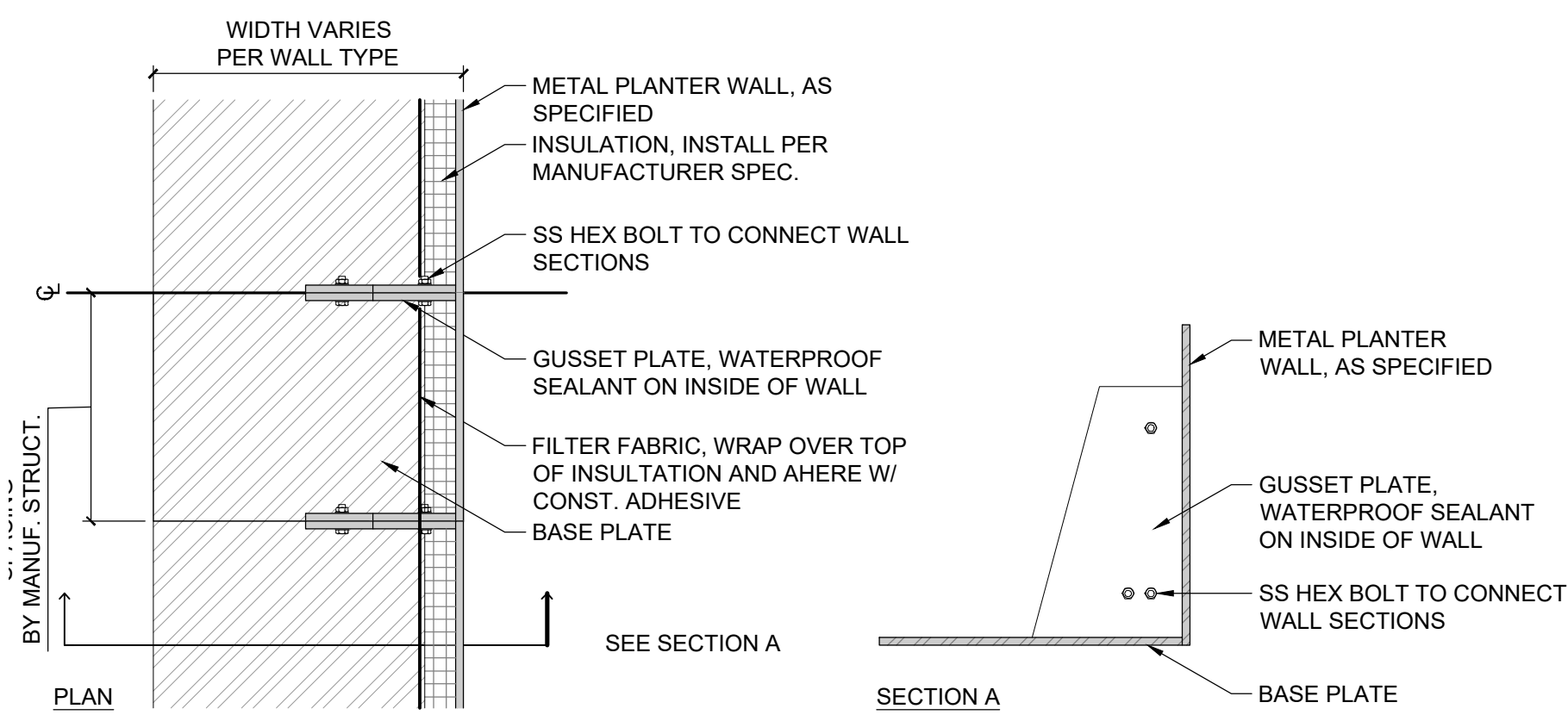
2021205



1 METAL WALL
L511 SECTION 1 1/2" = 1'-0"



2 METAL WALL - TYP. CORNER CONDITION
L511 SECTION 1 1/2" = 1'-0"



3 METAL WALL - TYP. PLAN AND GUSSET LAYOUT
L511 SECTION 1 1/2" = 1'-0"

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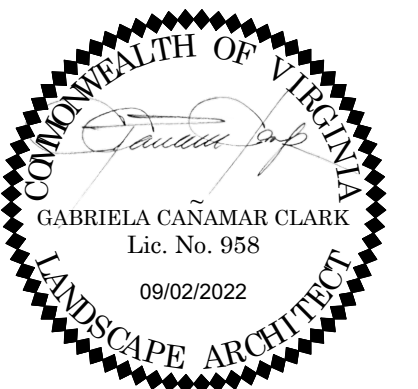
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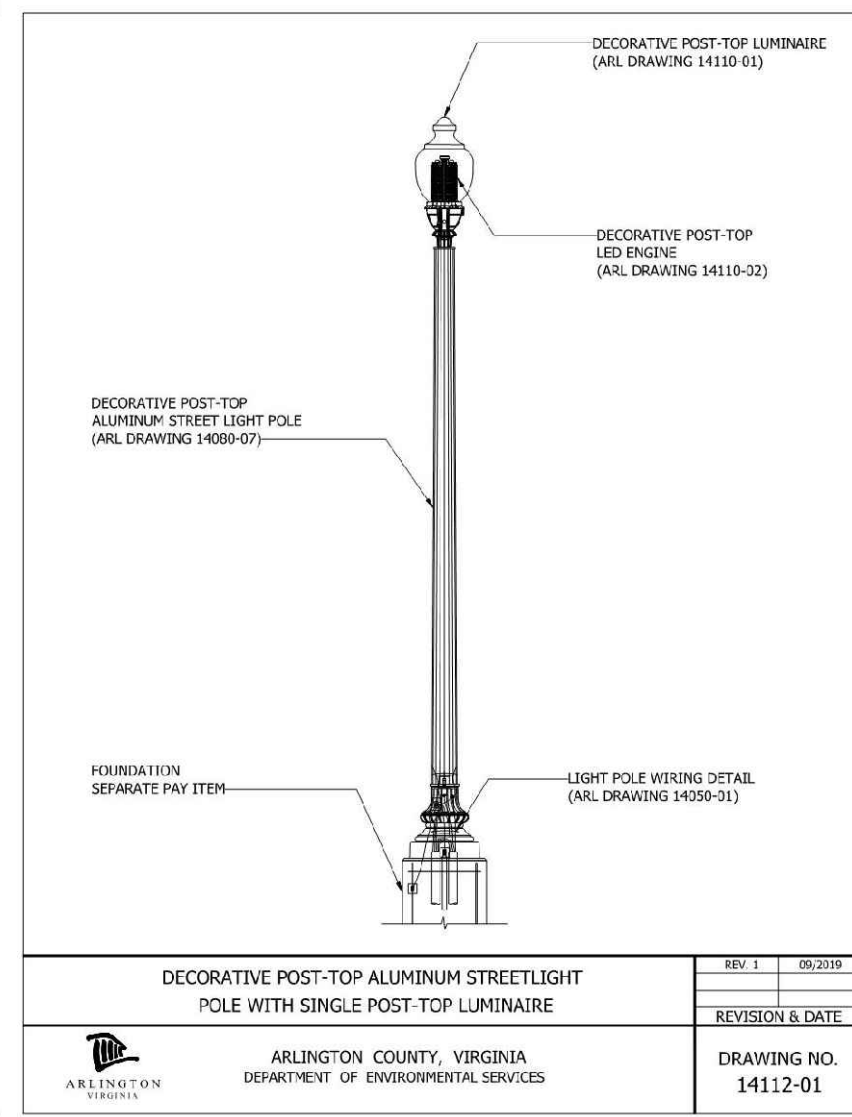
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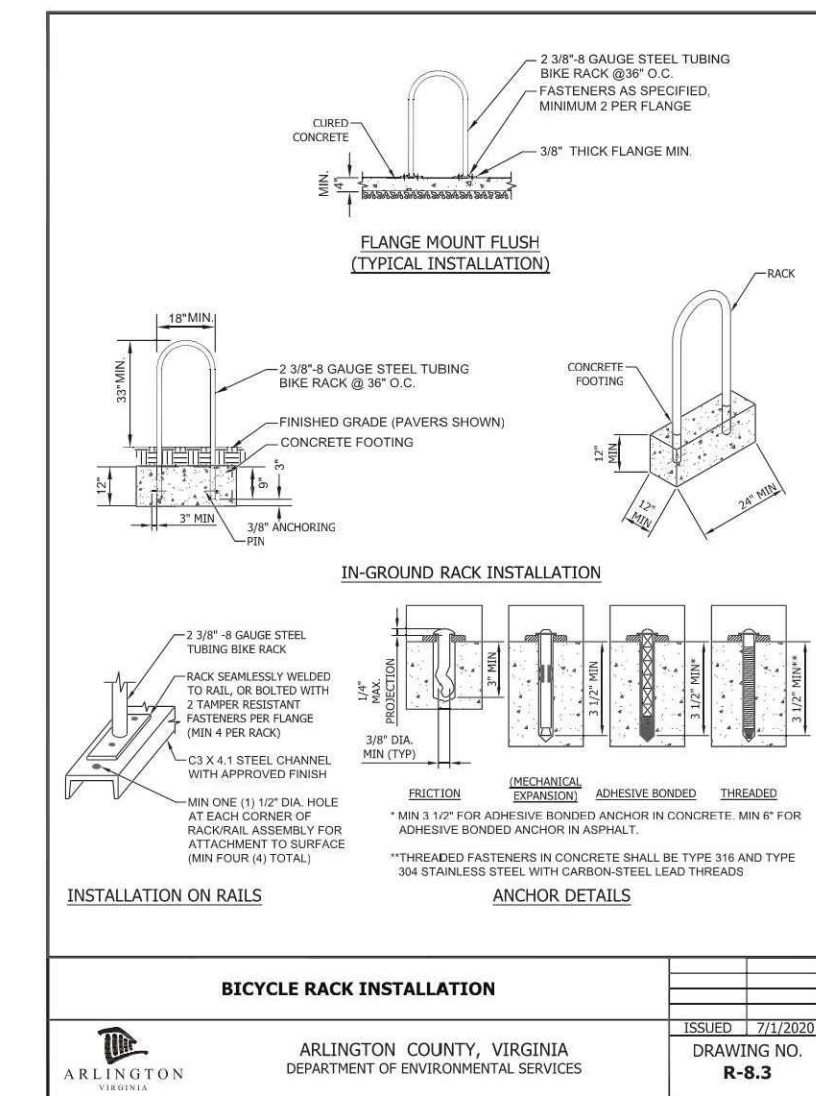
DETAILS - WALLS AND STAIRS

L-511



1 SINGLE LIGHT POST
L521 PICTORIAL

NTS



2 BIKE RACK
L521 PICTORIAL

NTS



3 TRASH AND RECYCLING RECEPTACLES
L521 PICTORIAL

NTS

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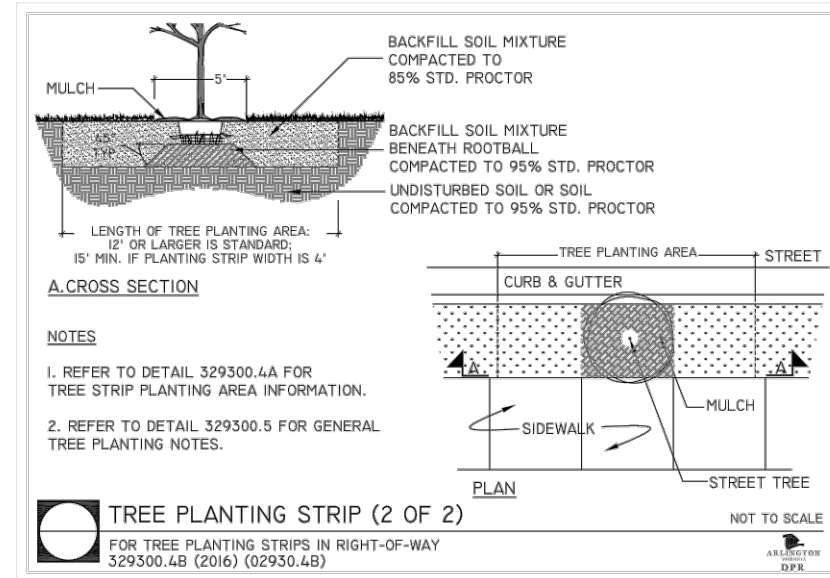
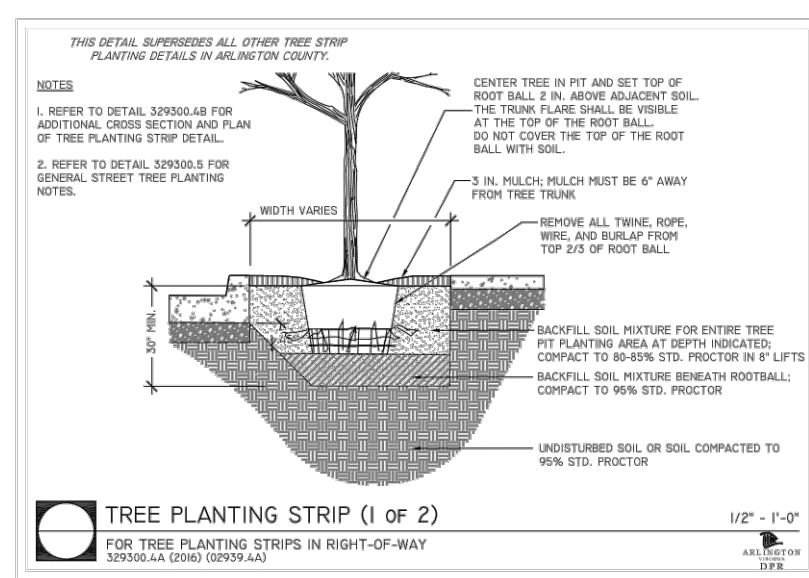
AS NOTED

DETAILS - SITE
FURNISHINGS

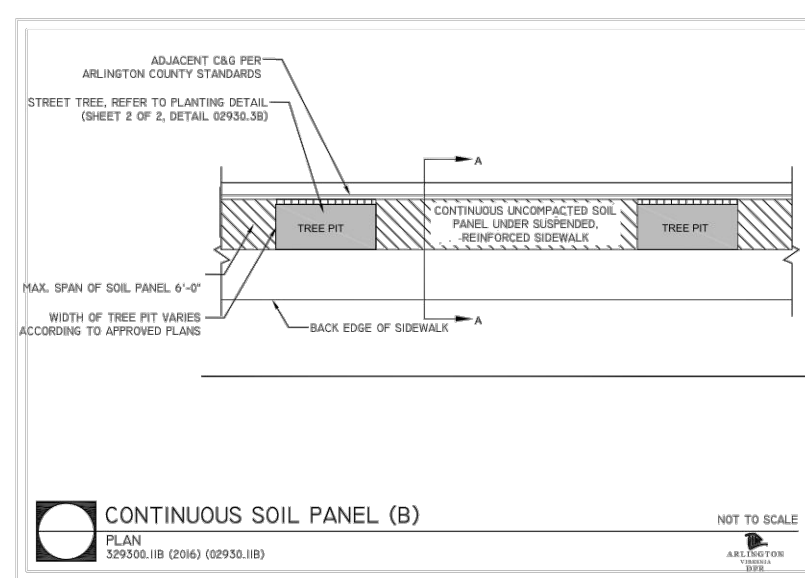
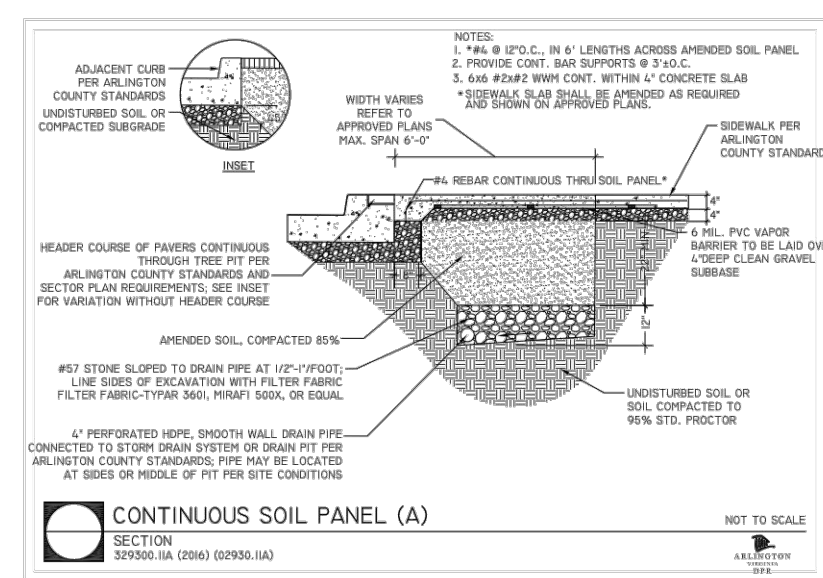
L-521

PROJECT NO.

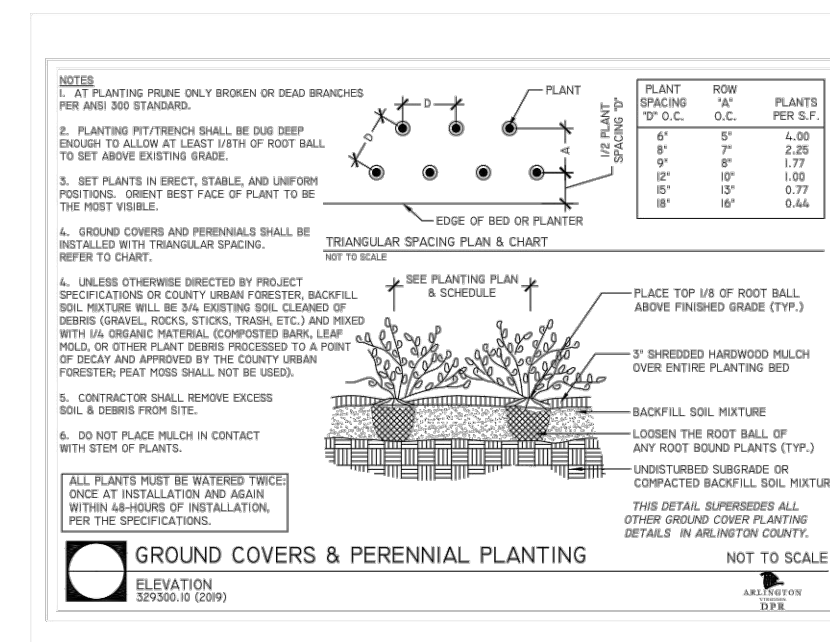
2021205



- NOTES:
1. SEE MATERIALS PLANS FOR LOCATION.
 2. PLANTING DETAIL PER ARLINGTON, VA DPR.
 3. OR APPROVED EQUAL.



- NOTES:
1. SEE MATERIALS PLANS FOR LOCATION.
 2. PLANTING DETAIL PER ARLINGTON, VA DPR.
 3. OR APPROVED EQUAL.



- NOTES:
1. SEE MATERIALS PLANS FOR LOCATION.
 2. PLANTING DETAIL PER ARLINGTON, VA DPR.
 3. OR APPROVED EQUAL.

1 STREET TREE PLANTING
L601 SECTION

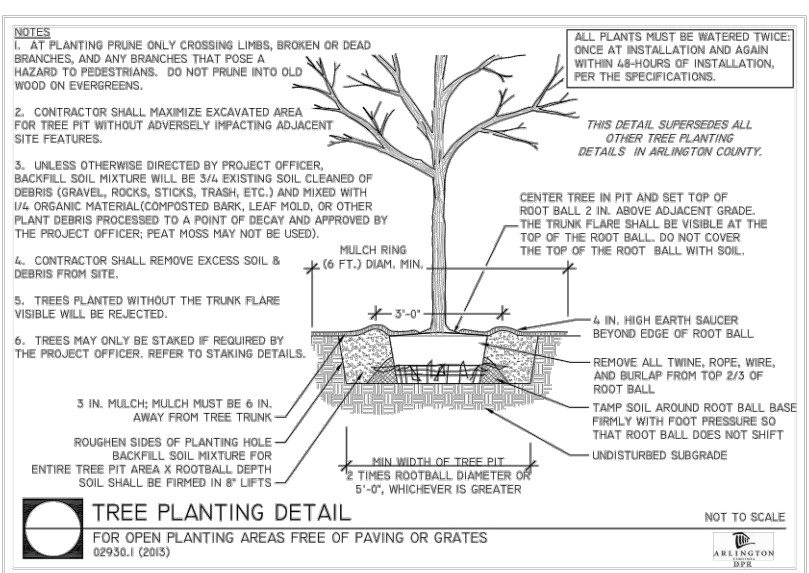
1" = 1'-0"

4 CONTINUOUS SOIL PANEL
L601 SECTION

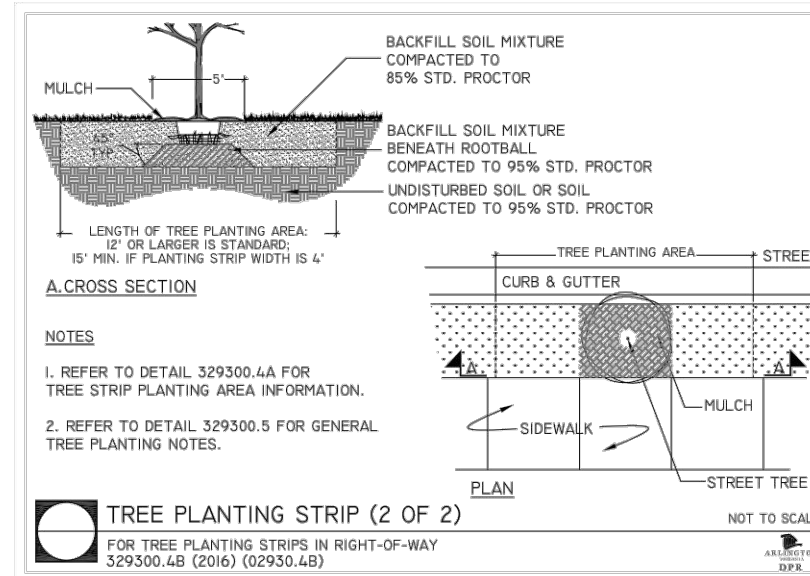
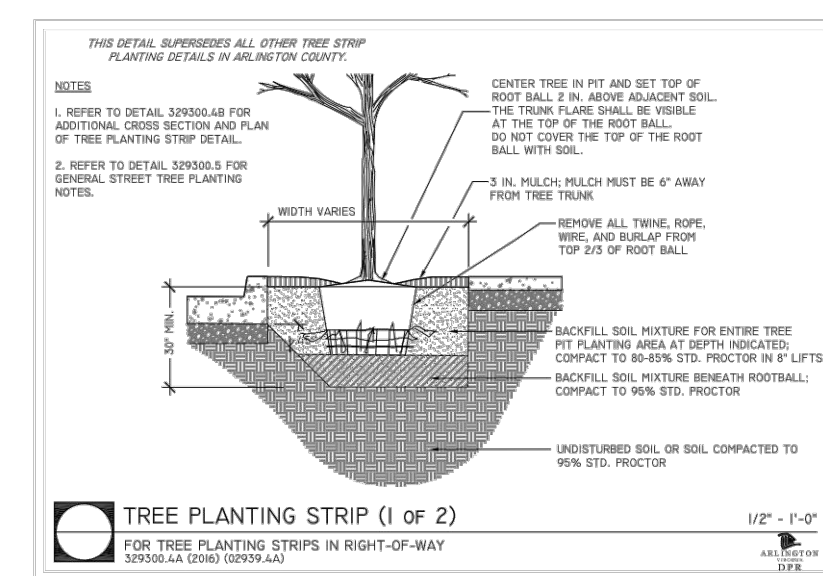
1" = 1'-0"

7 GROUND COVER AND PERENNIAL PLANTING
L601 SECTION

1" = 1'-0"



- NOTES:
1. SEE MATERIALS PLANS FOR LOCATION.
 2. PLANTING DETAIL PER ARLINGTON, VA DPR.
 3. OR APPROVED EQUAL.



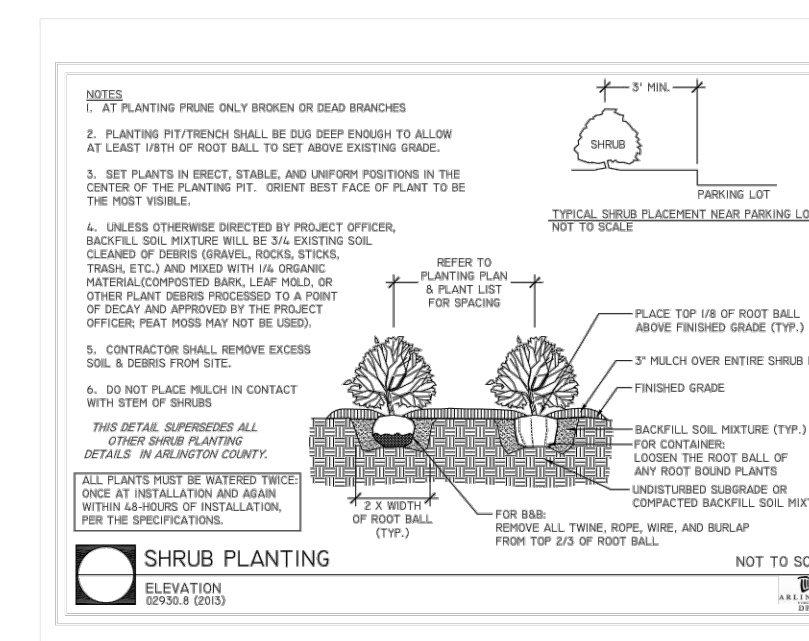
- NOTES:
1. SEE MATERIALS PLANS FOR LOCATION.
 2. PLANTING DETAIL PER ARLINGTON, VA DPR.
 3. OR APPROVED EQUAL.

2 TREE PLANTING
L601 SECTION

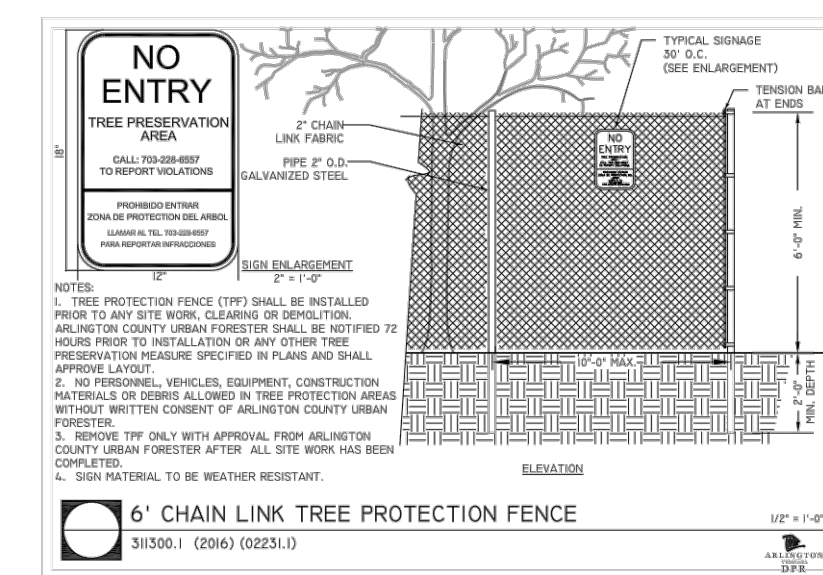
1" = 1'-0"

5 TREE PLANTING STRIP
L601 SECTION

1" = 1'-0"



- NOTES:
1. SEE MATERIALS PLANS FOR LOCATION.
 2. PLANTING DETAIL PER ARLINGTON, VA DPR.
 3. OR APPROVED EQUAL.



- NOTES:
1. SEE MATERIALS PLANS FOR LOCATION.
 2. PLANTING DETAIL PER ARLINGTON, VA DPR.
 3. OR APPROVED EQUAL.

3 SHRUB PLANTING
L601 SECTION

1" = 1'-0"

6 PROTECTION FENCE
L601 SECTION

1" = 1'-0"

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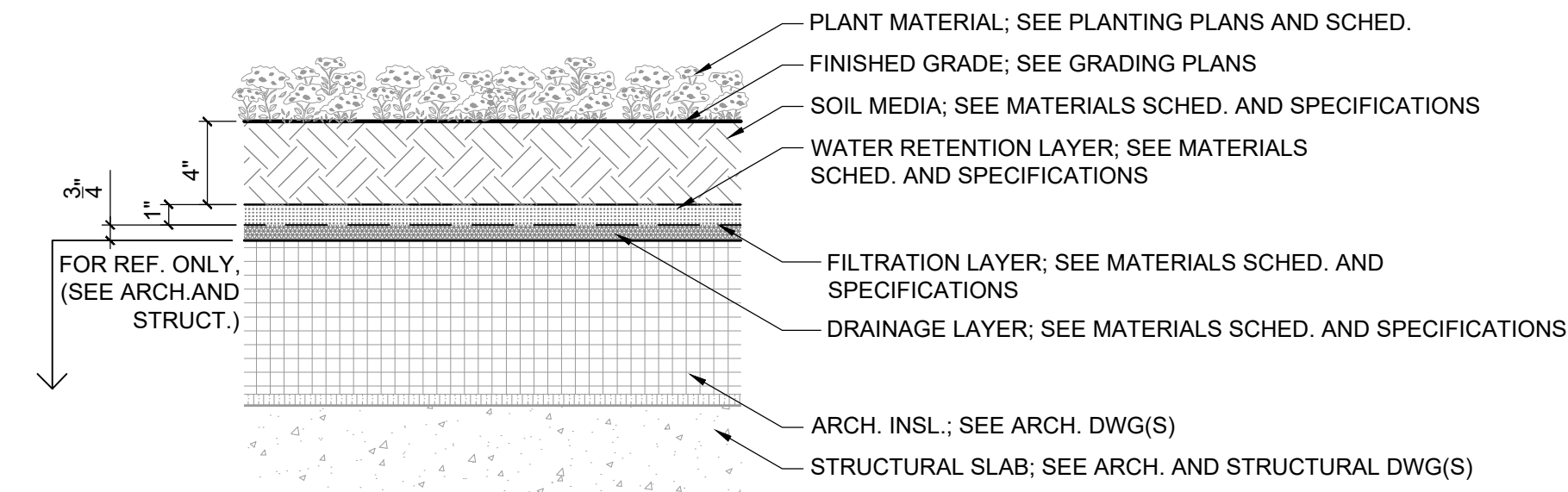
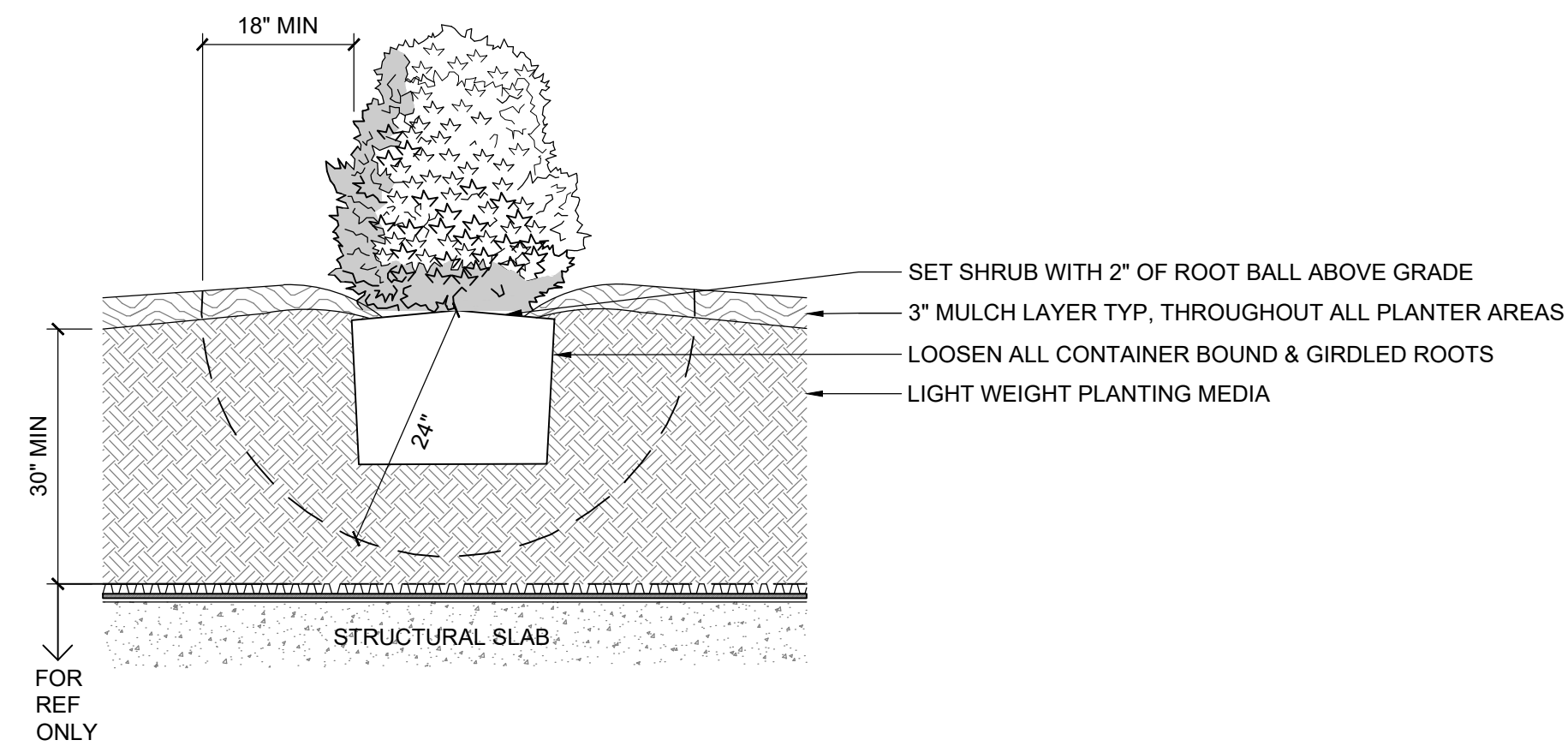
AS NOTED

DETAILS - PLANTING

L-601

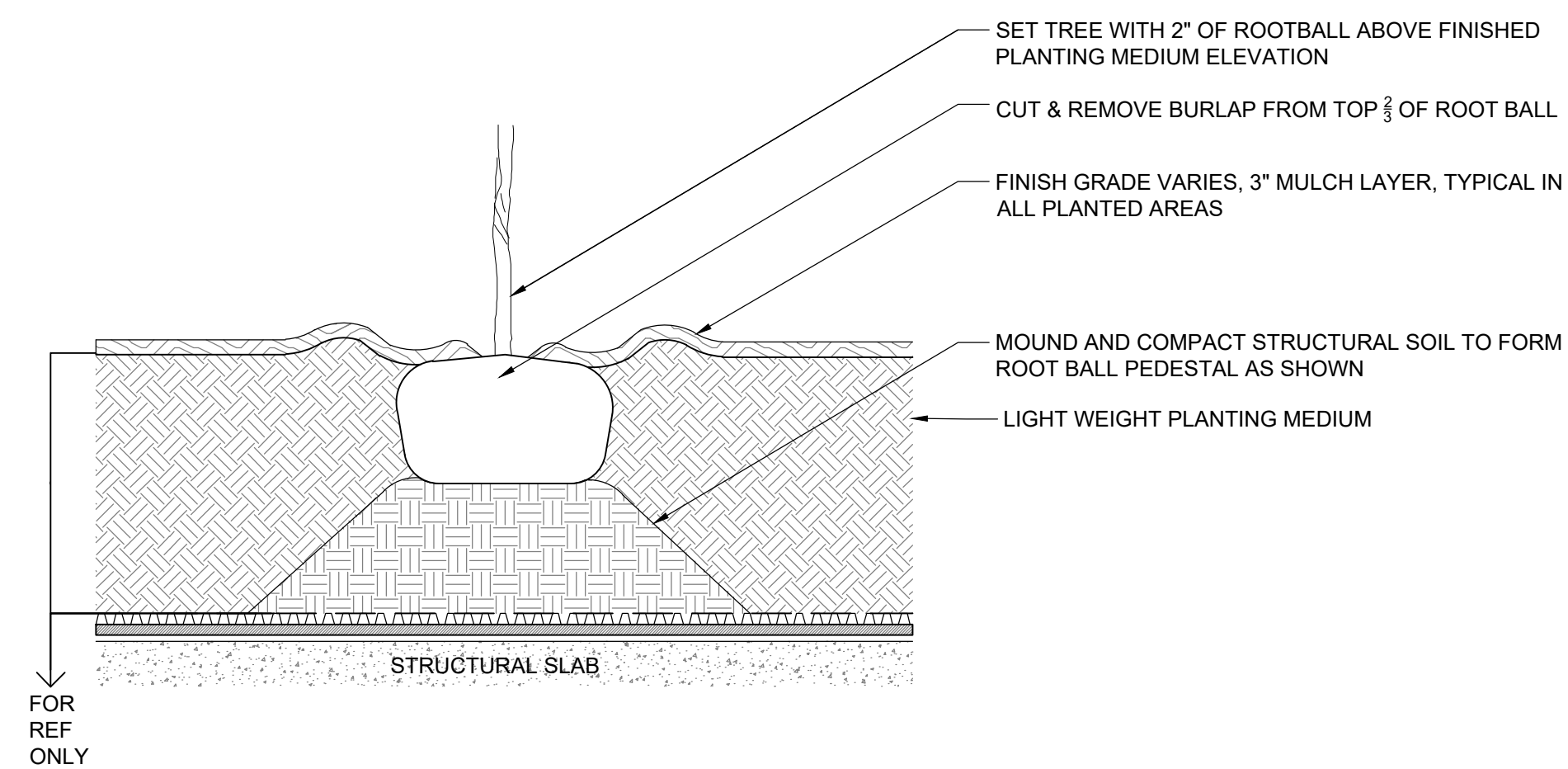
PROJECT NO.

2021205

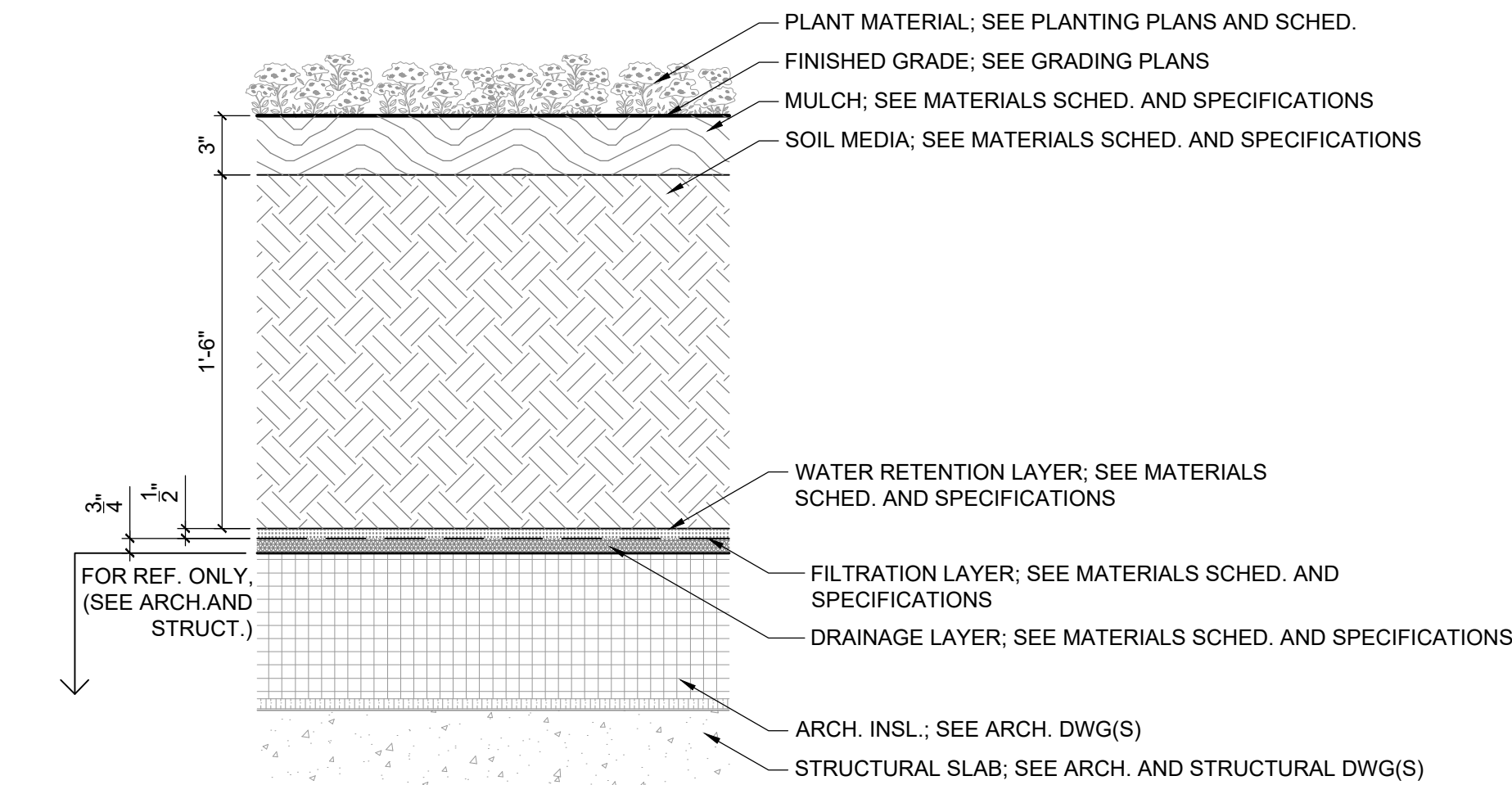


4 EXTENSIVE GREEN ROOF SYSTEM
L602 SECTION 1 1/2" = 1'-0"

1 SHRUB PLANTING ON STRUCTURE
L602 SECTION 1" = 1'-0"

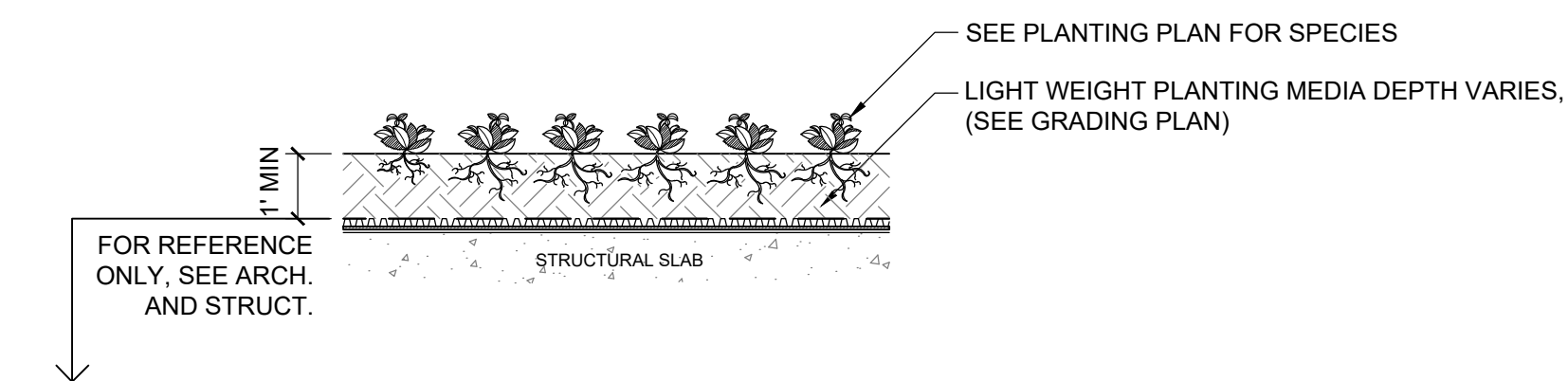


2 TREE PLANTING ON STRUCTURE
L602 SECTION 3/8" = 1'-0"



5 INTENSIVE GREEN ROOF SYSTEM
L602 SECTION 1 1/2" = 1'-0"

SPACING		PLANT SPACING CHART		
ROWS	SPACING "D"	ROW "A"	PLANTS / S.F.	
+	+	6" O.C.	5.20" O.C.	4.61
+	+	8" O.C.	6.93" O.C.	2.60
+	+	10" O.C.	8.66" O.C.	1.66
+	+	12" O.C.	10.40" O.C.	1.15
+	+	15" O.C.	13.00" O.C.	0.73
+	+	18" O.C.	15.60" O.C.	0.51
+	+	24" O.C.	20.80" O.C.	0.29



3 GROUNDCOVER PLANTING ON STRUCTURE
L602 SECTION 1/2" = 1'-0"

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AS NOTED

DETAILS - PLANTING

L-602

	STUDIO			1BR JR			1BR			1BR + DEN			2BR LOFT			2BR			2BR + DEN			TOTAL		
	QTY	AREA	AVG AREA	QTY	AREA	AVG AREA	QTY	AREA	AVG AREA	QTY	AREA	AVG AREA	QTY	AREA	AVG AREA	QTY	AREA	AVG AREA	QTY	AREA	AVG AREA	QTY	AREA	AVG (NET)
LEVEL 8							2	1,315	657.50	2	1,615	807.50				5	4,979	995.80	5	6,334	1,267	14	14,243	1,017
LEVEL 7							3	1,957	652.33	1	810	810.00				5	4,979	995.80	4	4,970	1,243	13	13,716	978
LEVEL 6	4	2,246	561.50	4	2,614	654	22	15,090	685.91	3	2,446	815.33	0			8	8,314	1,039.25	0			41	30,710	749
LEVEL 5	4	2,246	561.50	4	2,614	654	22	15,090	685.91	3	2,446	815.33	0			8	8,314	1,039.25	0			41	30,710	749
LEVEL 4	4	2,246	561.50	4	2,614	654	22	15,090	685.91	3	2,446	815.33	0			8	8,314	1,039.25	0			41	30,710	749
LEVEL 3	4	2,246	561.50	4	2,614	654	22	15,090	685.91	3	2,446	815.33	0			8	8,314	1,039.25	0			41	30,710	749
LEVEL 2	2	970	485.00	12	7,290	608	10	6,649	664.90	5	4,102	820.40	0			5	5,000	1,000.00	0			34	24,021	707
LEVEL 1							4	2,784	696.00	1	927	927	9	12,105	1,345	1	1,178	1,178				15	16,994	1,133
LEVEL P1													11	13,503	1,228							11	13,503	1,238
TOTAL	18	9,934	553	28	17,746	634	107	73,063	683	21	17,248	821	20	23,608	1,280	48	49,392	1,029	9	11,304	1,256	251	204,317	814
% OF TOTAL	7%	5%		11%	9%		43%	36%		8%	8%		8%	13%		19%	24%		4%	6%				

2201 Arlington Boulevard

Floor	Dwelling Unit Totals	Elevation (Sea Level) ASE+236'-0 15/32"	Floor to Floor Height (ft)	Gross Floor Area Density			Exclusions				Net Floor Area			Gross Parking Area											
				Retail	Residential	Total	Above Grade Shafts	Below Grade Other	Above Grade Other	Totals	# Spaces Retail	# Spaces Resi	Parking GSF												
Roof	0	335'-8"	NA	0	0	0	0				0														
8th	14	314'-9"	10'-3"	0	17,639	17,639	0				17,639														
7th	13	304'-6"	10'-3"	0	17,639	17,639	0				17,639														
6th	41	294'-3"	9'-7"	0	35,637	35,637	0				35,637														
5th	41	284'-8"	9'-7"	0	35,637	35,637	0				35,637														
4th	41	275'-1"	9'-7"	0	35,637	35,637	0				35,637														
3rd	41	256'-6"	9'-7"	0	35,637	35,637	0				35,637														
2nd	34	255'-3"	10'-3"	0	38,264	38,264	0				38,264														
1st	15	245'-0"	10'-3"	0	24,194	24,194	0				24,194														
P1	11	235'-0"	10'-0"	2,947	19,177	22,124	0				22,124	6	56	27,423											
P2	0	221'-6"	13'-6"	0	6,549	6,549	0				6,549		145	57,758											
Total	251			2,947	266,010	268,957	0				268,957	6	201	85,181											

Bike Parking Tabulations

	Required	Provided
Retail - Short Term (Class 3)	2	8
Retail - Long Term (Class 1)	1	1
Residential - Short Term (Class 3)	6	8
Residential - Long Term (Class 1)	101	101

THE ARVA DENSITY TABULATIONS

By-Right Tabulation: C-2/RA6-15/C-O-1.5

District	Land Area	Density	Yield
C-2	65,723 SF/1.51 AC	1.5 FAR	98,584.5 SF
RA6-15	37,843 SF/0.86 AC	48.4 U/A	41 units
C-O-1.5	103,504.95/2.3761 AC*	0.60 FAR	62,102.97 SF

4.1 Site Plan Density Allocations: C-O-1.5

	Site Area*	Base (1.5 FAR or 72 u/a)	LEED Gold (.25 FAR)	Section 15.5.9	TOTAL
Retail	1,684 SF/0.0386 SF	2,526 SF	421 SF	0	2,947 SF
Residential	101,820.95 SF/2.3375 AC	168 units	24 units**	59	251 units

*Usable Site Area = 103,504.95 SF/2.3761 AC
 ** Average Unit Size (GFA) = 1,022 SF

15005926.1 047090.00002

PARKING SCHEDULE		
QTY	USE	

LEVEL P2

ACCESSIBLE	4	ALL RESIDENTIAL
COMPACT	19	ALL RESIDENTIAL
STANDARD	122	ALL RESIDENTIAL

LEVEL P1

ACCESSIBLE	1	RETAIL
COMPACT	14	ALL RESIDENTIAL
STANDARD	47	5 RETAIL/42 RESIDENTIAL

Grand total 207

ZONING SUMMARY

INFORMATION	
PROJECT ADDRESS	2201 ARLINGTON BOULEVARD, ARLINGTON, VA 22201
OWNER	ARLINGTON BOULEVARD LLC
RPC#	18-059-020
AVERAGE SITE ELEVATION	236.04'
ZONING CATEGORY	PROPOSED
C-2/RA6-15	C-O-1.5
HEIGHT	8 STORIES
10 STORIES	
SITE AREA	103,566 SF / 2.3775 AC
TOTAL GFA	268,957 SF
RESIDENTIAL	PROPOSED 266,010 SF / 251 UNITS
RETAIL	PROPOSED
RETAIL/RETAIL EQUIVALENT PER GLUP STUDY	2,947 SF
PROVIDE RETAIL OR RETAIL EQUIVALENT ON GROUND LEVEL ALONG N PERSHING DRIVE WITH A POTENTIAL CORNER TRANSITION ALONG ARLINGTON BLVD	RETAIL OR RETAIL EQUIVALENT ON GROUND LEVEL ALONG N PERSHING DRIVE WITH RETAIL EQUIVALENT TRANSITION ALONG ARLINGTON BLVD...
PARKING .8 SPACES PER UNIT	201 REQD/ 201 PROVIDED
RETAIL-2201 ARLINGTON BLVD ZO 14.3.7	6 REQD/ 6PROVIDED
1 PER EACH 250 SF OF FLOOR AREA ON 1ST FLOOR . COMPACT PARKING SPACES AREA NOT PERMITTED FOR RETAIL SALES AND SERVICES USES.	1 PER 580 SF OF FLOOR AREA
BICYCLE PARKING	
SHORT TERM VISTOR (CLASS 3)	
RESIDENTIAL	6 SPACES REQD/ 8 PROVIDED
RETAIL: 2 SPACES FOR EVERY 10,000 SF OF RETAIL	2 SPACES REQD/ 8 SPACES PROVIDED
LONG TERM SECURE (CLASS 1)	
RETAIL: 1 SPACE FOR EVERY 25,000 SF	1 SPACE REQD/ 1 SPACE PROVIDED
RESIDENTIAL: 1 SPACE FOR EVERY 2.5 UNITS	101 SPACES REQD/ 101 SPACES PROVIDED
LOADING ZO 14.3.3.C.3	PROPOSED
MULTIPLE FAMILY USES ZO 14.3.8.D 1 SPACE FOR EA 200 UNITS	2 SPACE REQD &2 PROVIDED
RETAIL ZO 14.3.8.C 1 REQUIRED FOR 3,000 SF OR MORE, UP TO 15,000 SF	0 SPACE REQD & 0 PROVIDED

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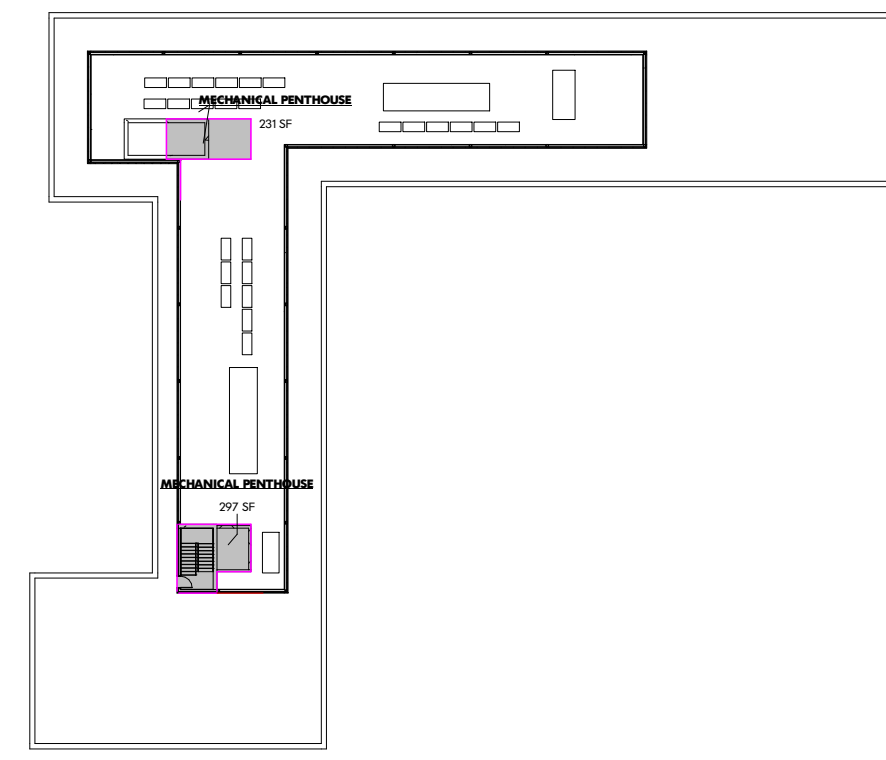
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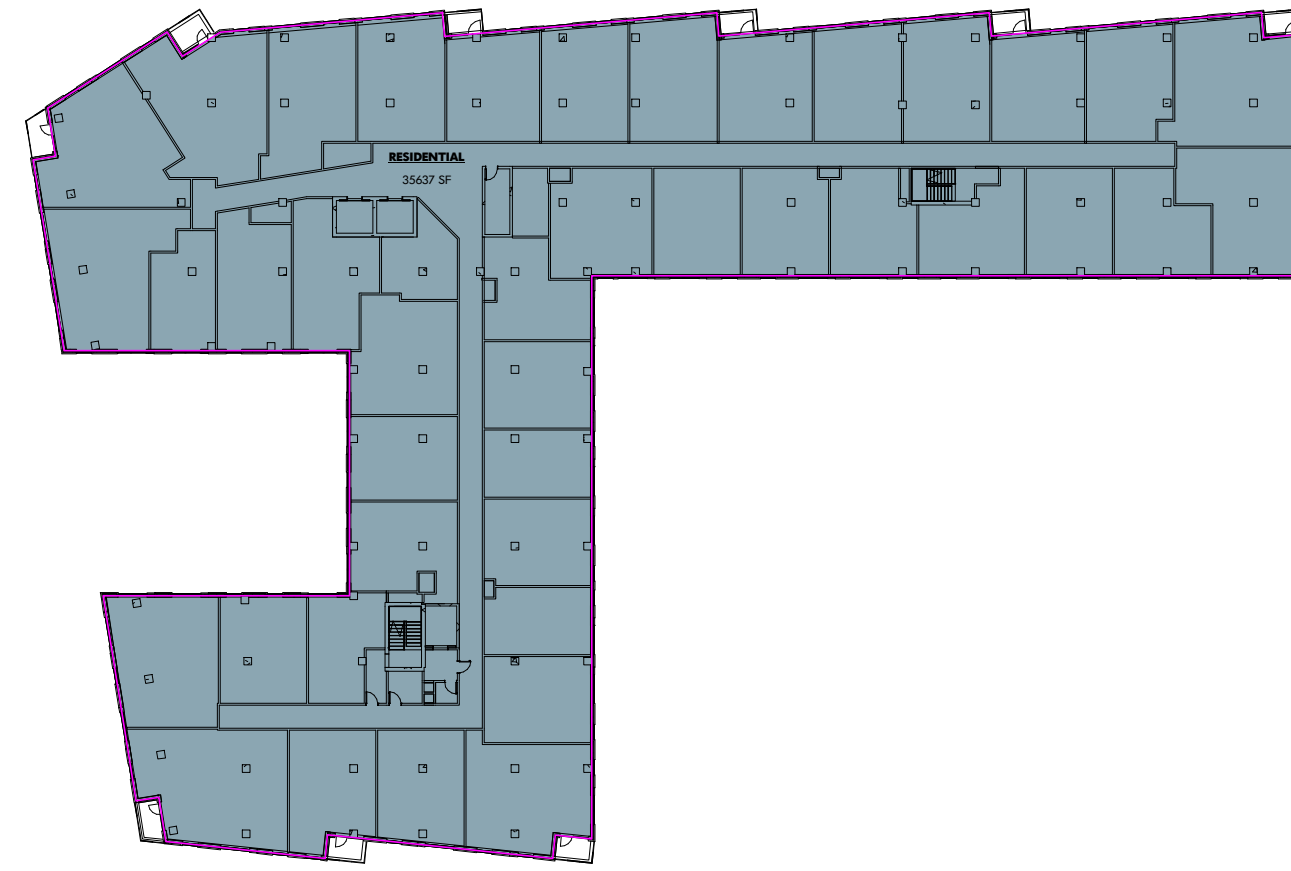
NOT FOR CONSTRUCTION

UNIT COUNTS & AREA TABULATIONS

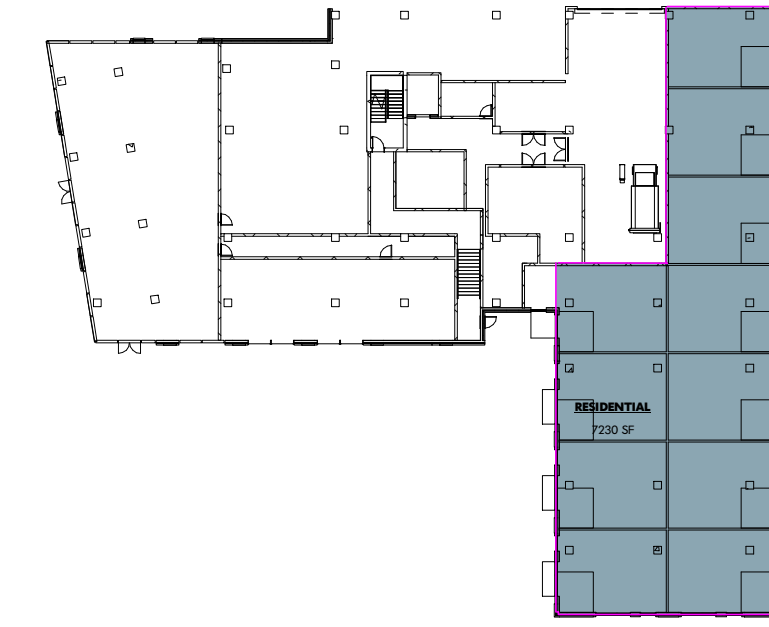
A-001



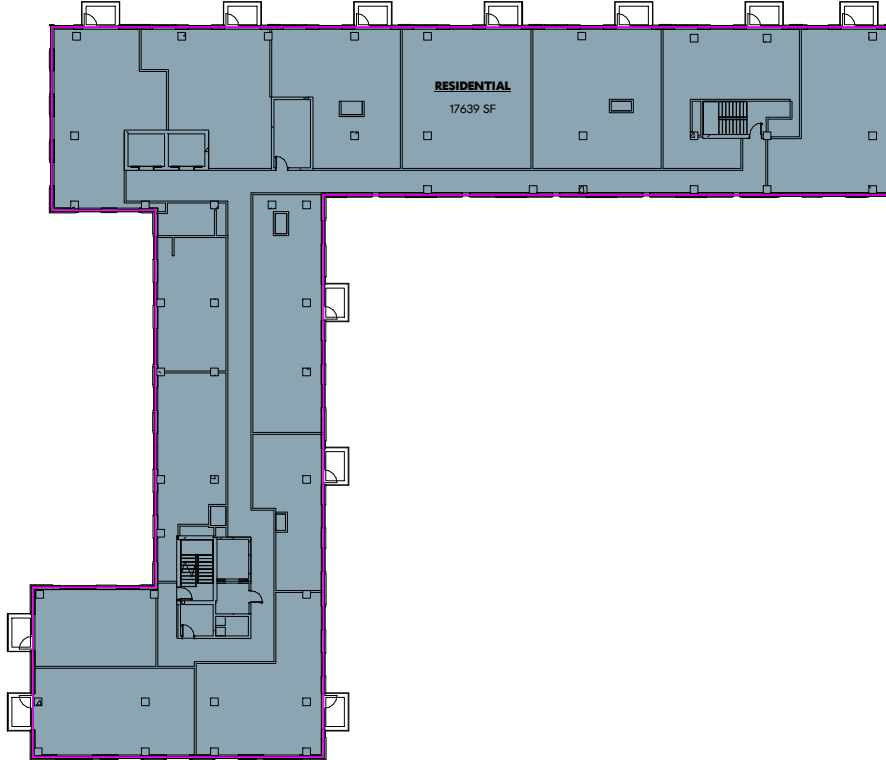
11. ROOF
1" = 50'-0"
ELEVATION: 325'-8"
GFA: 0 SF



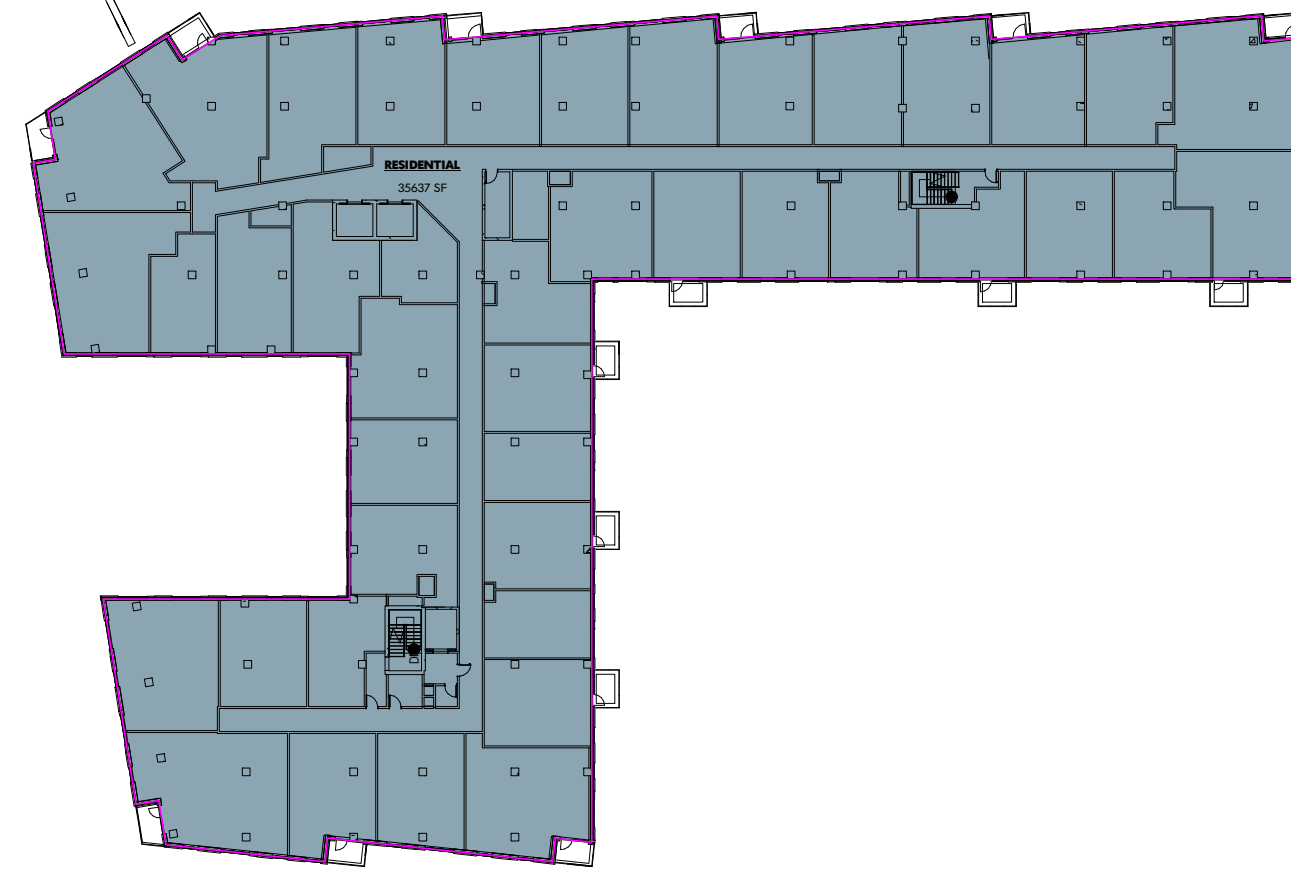
7. LEVEL 5
1" = 50'-0"
ELEVATION: 284'-8"
GFA: 35,637 SF



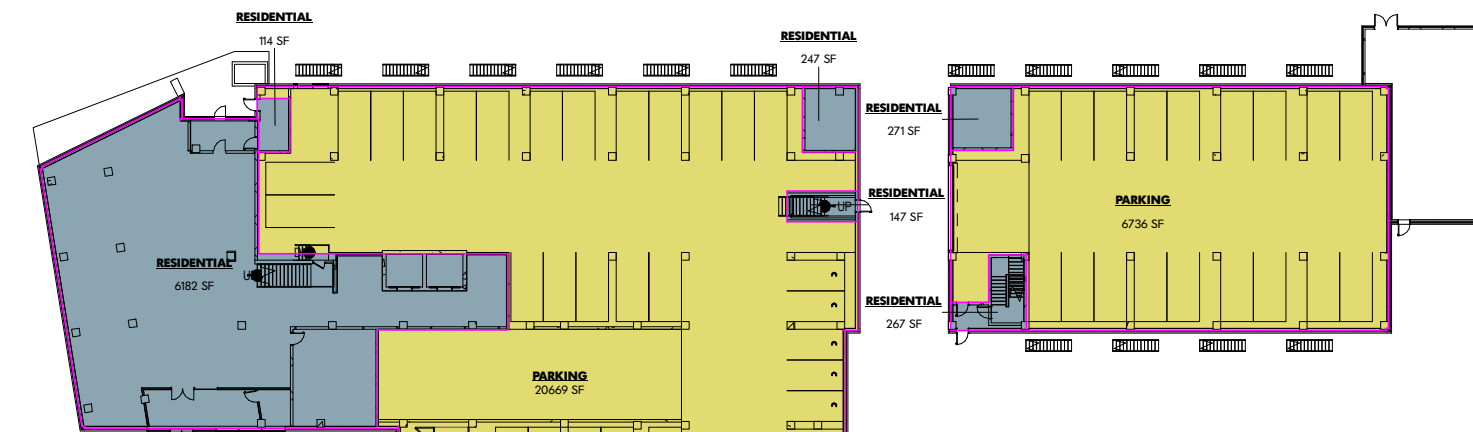
3. LEVEL 1
1" = 50'-0"
ELEVATION: 245'-0"
GFA: 24,194 SF



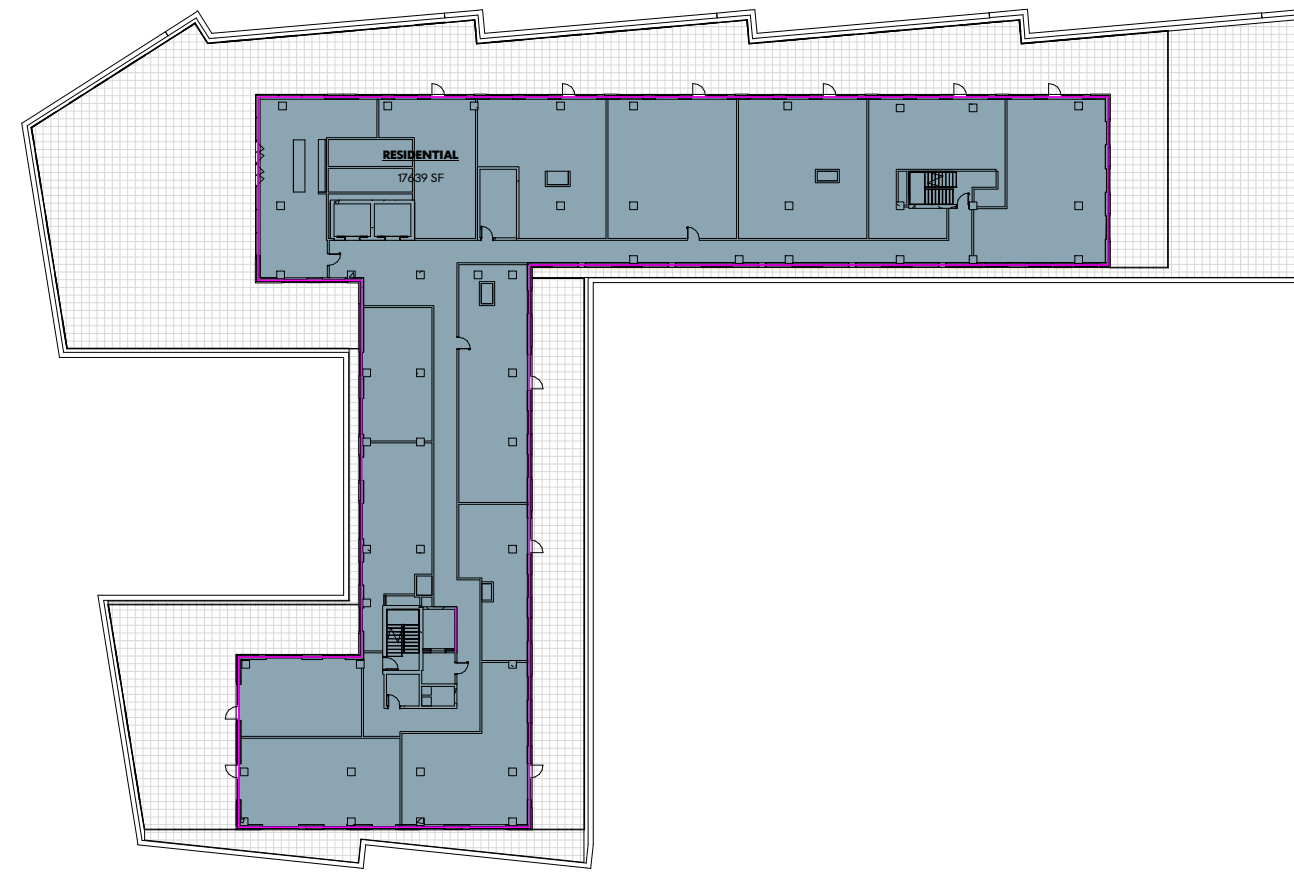
10. LEVEL 8
1" = 50'-0"
ELEVATION: 314'-9"
GFA: 17,639 SF



6. LEVEL 4
1" = 50'-0"
ELEVATION: 275'-1"
GFA: 35,637 SF



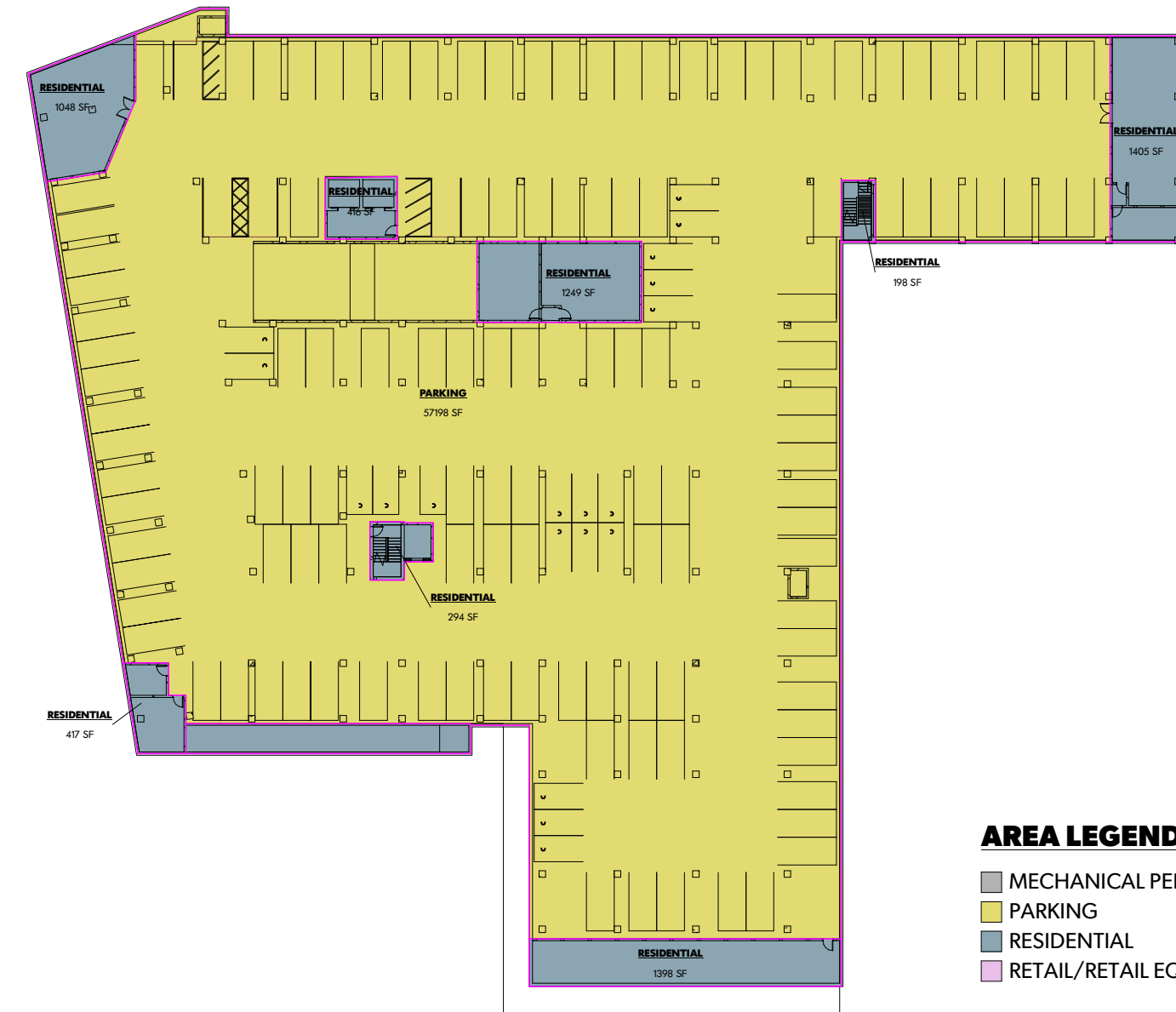
2. LEVEL P1
1" = 50'-0"
P1 ELEVATION: 235'-0"
LOBBY ELEVATION: 237'-0"
GFA: 22,124 SF



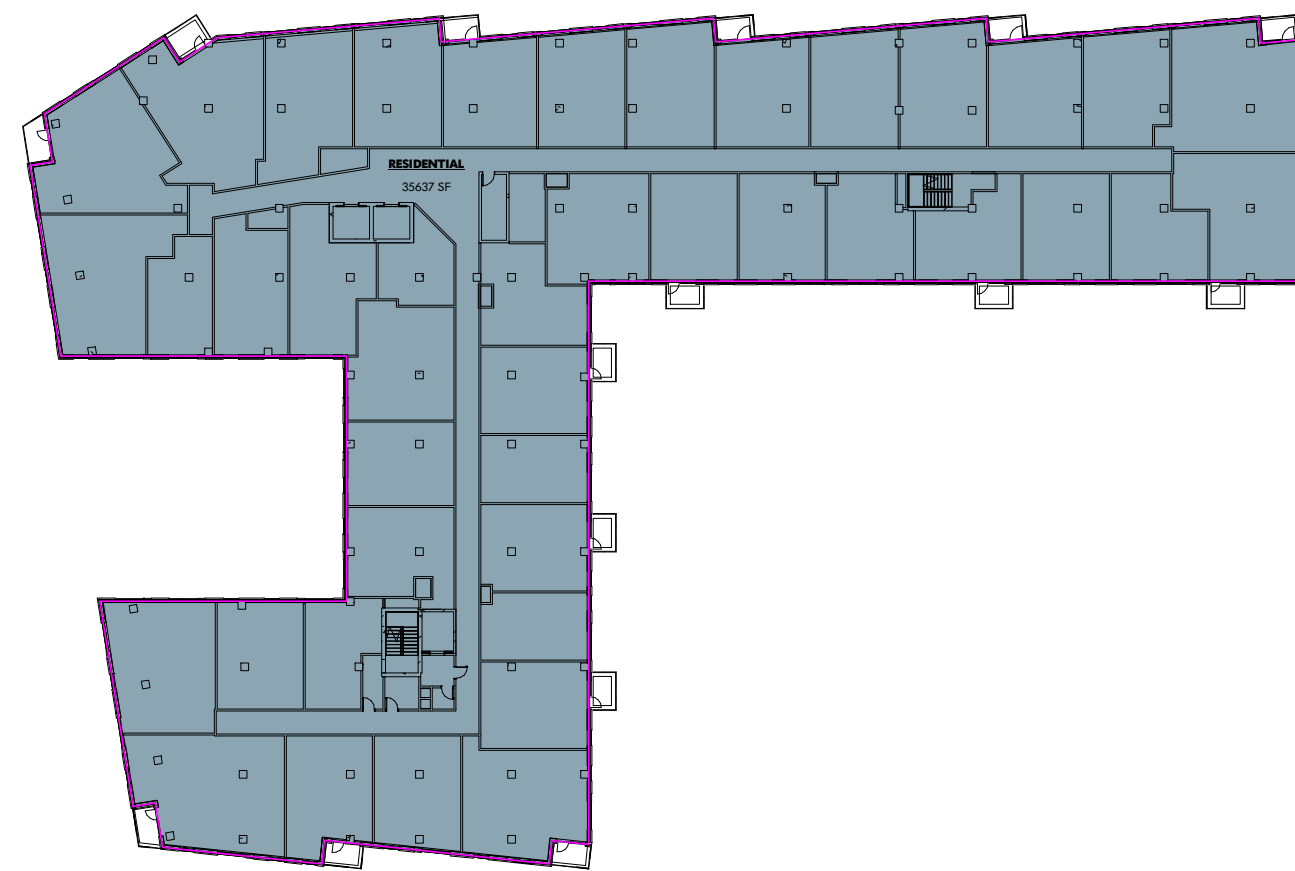
9. LEVEL 7
1" = 50'-0"
ELEVATION: 304'-6"
GFA: 17,639 SF



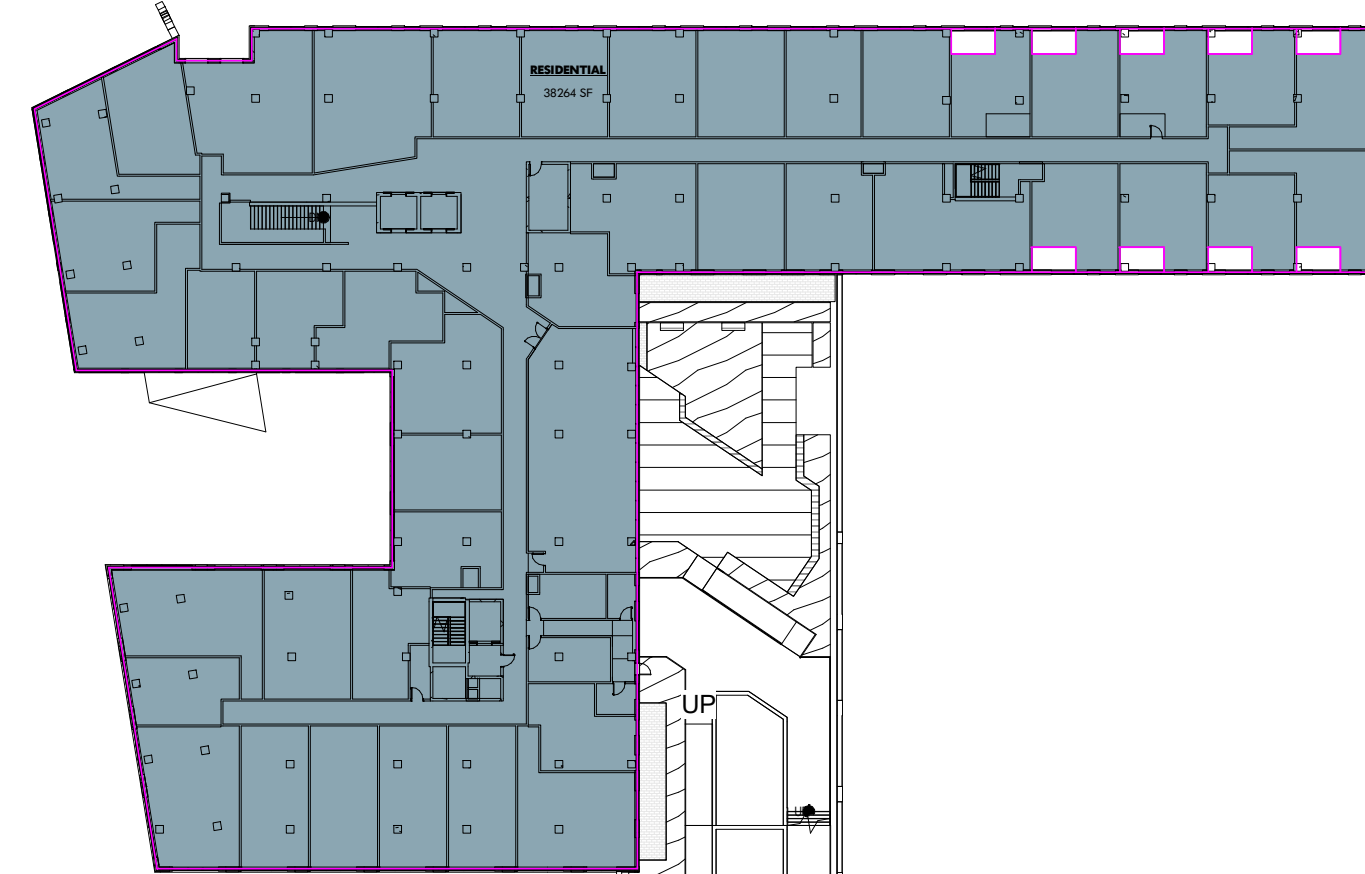
5. LEVEL 3
1" = 50'-0"
ELEVATION: 265'-6"
GFA: 35,637 SF



1. LEVEL P2
1" = 50'-0"
ELEVATION: 221'-6"
GFA: 6,549 SF



8. LEVEL 6
1" = 50'-0"
ELEVATION: 294'-3"
GFA: 35,637 SF



4. LEVEL 2
1" = 50'-0"
ELEVATION: 255'-3"
GFA: 38,264 SF

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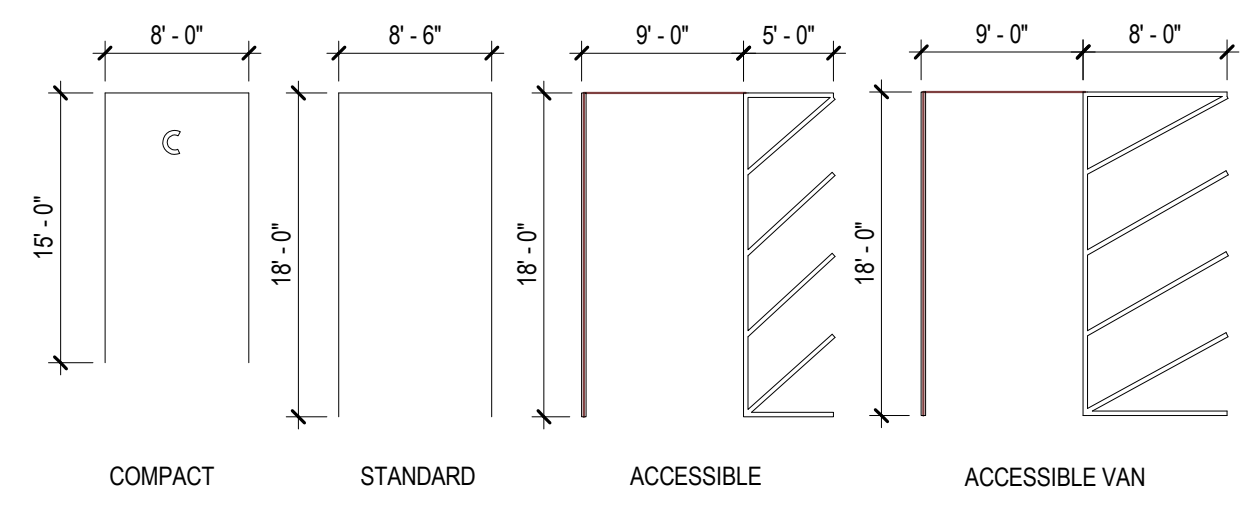
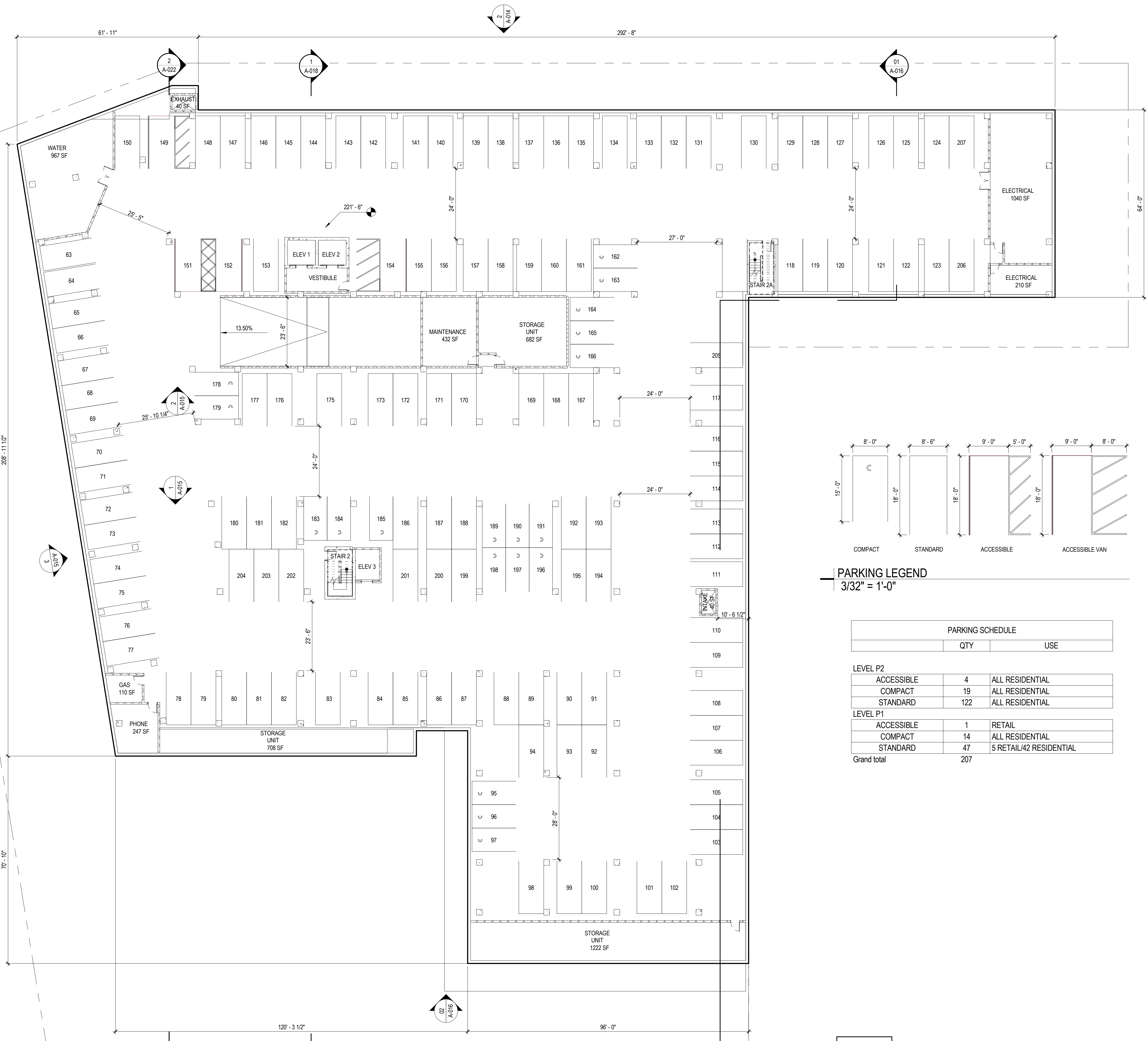
NOT FOR CONSTRUCTION



FAR TABULATIONS

A-002

- AREA LEGEND**
- MECHANICAL PENTHOUSE
 - PARKING
 - RESIDENTIAL
 - RETAIL/RETAIL EQUIVALENT



PARKING LEGEND
3/32" = 1'-0"

PARKING SCHEDULE		
	QTY	USE
LEVEL P2		
ACCESSIBLE	4	ALL RESIDENTIAL
COMPACT	19	ALL RESIDENTIAL
STANDARD	122	ALL RESIDENTIAL
LEVEL P1		
ACCESSIBLE	1	RETAIL
COMPACT	14	ALL RESIDENTIAL
STANDARD	47	5 RETAIL/42 RESIDENTIAL
Grand total	207	

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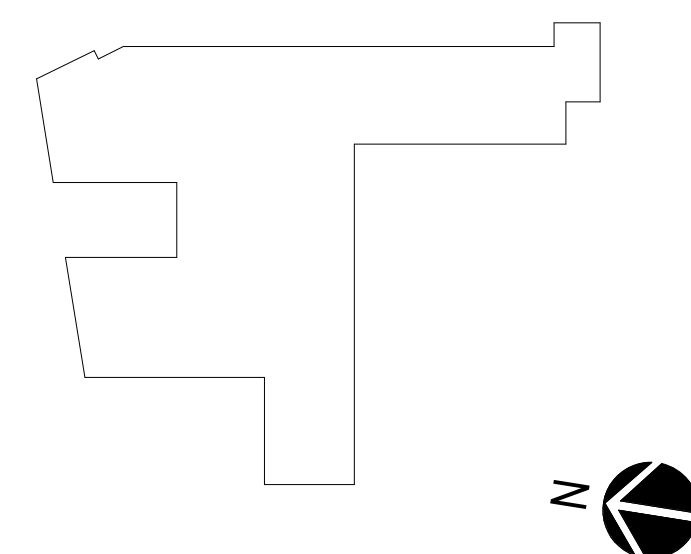
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FLOOR PLANS - LP2

A-003

ELEVATION: 221'-6"
GFA: 6,549SF

9/20/2022 1:33:16 AM

ARLINGTON BLVD

1 A-017

2 A-018

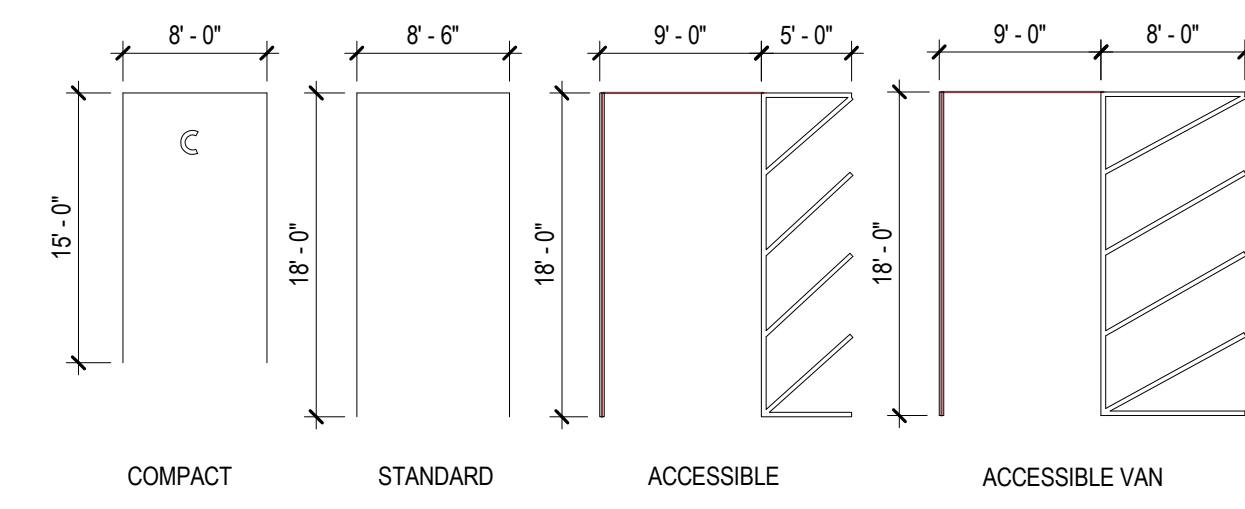
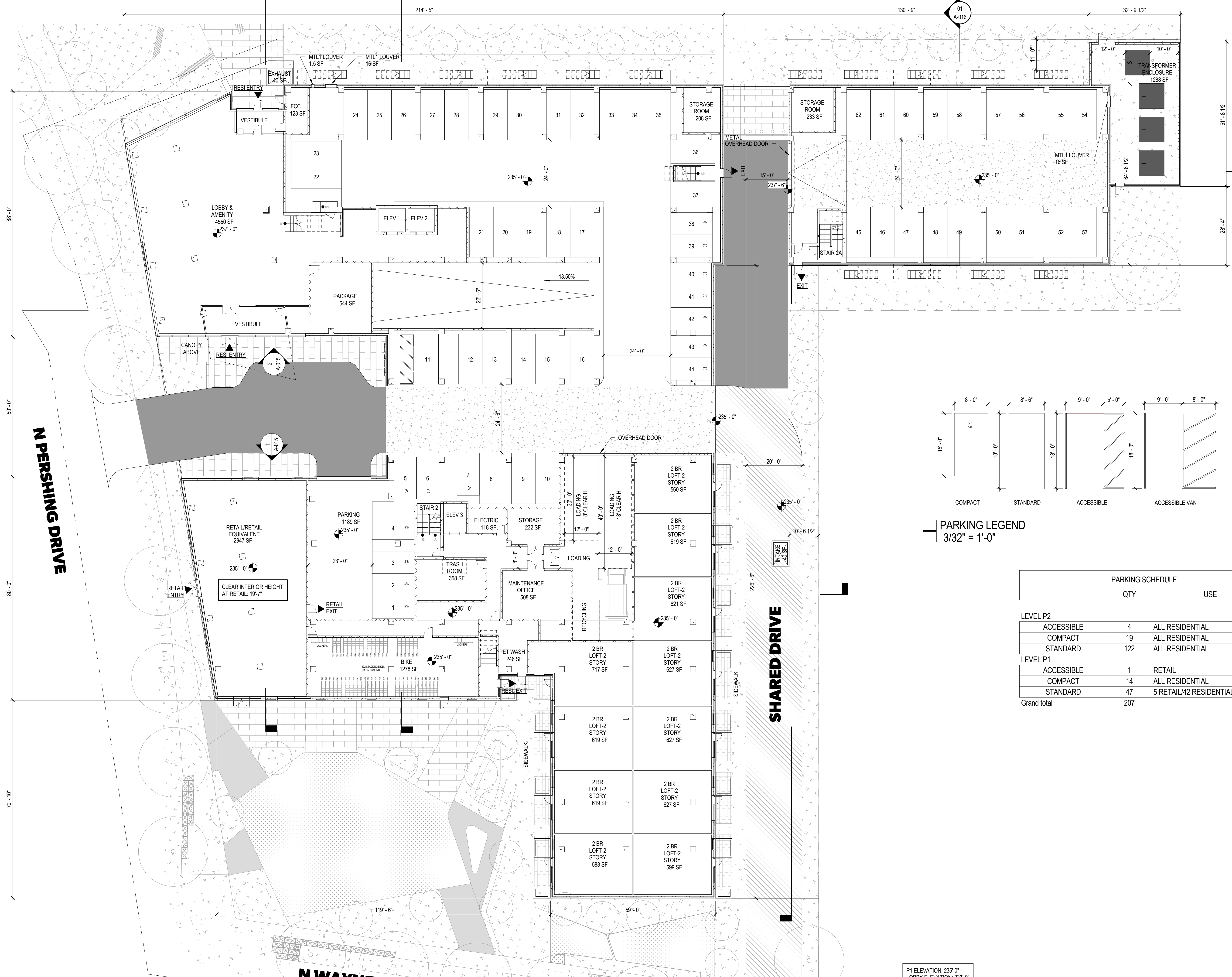
1 A-018

01 A-016

2 A-017

21130

ARVA APARTMENTS



PARKING LEGEND
3/32" = 1'-0"

PARKING SCHEDULE		
	QTY	USE
LEVEL P2		
ACCESSIBLE	4	ALL RESIDENTIAL
COMPACT	19	ALL RESIDENTIAL
STANDARD	122	ALL RESIDENTIAL
LEVEL P1		
ACCESSIBLE	1	RETAIL
COMPACT	14	ALL RESIDENTIAL
STANDARD	47	5 RETAIL/42 RESIDENTIAL
Grand total	207	

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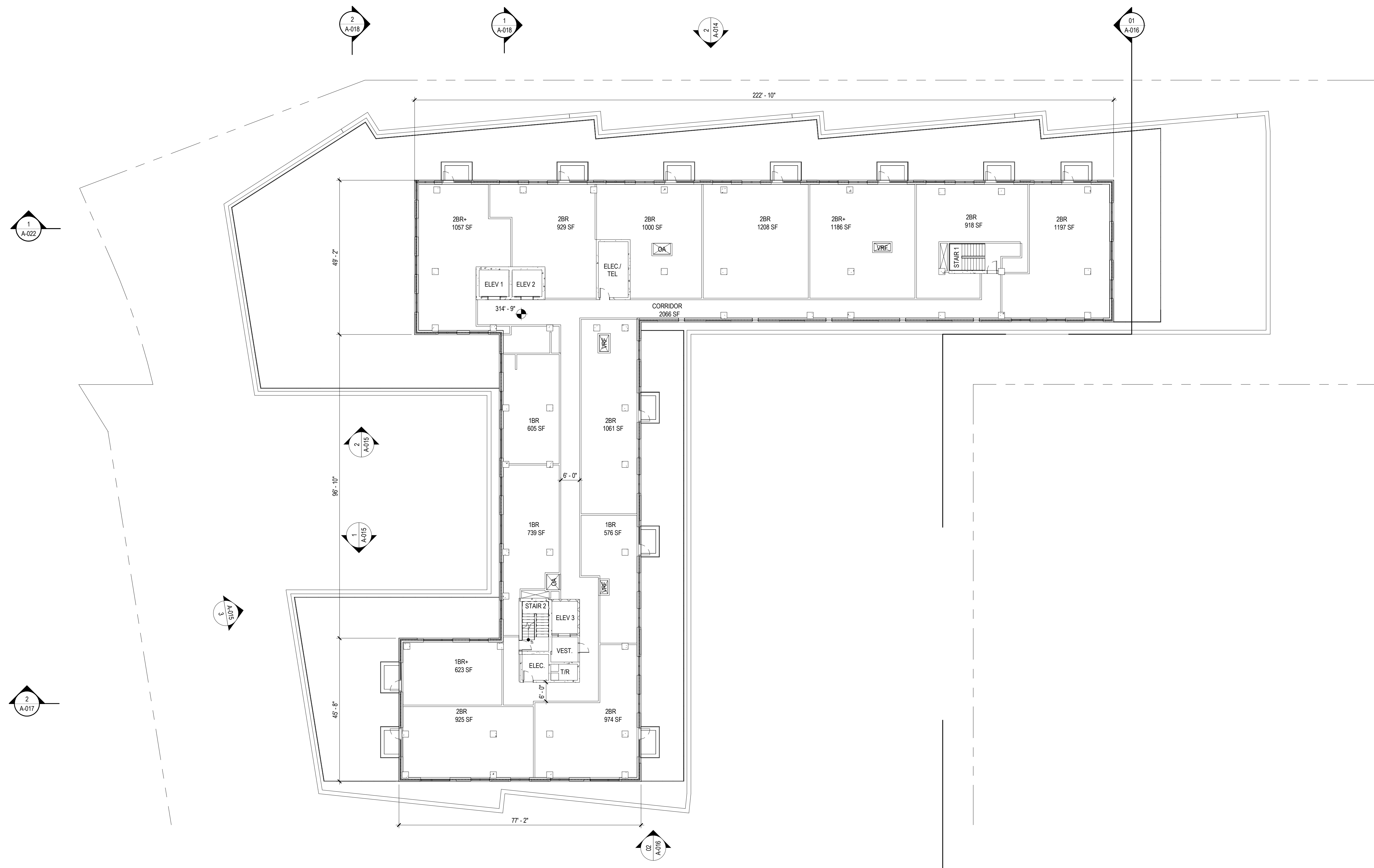


FLOOR PLANS - LP1

A-004

1 LEVEL P1
1/16" = 1'-0"

P1 ELEVATION: 235'-0"
LOBBY ELEVATION: 237'-0"
GFA: 22,142 SF



ELEVATION: 314'-9"
GFA: 17,639 SF

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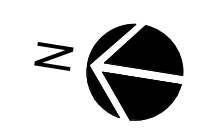
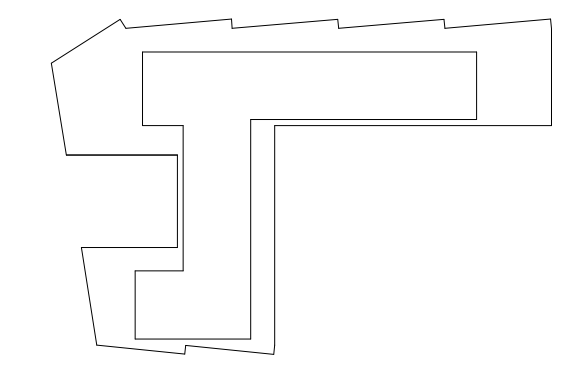
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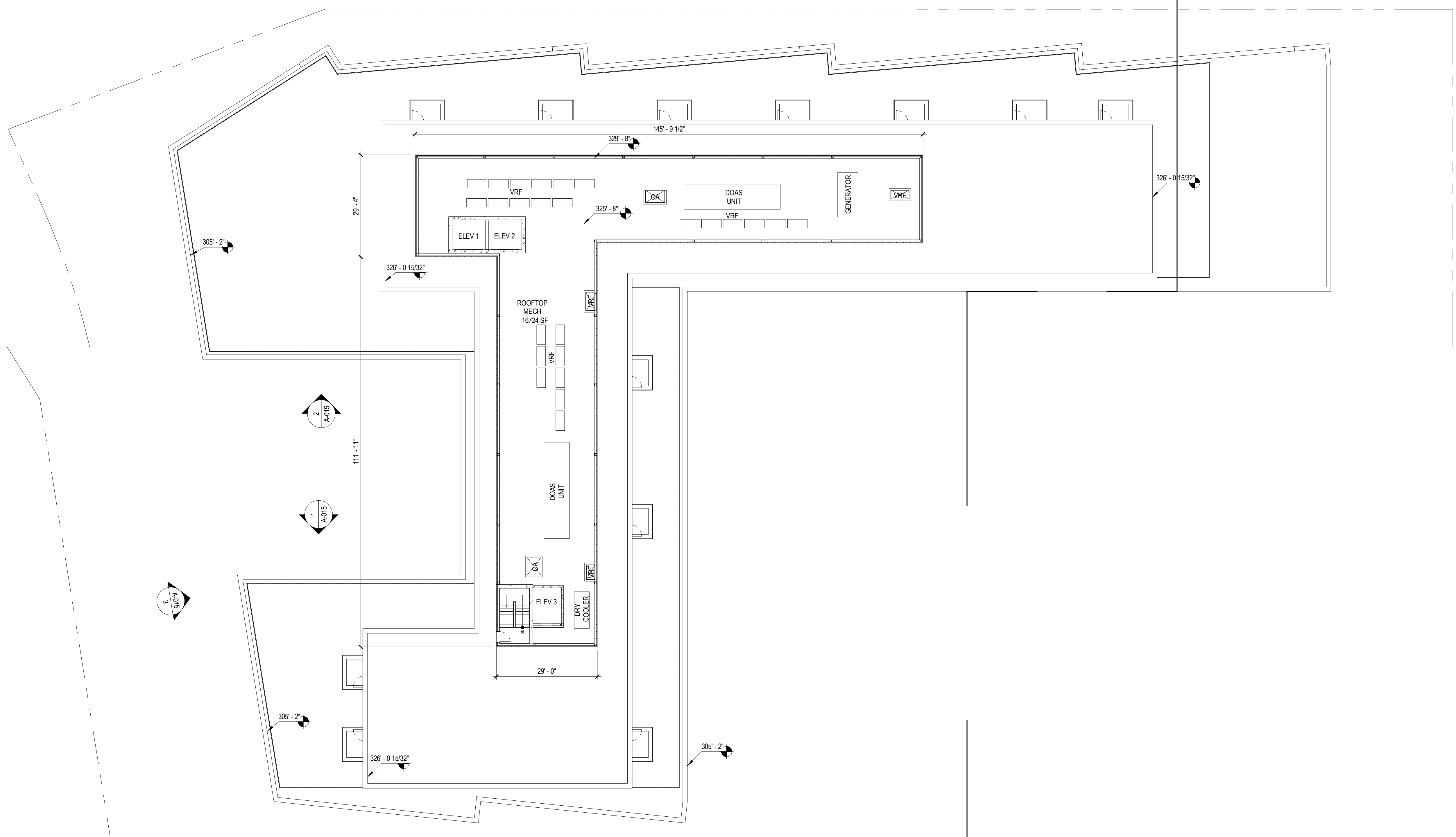
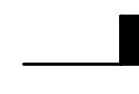
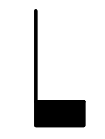
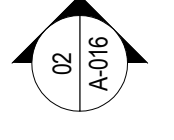
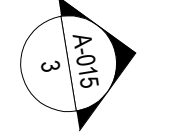
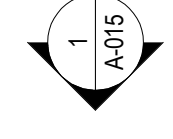
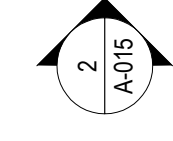
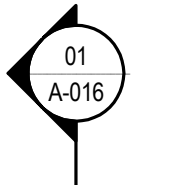
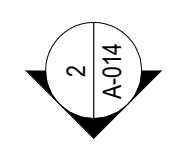
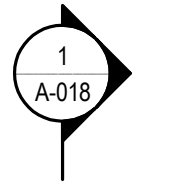
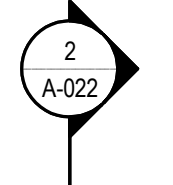
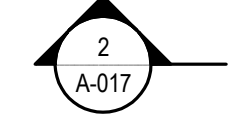
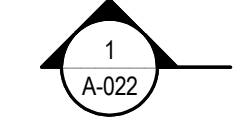
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FLOOR PLANS - L8

A-012



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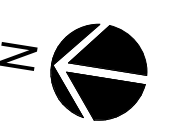
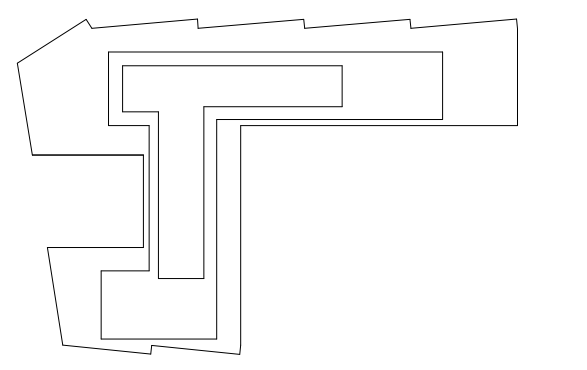
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FLOOR PLANS - PH
ROOF

A-013



2 | Elevation - ARLINGTON BLVD
1/16" = 1'-0"



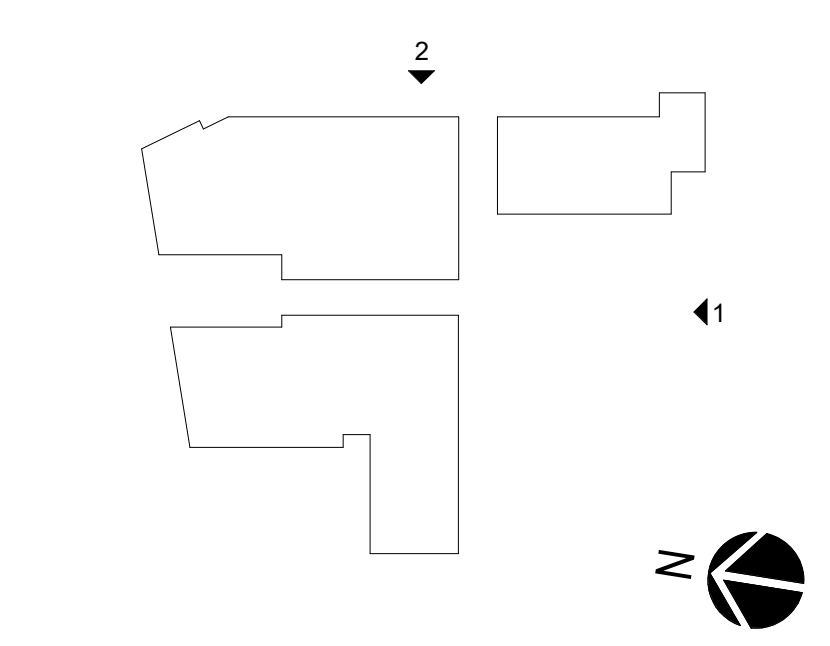
1 | Elevation - SOUTH
1/16" = 1'-0"

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BUILDING ELEVATIONS
A-014
PROJECT NO. 21130



3 Elevation - N PERSHING DR
1/16" = 1'-0"

EXTENT OF BIRD FRIENDLY MATERIALS
GLAZED AREA TO WALL PERCENTAGE = 42.54%

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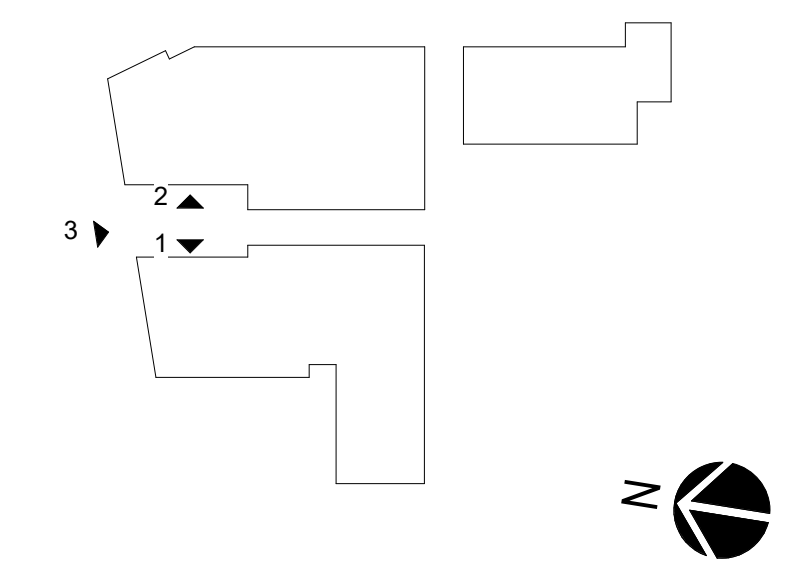
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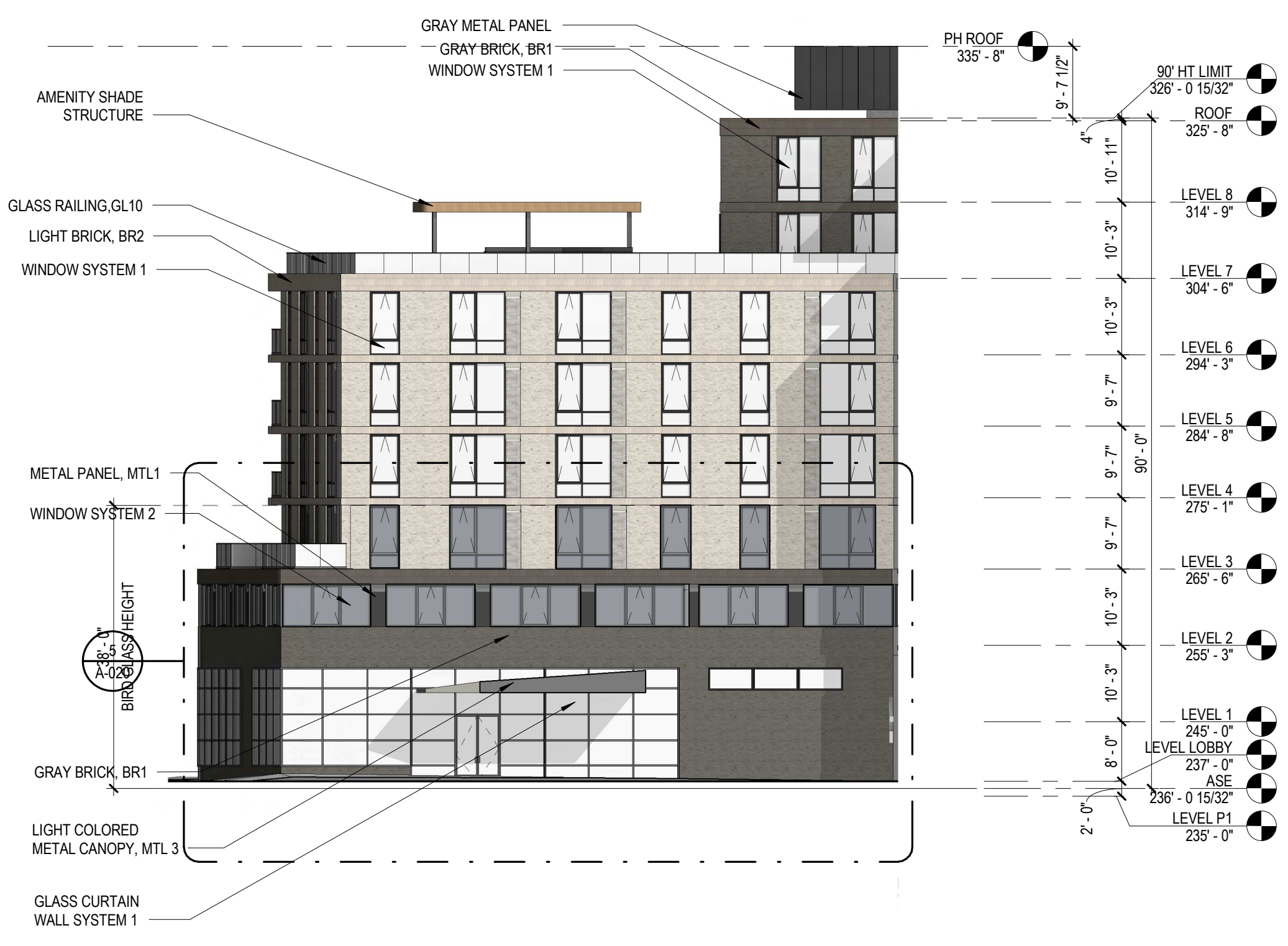
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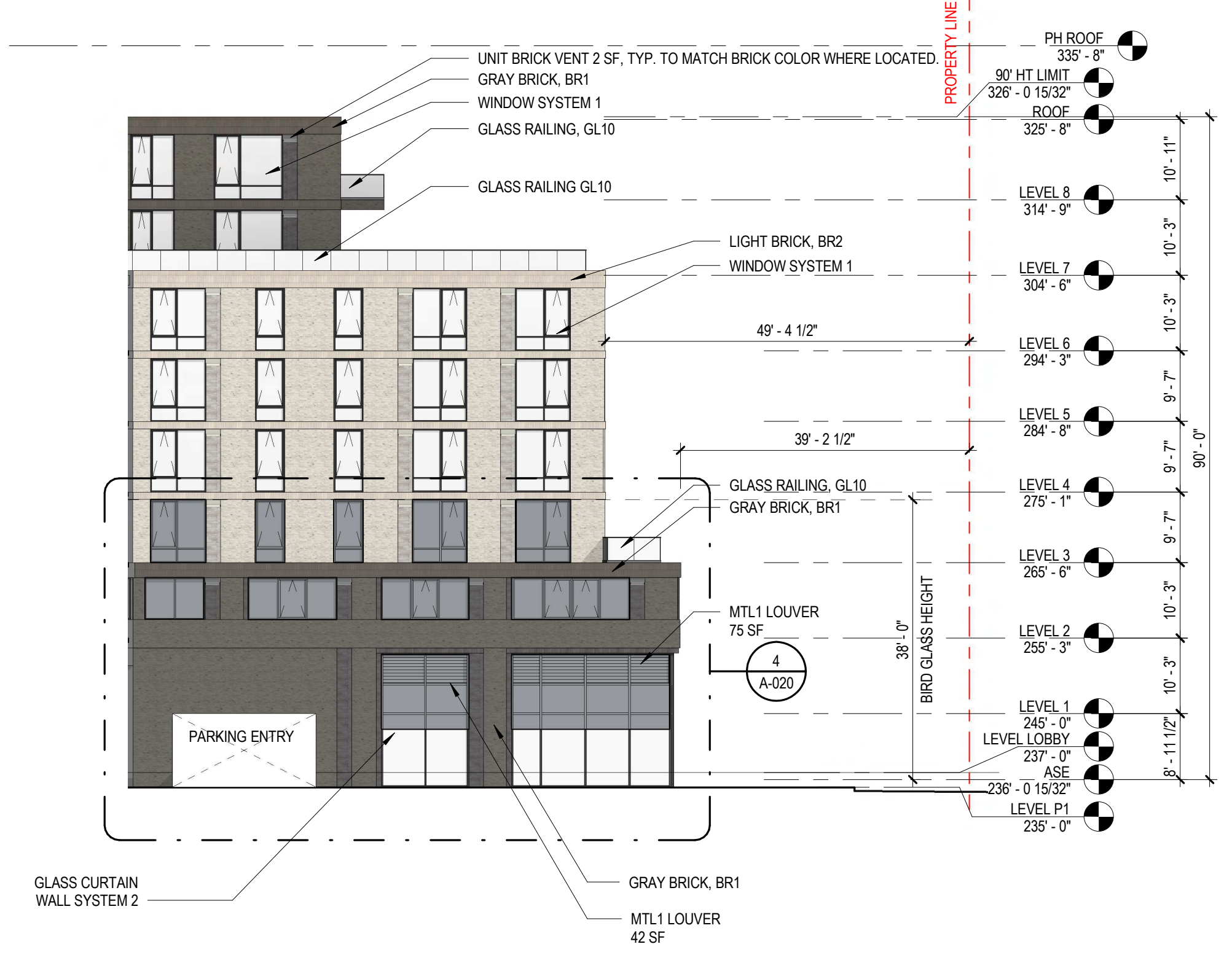
BUILDING ELEVATIONS

A-015



2 Elevation - DROP-OFF
1/16" = 1'-0"

EXTENT OF BIRD FRIENDLY MATERIALS
GLAZED AREA TO WALL PERCENTAGE = 44.98%



1 Elevation - EAST - RETAIL
1/16" = 1'-0"

EXTENT OF BIRD FRIENDLY MATERIALS
GLAZED AREA TO WALL PERCENTAGE = 44.04%



02 Elevation - WEST
1/16" = 1'-0"

EXTENT OF BIRD FRIENDLY MATERIALS
GLAZED AREA TO WALL PERCENTAGE = 33.43%



01 EAST - WEST - SECTION B2
1/16" = 1'-0"

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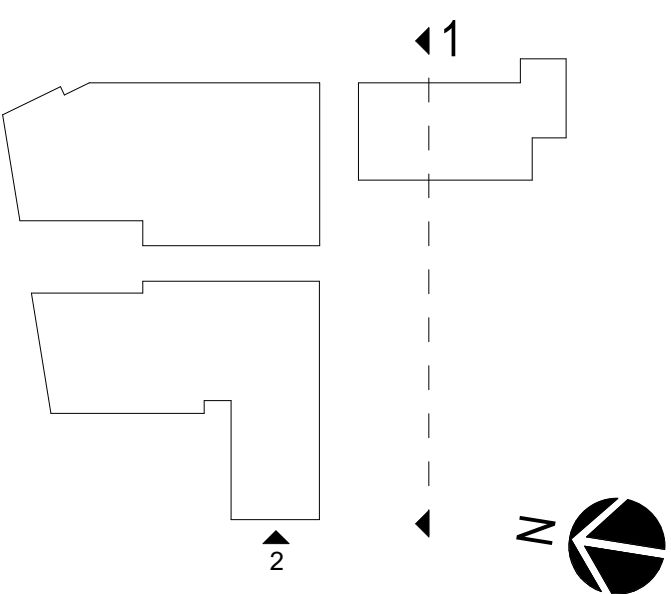
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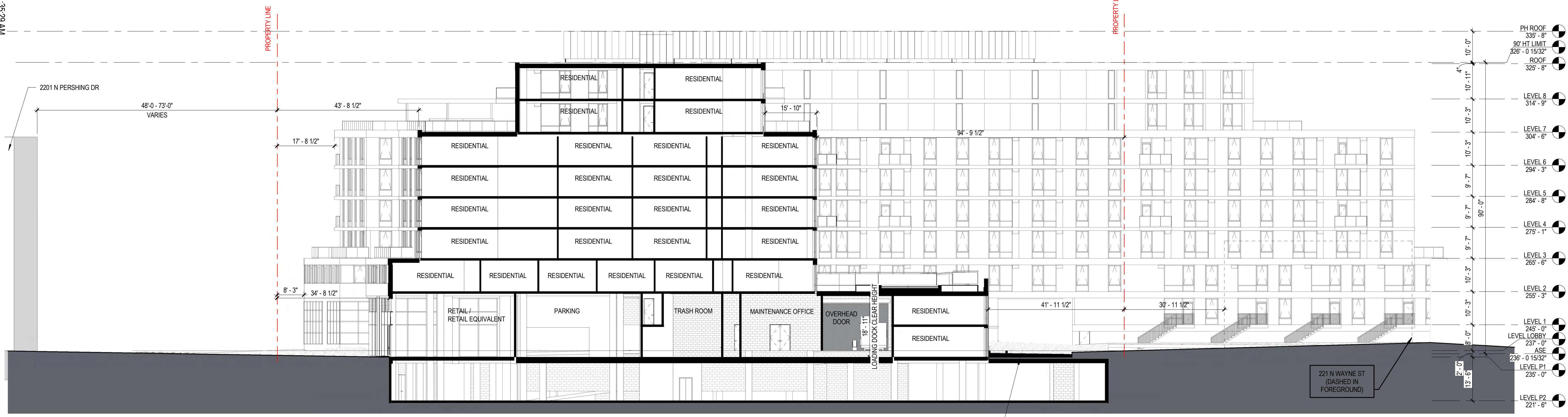
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BUILDING ELEVATIONS / SECTIONS

A-016



- PH ROOF 335'-8"
- 90' HT LIMIT 326'-0 15/32"
- ROOF 325'-8"
- LEVEL 8 314'-9"
- LEVEL 7 304'-6"
- LEVEL 6 294'-3"
- LEVEL 5 284'-8"
- LEVEL 4 275'-1"
- LEVEL 3 265'-6"
- LEVEL 2 255'-3"
- LEVEL 1 245'-0"
- LEVEL LOBBY 237'-0"
- ASE 236'-0 15/32"
- LEVEL P1 235'-0"
- LEVEL P2 221'-6"

2 NORTH-SOUTH SECTION C
1/16" = 1'-0"

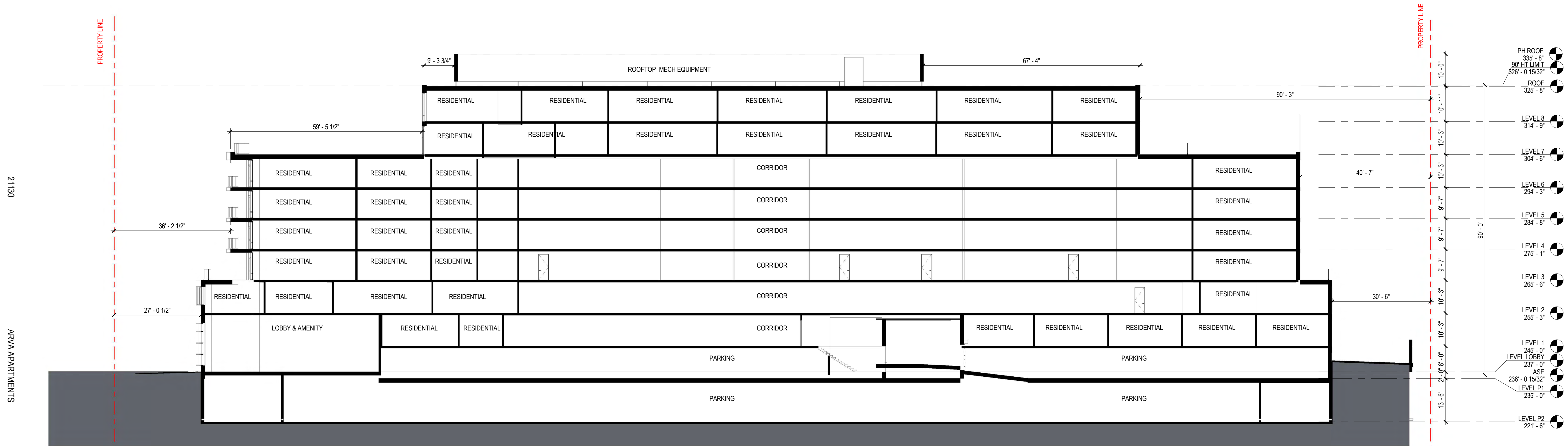
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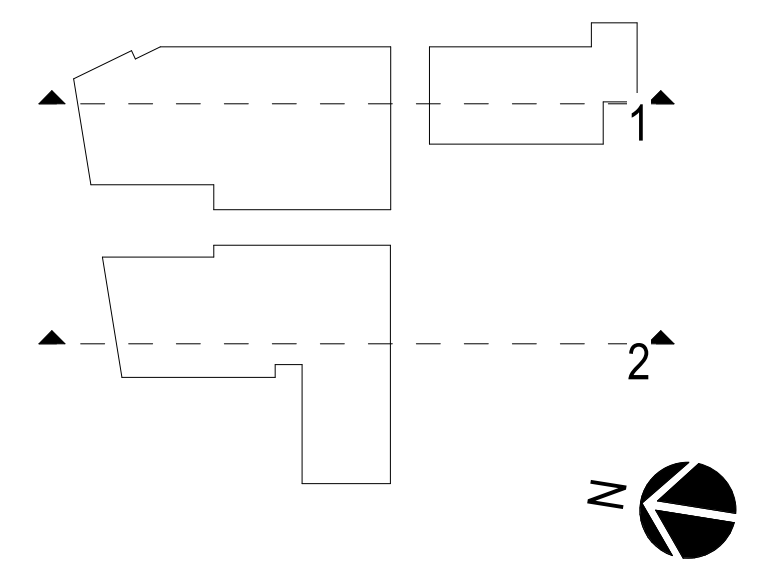
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4.1 FIRST RESUBMISSION	09/02/22



- PH ROOF 335'-8"
- 90' HT LIMIT 326'-0 15/32"
- ROOF 325'-8"
- LEVEL 8 314'-9"
- LEVEL 7 304'-6"
- LEVEL 6 294'-3"
- LEVEL 5 284'-8"
- LEVEL 4 275'-1"
- LEVEL 3 265'-6"
- LEVEL 2 255'-3"
- LEVEL 1 245'-0"
- LEVEL LOBBY 237'-0"
- ASE 236'-0 15/32"
- LEVEL P1 235'-0"
- LEVEL P2 221'-6"

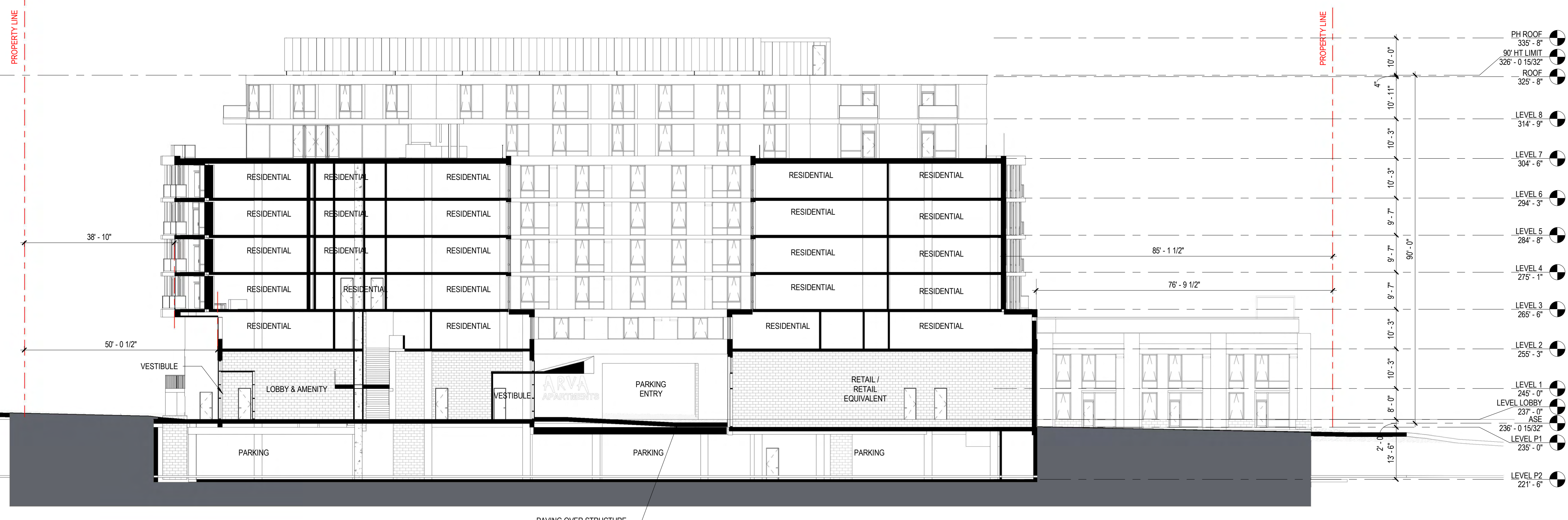
1 NORTH-SOUTH SECTION A
1/16" = 1'-0"

NOT FOR CONSTRUCTION



BUILDING SECTIONS

A-017



2 EAST - WEST - SECTION A
1/16" = 1'-0"

- PH ROOF 335'-8"
- 90' HT LIMIT 326'-0 15/32"
- ROOF 325'-8"
- LEVEL 8 314'-9"
- LEVEL 7 304'-6"
- LEVEL 6 294'-3"
- LEVEL 5 284'-8"
- LEVEL 4 275'-1"
- LEVEL 3 265'-6"
- LEVEL 2 255'-3"
- LEVEL 1 245'-0"
- LEVEL LOBBY 237'-0"
- ASE 236'-0 15/32"
- LEVEL P1 235'-0"
- LEVEL P2 221'-6"

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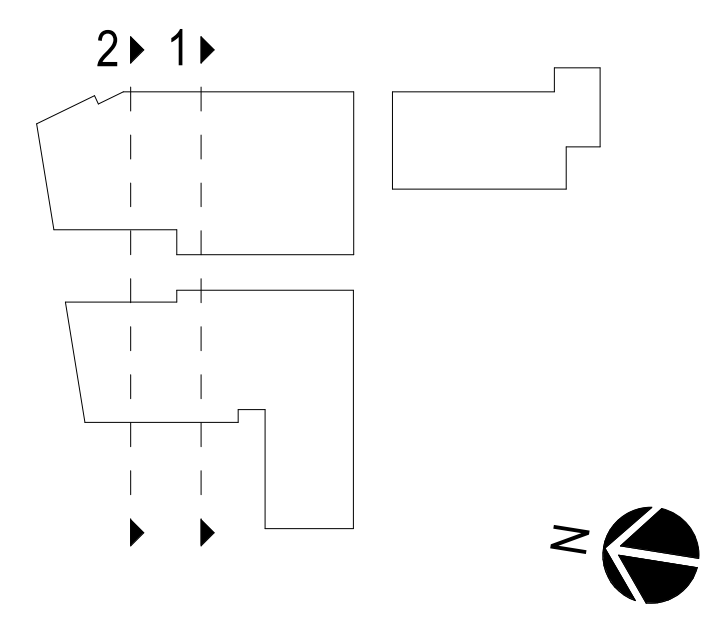
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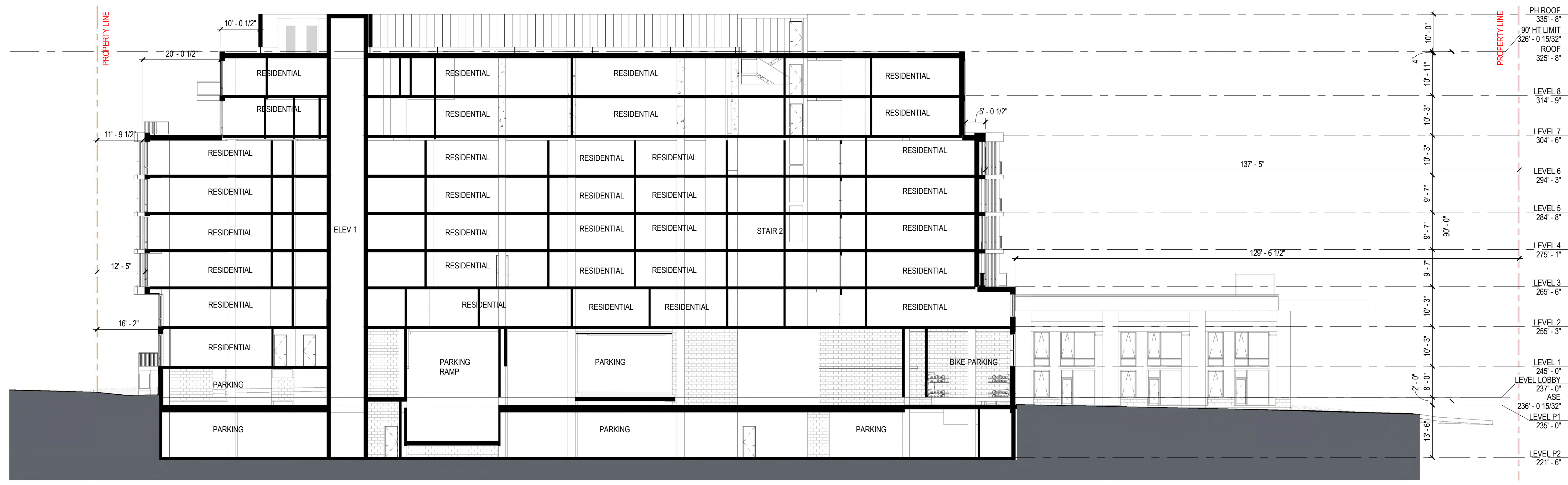
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BUILDING SECTIONS

A-018



1 EAST - WEST - SECTION B
1/16" = 1'-0"

- PH ROOF 335'-8"
- 90' HT LIMIT 326'-0 15/32"
- ROOF 325'-8"
- LEVEL 8 314'-9"
- LEVEL 7 304'-6"
- LEVEL 6 294'-3"
- LEVEL 5 284'-8"
- LEVEL 4 275'-1"
- LEVEL 3 265'-6"
- LEVEL 2 255'-3"
- LEVEL 1 245'-0"
- LEVEL LOBBY 237'-0"
- ASE 236'-0 15/32"
- LEVEL P1 235'-0"
- LEVEL P2 221'-6"



3 ENLARGED ELEVATION - EAST - LOFTS AT ARLINGTON BLVD - PART B
1/8" = 1'-0"

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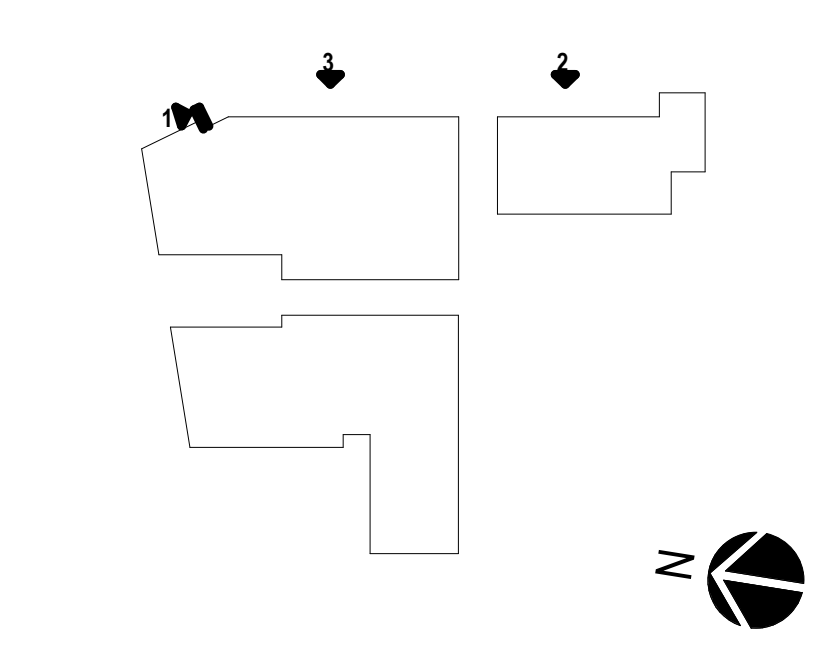
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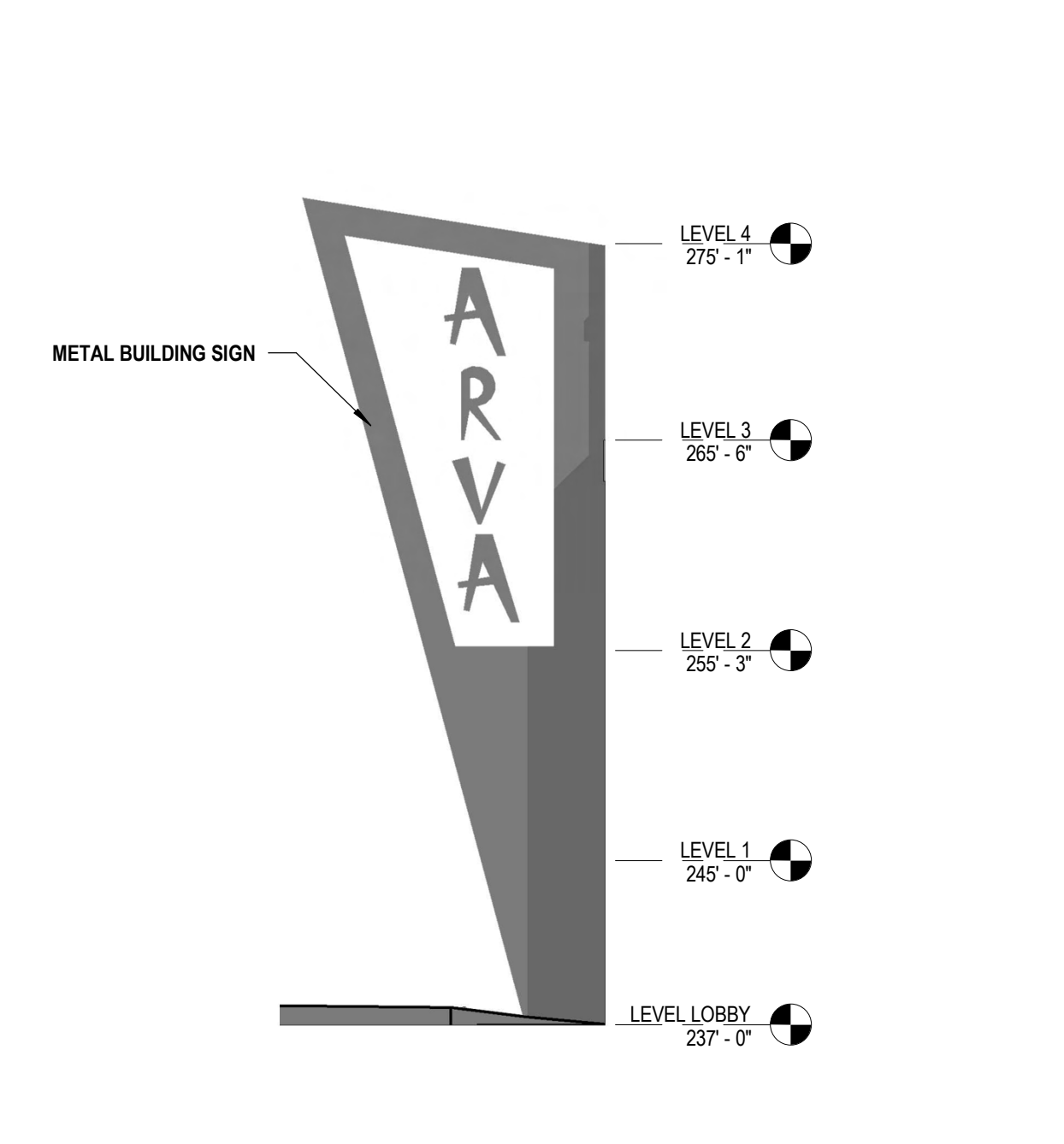


ENLARGED BUILDING ELEVATIONS

A-019
PROJECT NO. 21130

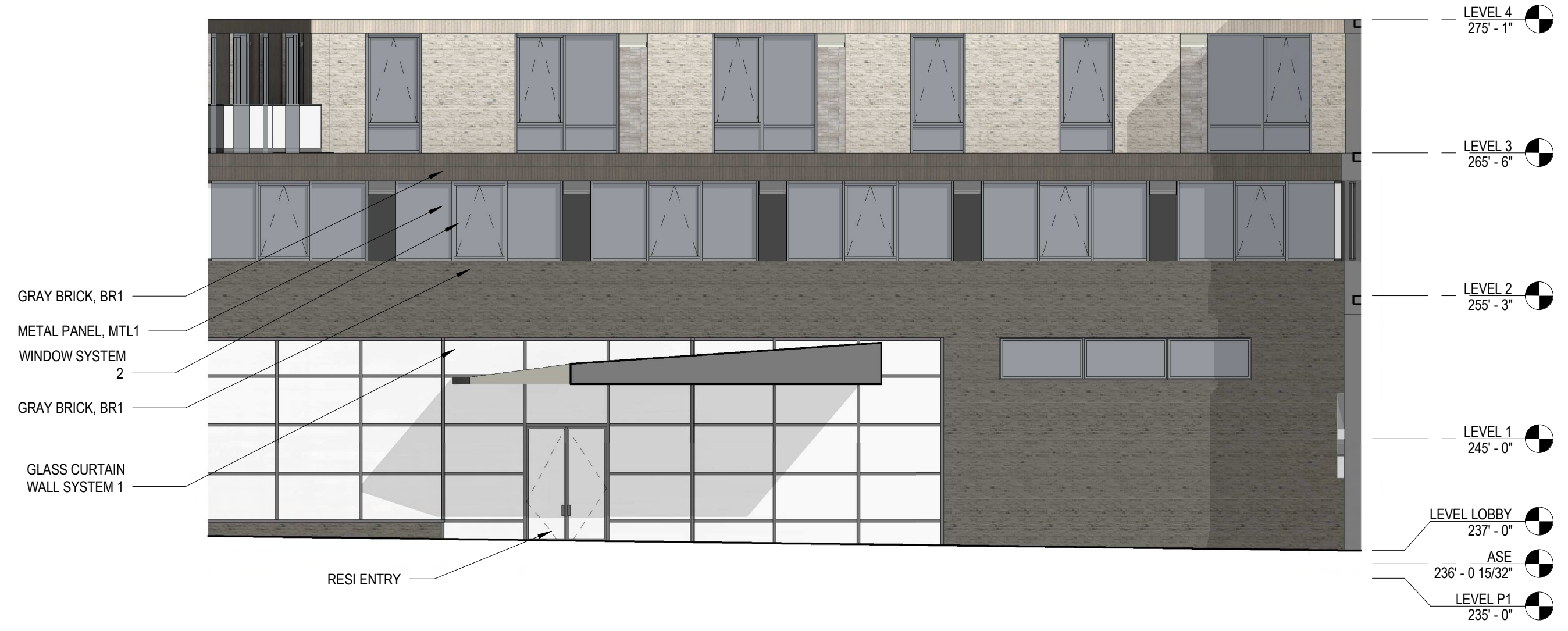


2 ENLARGED ELEVATION - EAST - LOFTS AT ARLINGTON BLVD - PART A
1/8" = 1'-0"



1 N PERSHING - BUILDING SIGNAGE
1/8" = 1'-0"

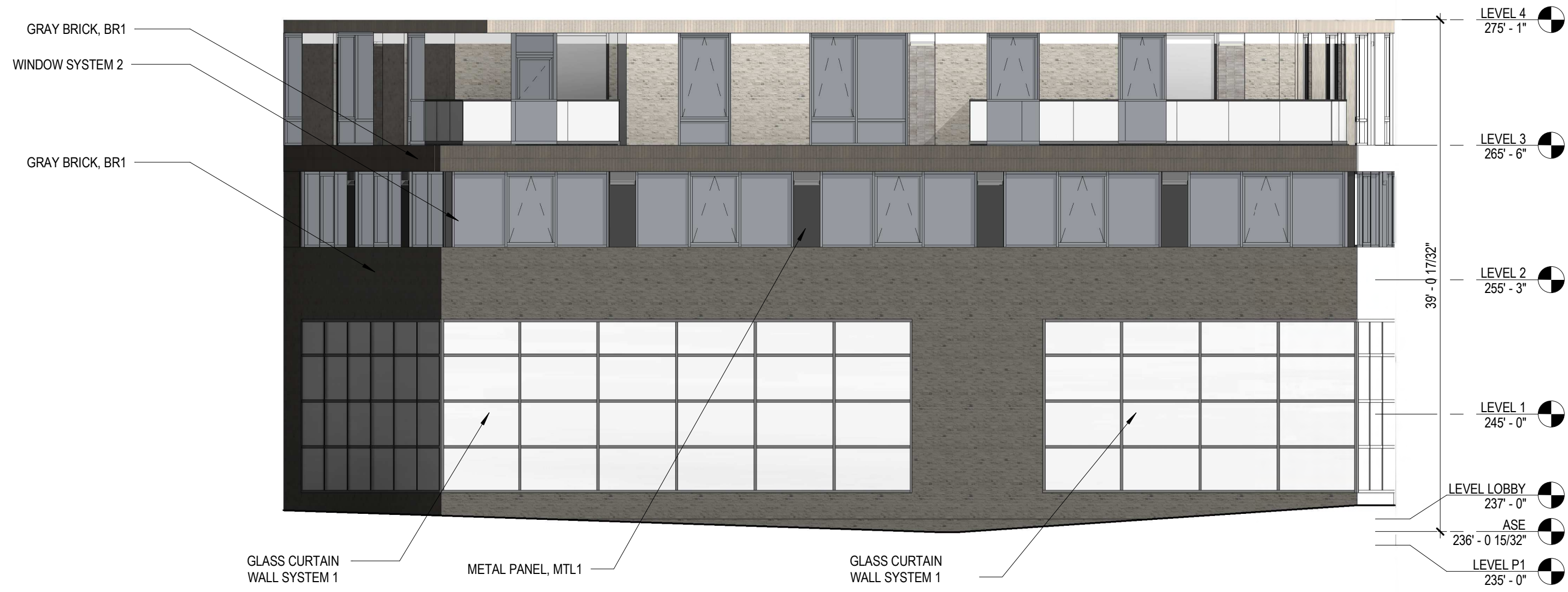
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5 Elevation - DROP-OFF - A
1/8" = 1'-0"



3 Elevation - N PERSHING DR - C
1/8" = 1'-0"



2 Elevation - N PERSHING DR - B
1/8" = 1'-0"



4 Elevation - EAST - RETAIL - A
1/8" = 1'-0"



1 Elevation - WEST - A
1/8" = 1'-0"

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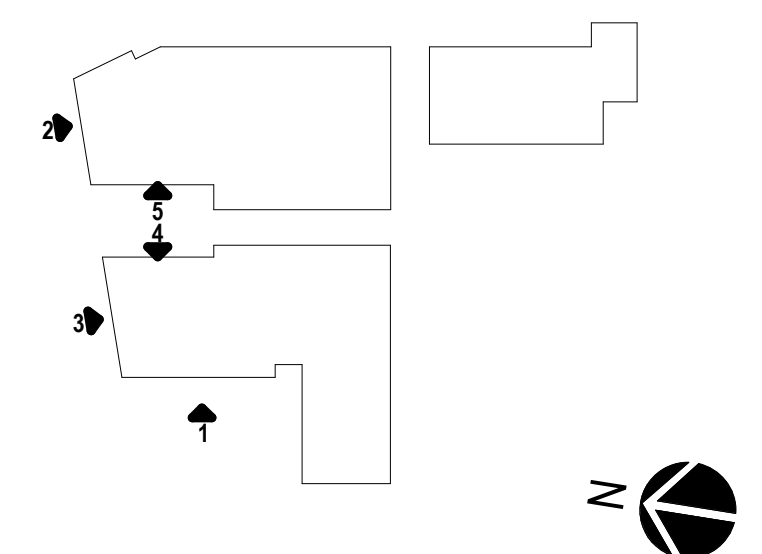
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ENLARGED BUILDING
ELEVATIONS

A-020

21130

ARVA APARTMENTS



4 Elevation - WEST - B
1/8" = 1'-0"

EXTENT OF BIRD FRIENDLY MATERIALS



3 Elevation - WEST - C
1/8" = 1'-0"

EXTENT OF BIRD FRIENDLY MATERIALS



2 Elevation - N PERSHING DR - D
1/8" = 1'-0"

EXTENT OF BIRD FRIENDLY MATERIALS



1 ENLARGED ELEVATION - SOUTH - LOFT AT MEWS
1/8" = 1'-0"

EXTENT OF BIRD FRIENDLY MATERIALS

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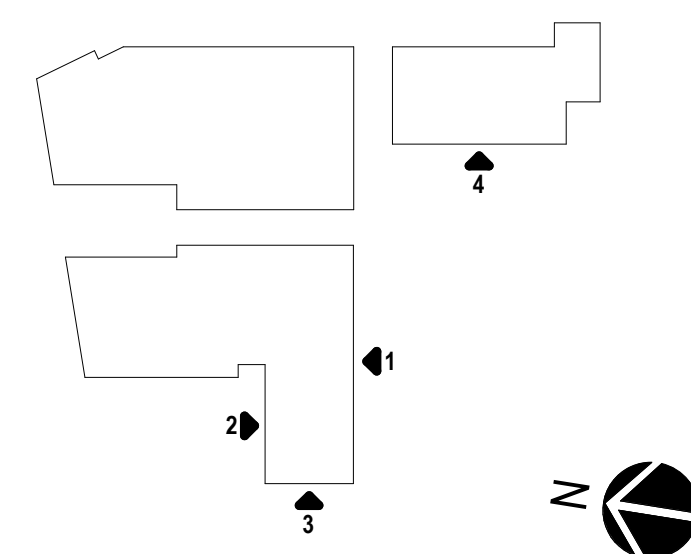
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ENLARGED BUILDING
ELEVATIONS

A-021

ARVA APARTMENTS

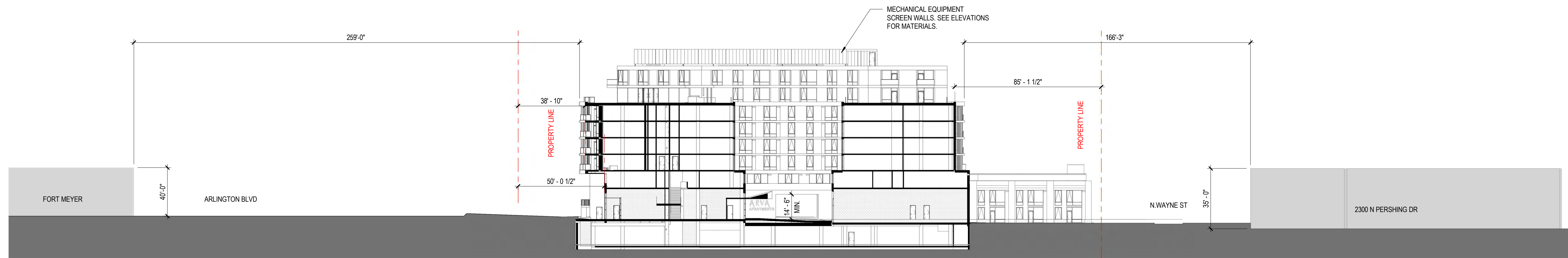
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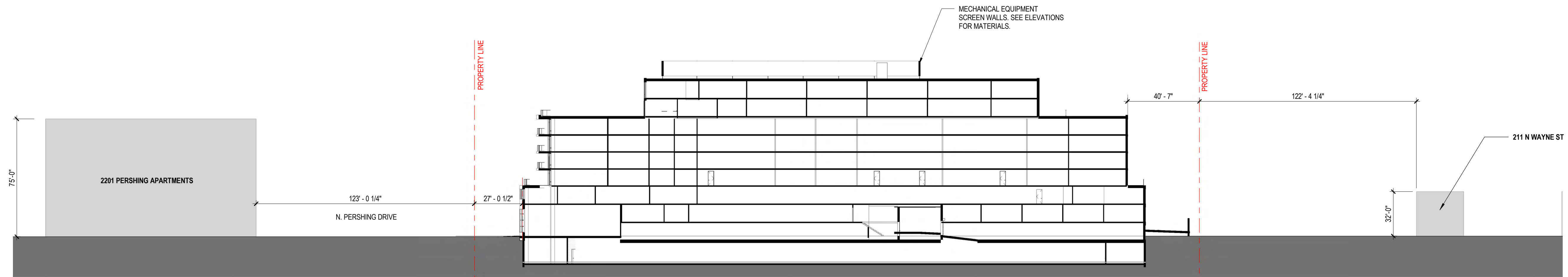
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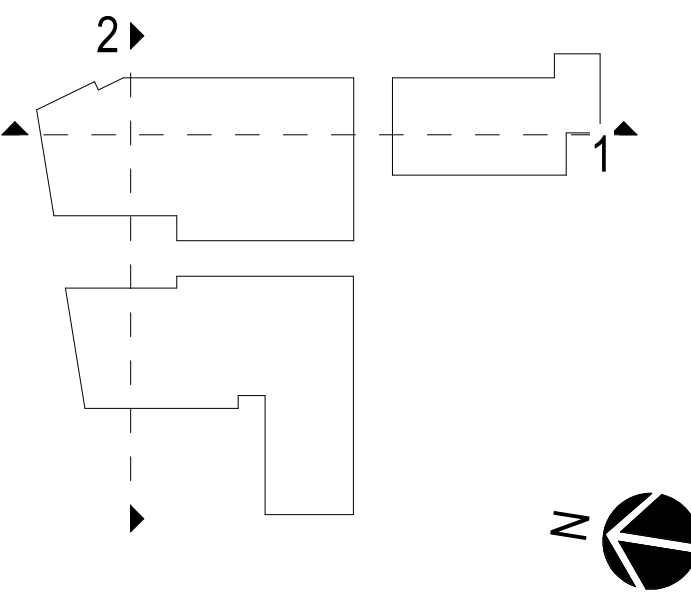


2 EAST - WEST - SITE SECTION
1" = 32'-0"

NOT FOR CONSTRUCTION



1 NORTH-SOUTH SITE SECTION
1" = 32'-0"



SITE SECTIONS

A-022