

## PLANTING NOTES:

- ALL QUANTITIES LISTED IN THE DRAWINGS ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND TO PROVIDE ALL MATERIALS NECESSARY FOR FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED ON THE DRAWINGS. ANY DISCREPANCY SHOULD BE REPORTED TO THE OWNER.
- ALL PLANTS SHOULD BE IN ACCORDANCE WITH ANSI Z60.1 -2014, AMERICAN STANDARD FOR NURSERY STOCK PUBLICATION, APPROVED APRIL 14, 2014.
- CALIPER SIZE OF CANOPY TREES ARE TO BE MEASURED PER LOCAL CITY LANDSCAPE ORDINANCE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SIZE SPECIFICATIONS (CALIPER, HEIGHT AND SPREAD) GIVEN IN THE PLANT SCHEDULE AND SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE.
- ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDESIGN PRIOR TO PURCHASE.
- SIZES LISTED ARE MIN. AND REFER TO HEIGHT, UNLESS OTHERWISE SPECIFIED.
- LANDSCAPE CONTRACTOR SHALL STAKE OUT LOCATIONS OF ALL TREES TO BE PLANTED FOR REVIEW BY LANDESIGN PRIOR TO INSTALLING. LANDESIGN RESERVES THE RIGHT TO ADJUST TREE LOCATIONS IN THE FIELD AS NECESSARY.
- SHRUB/GROUND COVER BEDS SHALL BE STAKED FOR REVIEW BY LANDESIGN/OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION AND OR BED PREPARATION.
- LANDSCAPE CONTRACTOR SHALL INSTALL STEEL EDGING BETWEEN PLANTING BEDS AND LAWNS, OR AS SHOWN IN DETAILS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE LANDESIGN OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THE DRAWINGS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AND MUST BE REPLACED WITH PLANT OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, DEAD AND/OR REMOVED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISHED GRADING SHALL BE REVIEWED BY LANDESIGN. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION SUITABLE FOR PLANTING.
- TREES OVERHANGING INTO THE PUBLIC R.O.W. SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN(14) FEET OVER STREETS, DRIVE AISLES, ALLEYS AND FIRE LANES. TREES OVERHANGING PRIVATE STREETS, WALKS, AND /OR PARKING LOTS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7) FEET.
- LANDSCAPE CONTRACTOR IS REQUIRED TO PERFORM A TREE PIT PERCOLATION TEST FOR EACH TREE PIT PRIOR TO INSTALLATION. IF TREE PIT DOES NOT DRAIN WITHIN A 24-HOUR PERIOD, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A GRAVEL SUMP, FILTER FABRIC AND STAND PIPE. ALL TREE PIT SUMPS SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID AS A UNIT PRICE AND PROVIDE AS A DEDUCT ALTERNATE PER TREE PIT SUMPS NOT REQUIRED TO BE INSTALLED.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REVIEW SITE ENVIRONMENTAL CONDITIONS PRIOR TO AND DURING INSTALLATION OF PLANT MATERIAL. ANY DISCREPANCIES OR CONCERNS BETWEEN THE ENVIRONMENTAL SITE CONDITIONS (I.E. SOIL TYPE, WATER, CLIMATE, WIND, SUN EXPOSURE ETC.) AND THE PLANT MATERIAL SPECIFIED WITHIN THE DRAWING SHALL BE BROUGHT TO THE ATTENTION OF LANDESIGN AND/OR OWNER, AND SHALL BE DONE SO IN WRITING. CONTRACTOR SHALL PROVIDE SUGGESTED SOLUTIONS FOR ALTERNATIVE PLANT MATERIAL PROPOSED FOR SUBSTITUTION. LANDESIGN TO REVIEW CONDITIONS AND INFORMATION SUBMITTED BY CONTRACTOR AND WILL ISSUE DIRECTIVE. SHOULD PLANT MATERIAL DIE BECAUSE OF ENVIRONMENTAL CONDITIONS DESCRIBED ABOVE, THE LANDSCAPE CONTRACTOR ASSUMES ALL WARRANTY AND GUARANTEE OF THE PLANT MATERIAL INSTALLED.
- ALL NEW PLANTING AREAS SHALL BE BACKFILLED WITH PLANTING SOIL THAT IS A MIXTURE OF 40-50% IMPORTED UNSCREENED TOPSOIL, 40-45% COARSE SAND, AND 10% COMPOST. FINAL TESTED ORGANIC MATTER SHALL BE BETWEEN 2.75 AND 4% (BY DRY WEIGHT). BACKFILL SHALL BE TO A DEPTH OF 18" FOR SHRUB AND GROUND COVER ZONES AND 36" FOR TREE PITS.
- AFTER PLANTING SOIL MIXES ARE INSTALLED IN PLANTING BED AREAS AND JUST PRIOR TO THE INSTALLATION OF SHRUB OR GROUND COVER PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE GRADES SLIGHTLY ABOVE THE FINISHED GRADES, IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN.
- IN ALL EXISTING PLANTING AREAS DESIGNATED TO RECEIVE NEW PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE THE GRADES SLIGHTLY ABOVE THE FINISHED GRADES, IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN. IN NO CASE WILL THIS BE PERFORMED WHERE IT MAY NEGATIVELY IMPACT THE HEALTH OF ADJACENT, EXISTING PLANT MATERIALS WHICH ARE DESIGNATED TO REMAIN.
- LANDSCAPE CONTRACTOR TO WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO REPLACE DEFECTIVE WORK AND DEFECTIVE PLANTS, AND THAT THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION IF PLANTS MEET THE REQUIRED SPECIFICATIONS OR THAT PLANTS ARE DEFECTIVE. PLANTS DETERMINED TO BE DEFECTIVE SHALL BE REMOVED IMMEDIATELY UPON NOTIFICATION BY THE OWNER'S REPRESENTATIVE AND REPLACED WITHOUT COST TO THE OWNER, AS SOON AS WEATHER CONDITIONS PERMIT AND WITHIN THE SPECIFIED PLANTING PERIOD. THE REPLACED MATERIALS SHALL ALSO RECEIVE A WARRANTY PERIOD OF ONE YEAR WHICH STARTS AT THE DATE OF INSTALLATION. BULBS, ANNUAL FLOWERS, AND SEASONAL COLOR PLANTS SHALL ONLY BE WARRANTED FOR THE PERIOD OF THE EXPECTED BLOOM OR PRIMARY DISPLAY.

## PLANTERS/POTS/SEASONAL PLANTING NOTES:

- SOIL SHOULD BE NUTRIENT-RICH, MOISTURE CONTAINING PLANTING MEDIUM AND BE A MINIMUM 18" DEPTH FOR SEASONALS, PERENNIALS AND SMALL SHRUBS; MINIMUM 36" DEPTH FOR ALL TREES.
- A LAYER OF RIVER ROCK SHALL BE PLACED IN THE BASE OF EACH PLANTER POT TO A MINIMUM 6" DEPTH OR AS ALLOWABLE BY REQUIRED SOIL DEPTH. PLACE FILTER FABRIC BETWEEN SOIL MEDIUM AND RIVER ROCK AND SOIL MEDIUM AND PLANTER EDGES. OVERLAP FABRIC 6" MINIMUM TO MINIMIZE SOIL WASH.
- PLANTERS POTS WHICH DO NOT RECEIVE IRRIGATION SHALL BE HAND-WATERED. HAND WATERING SHOULD OCCUR MINIMUM 2 TIMES PER WEEK DURING COOLER AND RAINY SEASONS AND INCREASED TO EVERY 2-3 DAYS DURING HOT/DRY WEATHER. ALWAYS CHECK SOIL 6" BELOW SURFACE FOR SATURATION PRIOR TO WATERING TO PREVENT OVERWATERING/DROWNING OF PLANT MATERIAL.
- WHEN APPLICABLE, PLANTS TO REMAIN IN CONTAINERS FOR DURATION OF SEASON ARE SHOWN IN THE "PERMANENT" LAYOUT. EACH SEASON WILL HAVE ITS OWN PLANT MATERIAL. SOME OF WHICH MAY LAST ALL YEAR. ROTATE IN THE PLANTS NOTED FOR EACH SEASON.
- IF PLANT MATERIAL DIES DURING A SEASON AND IS EXPECTED TO REMAIN FOR AN ADDITIONAL SEASON, CONTRACTOR IS TO REPLACE AT TIME OF NEXT SEASONAL ROTATION.
- CONTACT LANDESIGN FOR ANY REQUIRED SUBSTITUTIONS.
- ALL PLANTS SHOULD BE FULL AT TIME OF INSTALLATION AND COVER 75% OF POT SURFACE AREA.
- AVOID PLANTING IN THE ROOT ZONE OF ANY PERMANENT TREES, SHRUBS, OR PERENNIALS.
- SEASONAL PLANTS SHOULD BE REMOVED FOLLOWING THE FIRST MAJOR FROST DIEBACK AND REPLACED WITH EVERGREEN BOUGHS OR OTHER OWNER APPROVED WINTER DECOR. TREES, SHRUBS AND PERENNIALS SHOULD REMAIN IN THE CONTAINERS YEAR ROUND AND REPLACED ONLY AS NECESSARY.

## IRRIGATION NOTES:

- A FULLY AUTOMATED IRRIGATION SYSTEM PROVIDING 100% COVERAGE SHALL BE PROVIDED FOR ALL PLANTING AREAS, UNLESS NOTED OTHERWISE. SYSTEM SHALL BE IN OPERATION PRIOR TO INSTALLATION OF ANY PLANT MATERIAL OTHER THAN CANOPY TREES.
- ALL PLANTING BEDS/ SHRUB AND GROUND COVER AREAS TO BE IRRIGATED WITH EITHER 12" SPRAY POP-UPS AND/OR A LANDSCAPE DRIP-LINE SYSTEM, UNLESS NOTED OTHERWISE.
- ALL PLANTER POTS AND RAISED PLANTERS TO BE IRRIGATED WITH MICRO SPRAY SPRINKLER HEADS.
- IRRIGATION SYSTEM IS DESIGN/BUILD. CONTRACTOR TO PROVIDE DRAWINGS AND CUT SHEETS OF ALL COMPONENTS.
- PROVIDE AS-BUILT DRAWINGS OF IRRIGATION AFTER INSTALLATION.

## MATERIALS + PAVING NOTES:

- ALL MATERIALS, CONSTRUCTION METHODS, WORKMANSHIP, EQUIPMENT SERVICES AND TESTING FOR ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS. IN THE EVENT OF A CONFLICT BETWEEN THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
- SUBGRADE PREPARATION, PAVEMENT STRENGTH AND THICKNESS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
  - PROOF-ROLL SUBGRADE: PRIOR TO PREPARATION OF THE SUBBASE, THE SUBGRADE SHALL BE PROOF-ROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT OR PUMPING AREAS SHALL BE EXCAVATED TO FIRM SUBGRADE AND BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
  - PAVEMENT SUBGRADE SHALL BE GRADED TO PREVENT PONDING AND INFILTRATION OF EXCESSIVE MOISTURE ON OR ADJACENT TO THE PAVEMENT SUBGRADE.
- THE USE OF "LEVEL UP" SAND UNDER PAVEMENT WILL NOT BE ACCEPTED, UNLESS NOTED OTHERWISE..
- CONCRETE SHALL NOT BE PLACED WHEN THE TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AND FALLING, BUT MAY BE PLACED WHEN THE TEMPERATURE IS ABOVE 35 DEGREES FAHRENHEIT AND RISING. THE TEMPERATURE READING SHALL BE TAKEN IN THE SHADE AWAY FROM ARTIFICIAL HEAT.
  - DO NOT PLACE CONCRETE WHILE IT IS RAINING OR WHEN RAIN IS IMMINENT.
- CAST IN PLACE CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS:
  - MINIMUM 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS NOTED OTHERWISE.
  - AGGREGATES: ASTM C33 MAX 3/4" IN SIZE, UNLESS NOTED OTHERWISE
  - SLUMP: 3 TO 5 INCHES
  - AIR CONTENT: 4 TO 6 PERCENT BY VOLUME
- CONCRETE THICKNESS:
  - PEDESTRIAN AREA: 4" THICK, UNLESS NOTED OTHERWISE.
  - ALL OTHER CONCRETE COMPONENTS INSTALL PER SIZE SPECIFIED IN DRAWINGS
- CONCRETE REINFORCING:
  - 4" THICK PAVING: #3's AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
  - 6" THICK PAVING: #4s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
  - 8" THICK PAVING: #5's AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
  - ALL PAVEMENT REINFORCING BARS SHALL BE GRADE 60 KSI DEFORMED BILLET STEEL BARS, UNCOATED FINISH. SIZE AND SPACING SHALL BE IN ACCORDANCE WITH THE PAVING PLAN AND DETAILS.
  - ALL REINFORCING STEEL AND DOWEL BARS IN PAVEMENT SHALL BE SUPPORTED AND MAINTAINED AT THE CORRECT CLEARANCES BY THE USE OF BAR CHAIRS.
- CONTROL JOINTS (TROWEL OR SAW CUT)
  - TO BE PLACED AS INDICATED ON PLANS AND DETAILS TO A MINIMUM DEPTH OF 1/8 OF CONCRETE THICKNESS.
  - SAW CUT JOINTS TO BE EXECUTED WITHIN 12 HOURS OF CONCRETE PLACEMENT.
  - SAWN JOINTS ARE TO BE TRUE IN ALIGNMENT AND SHALL CONTINUE THROUGH ADJACENT CURBS. RADIAL JOINTS SHALL BE NO SHORTER THAN 18".
  - SAWN JOINTS TO BE CLEANED OF DEBRIS, DIRT, DUST, SCALE, CURING COMPOUND AND CONCRETE, BLOWN DRY AND IMMEDIATELY SEALED. SEALANT MATERIAL SHALL BE SONNEBORN SONOLASTIC SL2 MULTI-COMPONENT, SELF-LEVELING, ELASTOMERIC POLYURETHANE OR EQUIVALENT. SEALANT COLOR SHALL MATCH MATCH PAVEMENT.
- EXPANSION JOINTS
  - PLACE AT A MAXIMUM SPACING OF 30' O.C. AND COORDINATE WITH OVERALL PAVING PATTERN AND COLOR.
  - PROVIDE DOWELS AS SPECIFIED IN DRAWING DETAILS.
  - CONTRACTOR SHALL PREPARE A JOINT LAYOUT AND PROVIDE IT TO THE ENGINEER FOR REVIEW. THE JOINT LAYOUT SHALL BE PROVIDED A MINIMUM OF ONE WEEK PRIOR TO PLACING CONCRETE. PATTERN SHALL BE CAREFULLY DESIGNED BY THE CONTRACTOR TO AVOID IRREGULAR SHAPES. EXPANSION JOINTS SHALL NOT BE LOCATED ALONG VALLEYS IN PAVEMENT.
- ALL CONSTRUCTION JOINTS SHALL BE SAWN. CONCRETE FINISHES TO BE PER DRAWING DETAILS AND SPECIFICATIONS.
  - CONCRETE SHALL BE BROOM FINISHED AND CURED FOR A MINIMUM OF 72 HOURS UNLESS NOTED OTHERWISE.
- BREAKOUTS FOR REMOVAL OF EXISTING PAVEMENT AND CURBS SHALL BE MADE BY FULL DEPTH SAW CUT WHEN ADJACENT TO PROPOSED PAVEMENT AND/OR CURBS.
- PROPOSED PAVEMENT AND/OR CURBS INTENDED TO TIE INTO EXISTING SHALL MATCH SHALL MATCH THE ELEVATION OF EXISTING PAVEMENT AND/OR CURBS.
- PAVEMENT MARKINGS
  - PAVEMENT MARKINGS SHALL BE PROVIDED IN ACCORDANCE WITH THE ARLINGTON COUNTY "UNIFORM TRAFFIC MANUAL FOR PAVEMENT MARKINGS"
  - FIRE LANES SHALL BE STRIPED AND/OR SIGNED IN ACCORDANCE WITH THE GOVERNING AUTHORITIES' REGULATIONS.
  - ALL ACCESSIBLE PAVEMENT MARKINGS SHALL COMPLY WITH ADAAG STANDARDS AND STATE AND LOCAL CODES.
  - PARKING SPACE STRIPES, ACCESSIBLE SPACES, PEDESTRIAN STRIPING, DIRECTIONAL ARROWS AND LETTERING SHALL BE SOLID WHITE, UNLESS A SPECIFIC COLOR IS REQUIRED BY LOCAL CODE. TWO (2) COATS OF VOC COMPLIANT, LOCAL DOT APPROVED, UNDILUTED, SOLVENT BASED OR LATEX TRAFFIC PAINT SHALL BE APPLIED. USE MANUFACTURER'S RECOMMENDED APPLICATION RATE, WITHOUT ADDITION OF A THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON OR AS REQUIRED. PROVIDING MINIMUM 15 MILS WET FILM THICKNESS AND 7 MILS DRY FILM THICKNESS PER COAT WITH A MINIMUM OF 30 DAYS BETWEEN APPLICATIONS. PAINT SHALL BE CRISP, STRAIGHT AND APPLIED UNIFORMLY ACROSS THE WIDTH OF THE LINE FOR A MINIMUM TOTAL DRY FILM THICKNESS OF 15 MILS.
- CONTRACTOR SHALL REFER TO THE SITE CIVIL, MEP AND IRRIGATION PLANS FOR CONDUIT TO BE INSTALLED UNDER PAVEMENT PRIOR TO COMMENCING PAVEMENT SUBGRADE PREPARATION.
- ALL TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LABORATORY, EMPLOYED AND PAID DIRECTLY BY THE OWNER. TESTING SHALL BE PERFORMED, AT A MINIMUM, IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE EVENT THE RESULTS OF THE INITIAL TESTING DO NOT COMPLY WITH THE PLANS AND THE SPECIFICATIONS, SUBSEQUENT TEST NECESSARY TO DETERMINE THE ACCEPTABILITY OF CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE. PAVEMENT FOUND TO BE DEFICIENT IN STRENGTH OR THICKNESS SHALL BE REMOVED AND REPLACED SOLELY AT THE EXPENSE OF THE CONTRACTOR.

## ACCESSIBILITY NOTES:

- MAX CROSS SLOPE ON PAVED SURFACES SHALL BE 2% MAXIMUM, UNLESS NOTED OTHERWISE.
- MAX RUNNING SLOPE ON PAVED SURFACES SHALL BE 5% MAXIMUM, UNLESS NOTED OTHERWISE.
- ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". CONTRACTOR SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
- ALL CURB RAMPS SHALL BE BROOM FINISHED PERPENDICULAR TO SLOPE.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO COMPLY WITH ALL APPROPRIATE FAIR HOUSING ACCESSIBILITY GUIDELINES AND GENERAL NOTES FOR PUBLIC AND COMMON USE FACILITIES. REPORT ANY DISCREPANCIES TO LANDESIGN.

## GENERAL NOTES:

- BASE INFORMATION, INCLUDING EXISTING CONDITIONS, TOPOGRAPHY, EXISTING UTILITIES, AND BOUNDARY INFORMATION IS FROM PLANS BY: WALTER PHILLIPS
- ARCHITECTURAL INFORMATION IS FROM PLANS BY: RUST ORLING ARCHITECTURE.
- WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDESIGN OF ANY DISCREPANCIES.
- DIMENSIONS ARE TO FACE OF OBJECT, UNLESS NOTED OTHERWISE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING UTILITIES ARE TO BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER. LANDESIGN ASSUMES NO RESPONSIBILITY FOR ANY UTILITIES NOT SHOWN ON PLANS.
- ALL PROPOSED FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNER'S SURVEY AND OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO LANDESIGN IMMEDIATELY.
- PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS ARE TO BE SURVEYED, LAID OUT, AND STAKED IN THE FIELD FOR REVIEW BY LANDESIGN. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION OF HARDSCAPE CONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL ITEMS PER DRAWINGS AND SPECIFICATION. NOTIFY LANDESIGN OF ANY MAJOR DISCREPANCIES BETWEEN CONTRACTOR'S VERIFIED QUANTITIES, BID BOOK, AND INTENT OF DRAWING.
- CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS ANY QUANTITIES PROVIDED BY LANDESIGN ARE PROVIDED FOR CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDESIGN SHOULD BE NOTIFIED OF ANY GRADING DISCREPANCIES.
- THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED, SHALL BE VERIFIED WITH THE OWNER OR LANDESIGN PRIOR TO BIDDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER & LANDESIGN SHALL BE NOTIFIED IMMEDIATELY.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY LANDESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THIS SITE AND AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
- CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES AND NOTIFY OWNER & LANDESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL EMPLOY, AS REQUIRED BY GOVERNING AUTHORITIES, AN APPROVED TESTING LABORATORY TO MAKE ALL TESTS FROM CONCRETE, SOIL, COMPACTION AND WELDING TO INSURE COMPLIANCE WITH PLANS, STANDARDS AND CODES. COST SHALL BE INCLUDED AS INCIDENTAL TO THE CONTRACT.
- ALL EXISTING WORK OR LANDSCAPING NOT SHOWN TO BE ALTERED OR REMOVED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR(S) SHALL BEAR THE TOTAL EXPENSE FOR, AND SHALL REPAIR ANY DAMAGE TO EXISTING CONDITIONS, OR IMPROVEMENTS NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS TO RECEIVE ALTERATION, ADDITIONS OR REMOVAL.

## LAYOUT NOTES:

- ALL MATERIALS AND CONSTRUCTION WITHIN RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE ARLINGTON COUNTY STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS, AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY THE ARLINGTON COUNTY (LATEST REVISION)
- EXISTING UTILITIES ARE SHOWN SCHEMATICALLY AND ARE FOR THE CONTRACTOR'S GUIDANCE ONLY. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- ALL ONSITE PAVING DIMENSIONS ARE TO THE FACE OF CURB, WHERE APPLICABLE, UNLESS NOTED OTHERWISE.
- ALL CURB RADIUS AND SIDEWALK RETURNS ARE 2' UNLESS NOTED OTHERWISE.
- ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE PROJECT GEOTECHNICAL REPORT.
- BOUNDARY SURVEY: BOUNDARY SURVEY INFORMATION IS BASED ON THE BOUNDARY SURVEY PREPARED BY WALTER L. PHILLIPS. REFER TO THE BOUNDARY SURVEY AND PLAT TO VERIFY PROPERTY LINES AND EASEMENT LOCATIONS.
- BUILDING DIMENSIONS: THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO VERIFY THE EXACT BUILDING DIMENSIONS.
- LAY PAVERS IN PATTERN(S) SHOWN ON DRAWINGS. PLACE UNITS HAND TIGHT WITHOUT USING HAMMERS. MAKE HORIZONTAL ADJUSTMENTS TO PLACEMENT OF LAID PAVERS WITH RUBBER HAMMERS AS REQUIRED.
- PROVIDE JOINTS BETWEEN PAVERS BETWEEN 1/16 IN. AND 3/16 IN. (2 AND 5 MM) WIDE. NO MORE THAN 5% OF THE JOINTS SHALL EXCEED 1/4" WIDE TO ACHIEVE STRAIGHT BOND LINES.
- JOINT (BOND) LINES SHALL NOT DEVIATE MORE THAN ±1/2 IN. (±15 MM) OVER 50 FT. (15 M) FROM STRING LINES.
- FILL GAPS AT THE EDGES OF THE PAVED AREA WITH CUT PAVERS OR EDGE UNITS.
- CUT PAVERS TO BE PLACED ALONG THE EDGE WITH A MASONRY SAW.
- ADJUST BOND PATTERN AT PAVEMENT EDGES SUCH THAT CUTTING OF EDGE PAVERS IS MINIMIZED.
- IN NO CASE SHALL A CUT PAVER BE LESS THAN 1/3 FULL PAVER SIZE.
- PAVER DIMENSIONS ARE NOMINAL. PRIOR TO POURING SLABS, BANDING, OR OTHERWISE SETTING PAVER FIELDS, VERIFY ACTUAL PAVER SIZES AND LAYOUT OF THE PAVER FIELDS. MAKE MINOR ADJUSTMENTS TO EDGE CONSTRAINTS AS REQUIRED TO ACCOMMODATE ACTUAL PAVER SIZES. NOTIFY LANDESIGN IMMEDIATELY OF DISCREPANCIES AND/OR ADJUSTMENTS.

## GRADING NOTES:

- STAKE PER SPOT ELEVATIONS AND NOTED SLOPES. CONTOURS ARE PROVIDED FOR MASS GRADING/INTENT ONLY.
- WRITTEN DIMENSIONS AND GRADES PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDESIGN OF ANY DISCREPANCIES.
- ALL SPOT ELEVATIONS SHOWN ON GRADING PLAN ARE TO BOTTOM OF CURB/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ALL RIM ELEVATIONS ARE TO EDGE OF PAVEMENT.
- REFER TO GEOTECHNICAL ENGINEER AND GEOTECH REPORT FOR INFORMATION ON SUBSURFACE MATERIALS, TOPSOIL, STRUCTURAL MATERIAL, DEEP FILLS, EXCAVATION, AND FOUNDATIONS.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- IN ORDER TO ASSURE PROPER DRAINAGE, KEEP A MINIMUM OF .5% SLOPE ON THE CURB.
- ALL PLANTING ISLANDS SHALL BE GRADED TO MOUND TO PROVIDE POSITIVE DRAINAGE.
- CONTRACTOR TO VERIFY 2% MAX. CROSS-SLOPE ON ALL SIDEWALKS.
- CONTRACTOR TO VERIFY THAT ALL SIDEWALK SLOPES, HANDICAP RAMPS, AND HANDICAP PARKING SPACES MEET ADA REQUIREMENTS.
- CONCRETE SIDEWALKS ADJACENT TO TREE SAVE LOCATIONS SHOULD BE POURED ON TOP OF EXISTING GRADE.
- REFER TO LANDSCAPE PLAN FOR ALL TREE PROTECTION FENCE LOCATIONS AND INSTALLATION PROCEDURES. BEFORE GRADING/CONSTRUCTION BEGINS, CALL FOR INSPECTION OF TREE PROTECTION BARRICADES. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING, OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.
- DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAYOUT FOOTINGS.
- GRADING CONTRACTORS SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTORS SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES.
- GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.

KEY MAP

REAL



## NOT FOR CONSTRUCTION

PROJECT

## SUNRISE LIVING OF SOUTH ARLINGTON

SUNRISE SENIOR LIVING

716 SOUTH GLEBE ROAD

ARLINGTON, VA 22204

LANDESIGN PROJ.# 2022139

## REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	4.1 SITE PLAN 1ST PRELIMINARY SUBMISSION	09/09/2022
2	4.1 SITE PLAN 2ND PRELIMINARY SUBMISSION	12/02/2022
3	4.1 SITE PLAN 3RD PRELIMINARY SUBMISSION	04/10/2023
4	4.1 SITE PLAN 4TH PRELIMINARY SUBMISSION	06/01/2023
5	4.1 SITE PLAN PUBLIC HEARING SUBMISSION	08/11/2023
6	REVISED PUBLIC HEARING SUBMISSION	09/12/2023

DESIGNED BY: JM  
DRAWN BY: JM  
CHECKED BY: AC

SCALE: NORTH

VERT: N/A  
HORZ: N/A

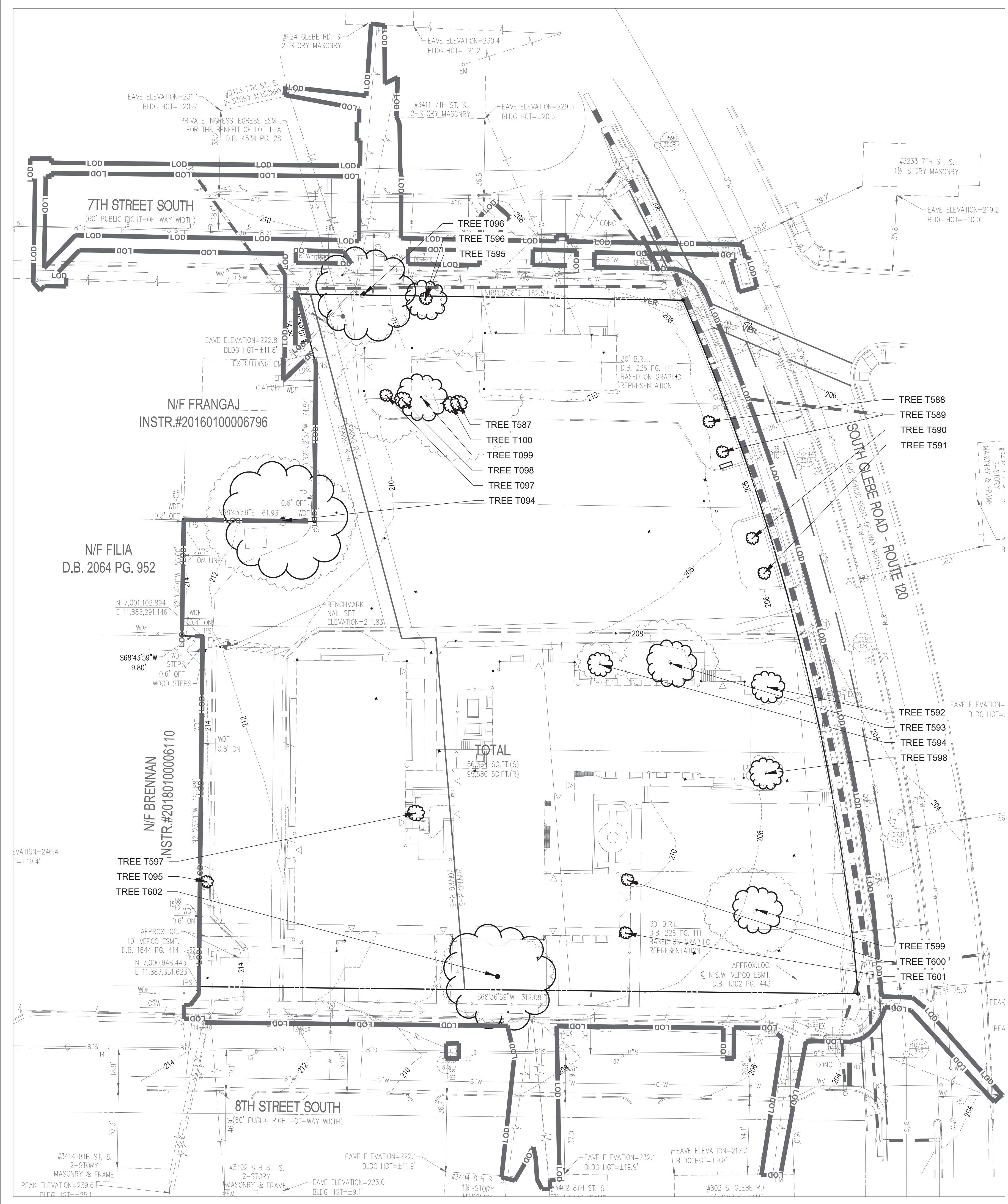
SHEET TITLE

## GENERAL NOTES

SHEET NUMBER

L-001





TREE INVENTORY - Sunrise Senior Living of South Arlington									
Tree #	Species	Size	CRZ	SRZ	Condition	Canopy Position	Status	Replacements	Notes
		dbh	Critical Root Zone (radius ft)	Structural Rooting Zone (radius ft)	%				
T094	WHITE OAK	30"	30	9.9	30	CODOMINANT	*REMOVE	6	*X Major dieback, poor condition
T095	WHITE OAK	3"	3	0.99	70	CENTRAL LEADER	*REMOVE	1	*X Fair condition, constricted growth area
T096	EASTERN WHITE PINE	24"	24	7.92	40	CODOMINANT	*REMOVE	5	*X Conflict with utility wires, bare canopy, dieback
T097	CHINESE PRIVET	3"	3	0.99	20	CODOMINANT	*REMOVE	1	*X Poor condition, dieback, invasives, vines
T098	HONEY LOCUST	4"	4	1.32	30	CODOMINANT	*REMOVE	1	*X Covered with invasives and vines, constricted growth area
T099	OBSCURED - VINES	12"	12	3.96	10	CODOMINANT	*REMOVE	3	*X Dying, fully covered in invasives and vines, assesment obscured
T100	JAPANESE PHOTINIA	4"	4	1.32	30	CODOMINANT	*REMOVE	1	*X Poor condition, covered in invasives and vines
T587	JAPANESE PHOTINIA	4"	4	1.32	30	CODOMINANT	*REMOVE	1	*X Poor condition, covered in invasives and vines
T588	CREPE MYRTLE	3"	3	0.99	60	CODOMINANT	*REMOVE	1	*X Fair condition, some dieback
T589	CREPE MYRTLE	3"	3	0.99	60	CODOMINANT	*REMOVE	1	*X Fair condition, some dieback
T590	CREPE MYRTLE	3"	3	0.99	60	CODOMINANT	*REMOVE	1	*X Fair condition, some dieback
T591	CREPE MYRTLE	3"	3	0.99	60	CODOMINANT	*REMOVE	1	*X Fair condition, some dieback
T592	EASTERN HORNBEAM	8"	8	2.64	80	CODOMINANT	*REMOVE	2	*X Good condition, full canopy
T593	BLACK CHERRY	12"	12	3.96	70	CODOMINANT	*REMOVE	3	*X Fair condition, cankers, included bark
T594	FLOWERING DOGWOOD	6"	6	1.98	30	CODOMINANT	*REMOVE	2	*X Poor condition, dying
T595	CREPE MYRTLE	3"	3	0.99	60	CODOMINANT	*REMOVE	1	*X Fair condition, growing in competition with T596, close to utility wires
T596	BRADFORD PEAR	10"	10	3.3	60	CODOMINANT	*REMOVE	3	*X Fair condition, growing in competition with T596, close to utility wires
T597	HONEY LOCUST	4"	4	1.32	50	CODOMINANT	*REMOVE	1	*X Fair condition, dieback
T598	EASTERN HORNBEAM	8"	8	2.64	80	CODOMINANT	*REMOVE	2	*X Good condition, some root plate exposed
T599	RED SPRUCE	12"	12	3.96	30	CODOMINANT	*REMOVE	3	*X Poor condition, dieback, vines, included bark
T600	AMERICAN HOLLY	3"	3	0.99	70	CODOMINANT	*REMOVE	1	*X Fair condition, limited growth room
T601	AMERICAN HOLLY	3"	3	0.99	60	CODOMINANT	*REMOVE	1	*X Fair condition, limited growth room
T602	WHITE OAK	27"	27	8.91	80	CENTRAL LEADER	*REMOVE	6	*X Good condition, full canopy, bordered by utility wires

dbh = Diameter at Breast Height (measured 4.5 feet above ground).

CRZ = Critical Root Zone = 1.0 foot radius per inch of tree diameter. Estimated radius of area containing majority of tree roots. TRZ values for trees with multiple stems were calculated using the diameter of a tree with the basal area equivalent to the sum of the basal areas for all stems.

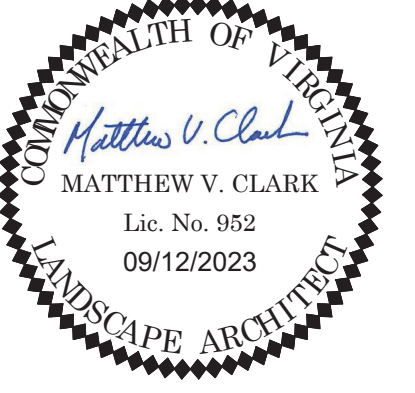
SRZ (Structural Rooting Zone). Calculation - dbh x 0.33 = radius feet. Estimated radius of area containing tree roots that must be protected to ensure tree health and structural stability. Impact/root loss within SRZ may result in compromised structure, whole tree failure or decline in health.

\* CONDITION RATING - provided as percentages based on methods outlined in the 10th edition of the Guide for Plant Appraisal, published by the International Society of Arboriculture.

\* HAND REMOVAL - Trees to be removed within tree save areas or directly adjacent to but within the limits of clearing and grading shall be felled by hand with a chain saw. Stumps shall remain in place or shall be ground out. See tree preservation notes.

KEY MAP

SEAL



**NOT FOR CONSTRUCTION**

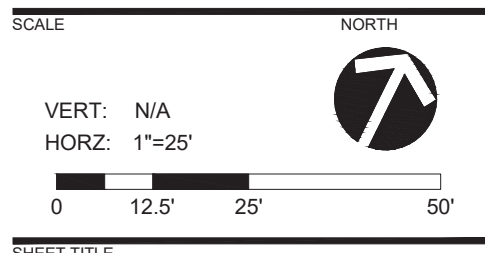
**SUNRISE LIVING OF SOUTH ARLINGTON**  
SUNRISE SENIOR LIVING  
716 SOUTH GLEBE ROAD  
ARLINGTON, VA 22204

LANDDESIGN PROJ.# 2022139

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	4.1 SITE PLAN 1ST PRELIMINARY SUBMISSION	09/09/2022
2	4.1 SITE PLAN 2ND PRELIMINARY SUBMISSION	12/02/2022
3	4.1 SITE PLAN 3RD PRELIMINARY SUBMISSION	04/10/2023
4	4.1 SITE PLAN 4TH PRELIMINARY SUBMISSION	06/01/2023
5	4.1 SITE PLAN PUBLIC HEARING SUBMISSION	08/11/2023
6	REVISED PUBLIC HEARING SUBMISSION	09/12/2023

DESIGNED BY: JM  
DRAWN BY: JM  
CHECKED BY: AC



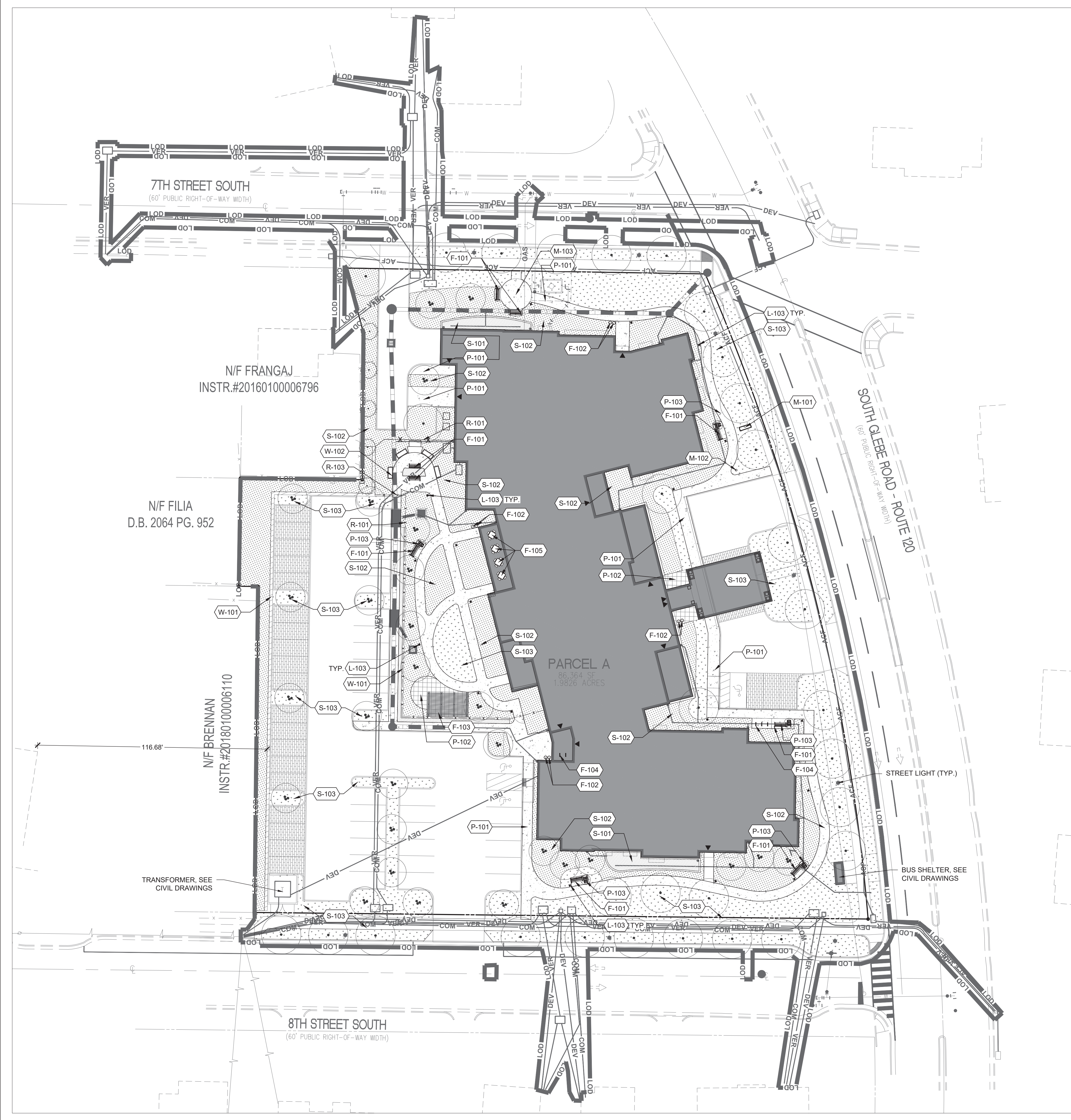
TREE INVENTORY

SHEET NUMBER  
**L-002**



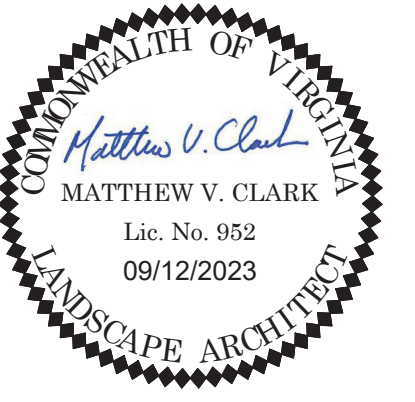
REFERENCE NOTES SCHEDULE

SYMBOL	FURNISHINGS DESCRIPTION	DETAIL
F-101	BENCH	1/L-502
F-102	TRASH & RECYCLING RECEPTACLES	2/L-502
F-103	PERGOLA	3/L-502
F-104	BIKE RACK	6/L-502
F-105	4 SEAT TABLE	7/L-502
SYMBOL	LIGHTING & ELECTRICAL DESCRIPTION	DETAIL
L-103	PATHWAY LIGHT BOLLARD	3/L-504
SYMBOL	MISCELLANEOUS DESCRIPTION	DETAIL
M-101	MONUMENT SIGN	
M-102	FLAG POLE	
M-103	POTENTIAL SCULPTURE	
SYMBOL	PAVING & CURBS DESCRIPTION	DETAIL
P-101	CONCRETE PAVING	1/L-501
P-102	ENHANCED PAVING	2/L-501
P-103	BENCH COMPANION SPACE	5/L-501
SYMBOL	RAILINGS & FENCES DESCRIPTION	DETAIL
R-101	FENCE - TYPE 1	5/L-502
R-103	GATE	1/L-503
SYMBOL	SOILS DESCRIPTION	DETAIL
S-101	BIORETENTION PLANTER	4/L-501
S-102	PLANT BED	
S-103	LAWN	
SYMBOL	WALLS & STAIRS DESCRIPTION	DETAIL
W-101	FREE-STANDING WALL	3/L-501
W-102	RAISED PLANTER	4/L-502



KEY MAP

REAL



**NOT FOR CONSTRUCTION**

PROJECT

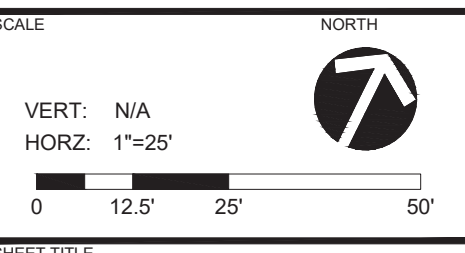
**SUNRISE LIVING OF SOUTH ARLINGTON**  
SUNRISE SENIOR LIVING  
716 SOUTH GLEBE ROAD  
ARLINGTON, VA 22204

LANDDESIGN PROJ.# 2022139

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	4.1 SITE PLAN 1ST PRELIMINARY SUBMISSION	09/09/2022
2	4.1 SITE PLAN 2ND PRELIMINARY SUBMISSION	12/02/2022
3	4.1 SITE PLAN 3RD PRELIMINARY SUBMISSION	04/10/2023
4	4.1 SITE PLAN 4TH PRELIMINARY SUBMISSION	06/01/2023
5	4.1 SITE PLAN PUBLIC HEARING SUBMISSION	08/11/2023
6	REVISED PUBLIC HEARING SUBMISSION	09/12/2023

DESIGNED BY: JM  
DRAWN BY: JM  
CHECKED BY: AC



MATERIALS PLAN

SHEET NUMBER  
**L-101**



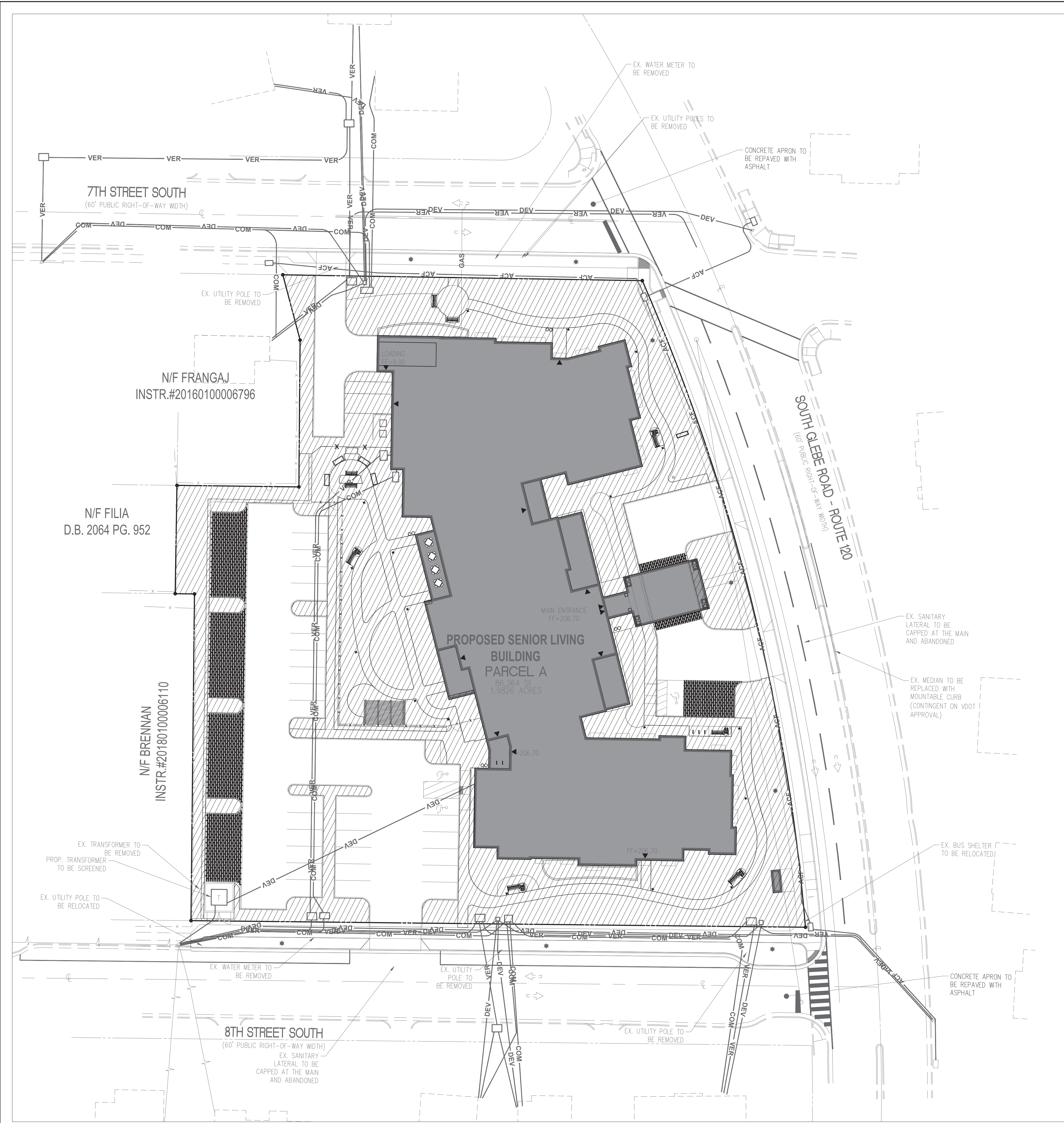
OPEN SPACE CALCULATIONS

TOTAL OPEN SPACE AREA:  
36,033 SF

OPEN SPACE PROVIDED - ON SITE

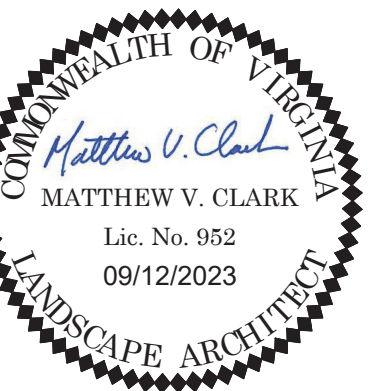
STREET LEVEL	36,033 SF
TOTAL OPEN SPACE	36,033 SF
TOTAL SITE AREA	86,364 SF
PERCENTAGE OF TOTAL OPEN SPACE	41.7%

NOTE: ARLINGTON COUNTY, VA ZONING ORDINANCE PER CHAPTER 7.3.4 D - MINIMUM OF 10% OF THE TOTAL SITE AREA IS REQUIRED TO BE LANDSCAPED OPEN SPACE.



KEY MAP

REAL



**NOT FOR CONSTRUCTION**

PROJECT

**SUNRISE LIVING OF SOUTH ARLINGTON**

SUNRISE SENIOR LIVING  
716 SOUTH GLEBE ROAD  
ARLINGTON, VA 22204

LANDESIGN PROJ.# 2022139

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	4.1 SITE PLAN 1ST PRELIMINARY SUBMISSION	09/09/2022
2	4.1 SITE PLAN 2ND PRELIMINARY SUBMISSION	12/02/2022
3	4.1 SITE PLAN 3RD PRELIMINARY SUBMISSION	04/10/2023
4	4.1 SITE PLAN 4TH PRELIMINARY SUBMISSION	06/01/2023
5	4.1 SITE PLAN PUBLIC HEARING SUBMISSION	08/11/2023
6	REVISED PUBLIC HEARING SUBMISSION	09/12/2023

DESIGNED BY: JM  
DRAWN BY: JM  
CHECKED BY: AC

SCALE



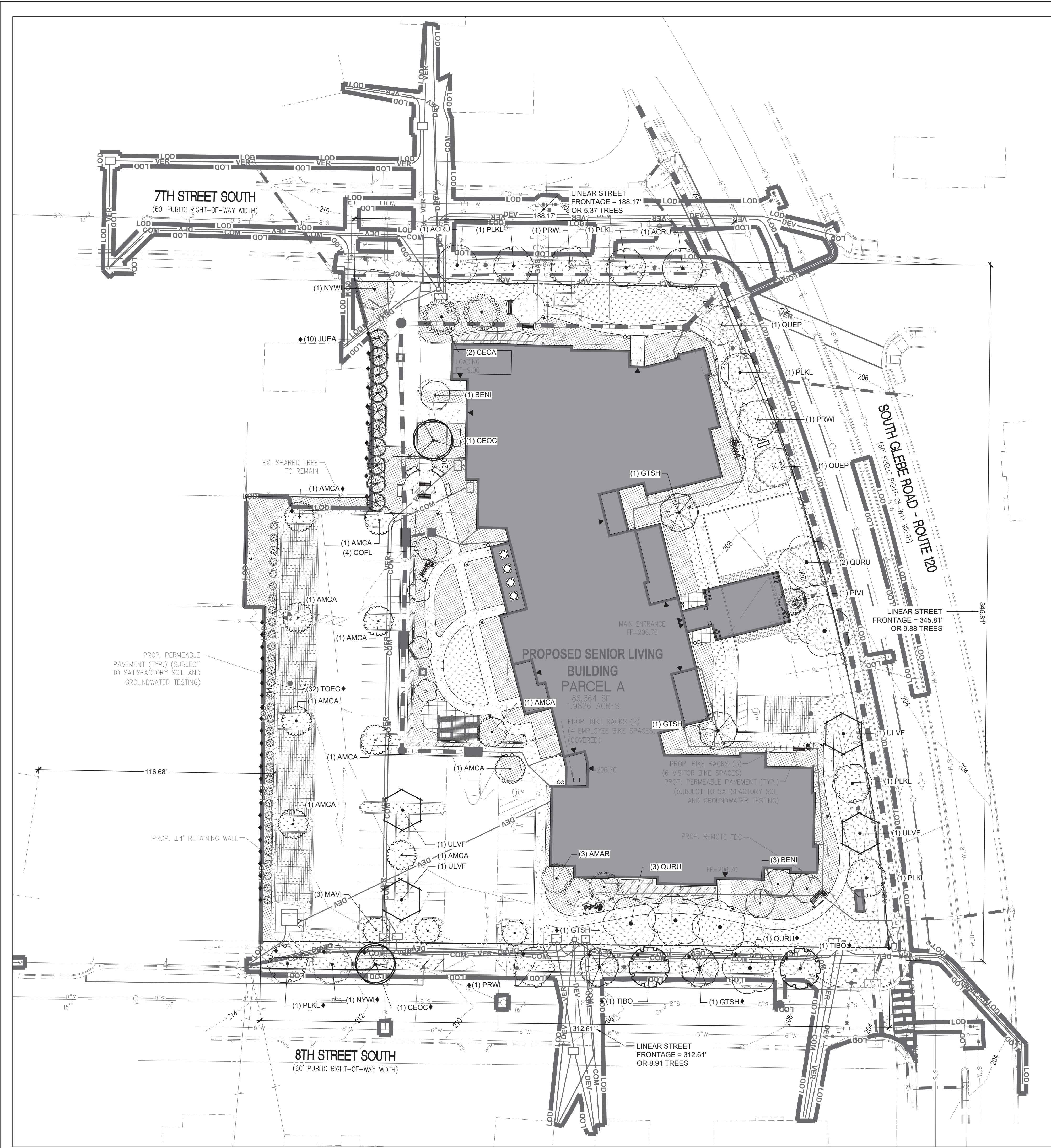
SHEET TITLE

OPEN SPACE PLAN

SHEET NUMBER

L-201





PLANT SCHEDULE SITE

DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME	QTY
	BENI	Betula nigra 'BNMTF'™	Dura Heat River Birch	4
	CEOC	Celtis occidentalis	Common Hackberry	2*
	PRWI	Prunus serotina	Black Cherry	3*
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	QTY
	JUEA	Juniperus virginiana	Eastern Redcedar	10*
	MAVI	Magnolia virginiana	Sweetbay Magnolia	3
	PIVI	Pinus virginiana	Virginia Pine	1
	TOEG	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	32*
ORNAMENTAL TREES	CODE	BOTANICAL NAME	COMMON NAME	QTY
	AMAR	Amelanchier arborea	Downy Serviceberry	3
	AMCA	Amelanchier canadensis	Canadian Serviceberry	10*
	CECA	Cercis canadensis	Eastern Redbud	2
	COFL	Cornus florida 'Appalachian Spring'	Flowering Dogwood	4
STREET TREES	CODE	BOTANICAL NAME	COMMON NAME	QTY
	ACRU	Acer rubrum 'October Glory'™	October Glory Maple	2
	GTSH	Gleditsia triacanthos inermis 'Shademaster'™	Shademaster Locust	4*
	NYWI	Nyssa sylvatica 'Wildfire'	Wildfire Tupelo	2*
	PLKL	Platanus occidentalis 'Bismarck'	Northern Advance® American Sycamore	6*
	QUEP	Quercus phellos	Willow Oak	2
	QURU	Quercus rubra	Red Oak	6*
	TIBO	Tilia americana 'Boulevard'	Boulevard American Linden	2*
	ULVF	Ulmus americana 'Valley Forge'	American Elm	4

\* NOTE: TREES NOTED ON PLAN WITH A ♦ SYMBOL ARE NOT INCLUDED IN TREE CANOPY COVERAGE

NOT TO BE COUNTED IN TREE CANOPY COVERAGE:  
 (3) AMCA  
 (1) CEOC  
 (2) GTSH  
 (10) JUEA  
 (1) NYWI  
 (1) PLKL  
 (1) PRWI  
 (1) QURU  
 (2) TIBO  
 (24) TOEG

KEY MAP

SEAL



**NOT FOR CONSTRUCTION**

PROJECT

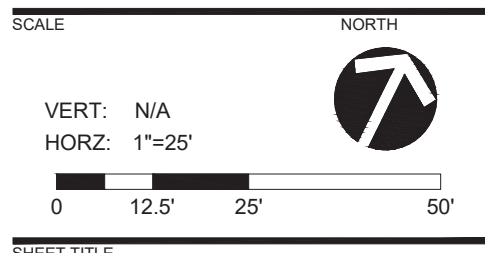
**SUNRISE LIVING OF SOUTH ARLINGTON**  
 SUNRISE SENIOR LIVING  
 716 SOUTH GLEBE ROAD  
 ARLINGTON, VA 22204

LANDDESIGN PROJ# 2022139

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	4.1 SITE PLAN 1ST PRELIMINARY SUBMISSION	09/09/2022
2	4.1 SITE PLAN 2ND PRELIMINARY SUBMISSION	12/02/2022
3	4.1 SITE PLAN 3RD PRELIMINARY SUBMISSION	04/10/2023
4	4.1 SITE PLAN 4TH PRELIMINARY SUBMISSION	06/01/2023
5	4.1 SITE PLAN PUBLIC HEARING SUBMISSION	08/11/2023
6	REVISED PUBLIC HEARING SUBMISSION	09/12/2023

DESIGNED BY: JM  
 DRAWN BY: JM  
 CHECKED BY: AC



PLANTING PLAN

SHEET NUMBER  
**L-401**



20-YEAR TREE CANOPY COVERAGE WORKSHEET PER CHESAPEAKE BAY PRESERVATION ORDINANCE

QUANTITY	KEY	TREE SPECIES	COMMON NAME	PLANTING SIZE HEIGHT (ft.)	CALIPER SIZE AT PLANTING (in.)	SPREAD AT PLANTING (ft.)	CANOPY SIZE	20 YEAR COVERAGE (sq. ft.)	SUBTOTAL COVERAGE (sq. ft.)
2	ACRU	ACER RUBRUM	RED MAPLE		2 - 2 1/2	5-7	LARGE	393.75	787.50
3	AMAR	AMALANCHIER ARBOREA	DOWNY SERVICEBERRY	6-7 FT		4-6	SMALL- MEDIUM	137.50	412.50
10	AMCA	AMALANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	6-7 FT		4-6	SMALL- MEDIUM	137.50	1375.00
4	BENI	BETULA NIGRA	DURAHEAT RIVER BIRCH	8-10 FT		5-7	MEDIUM	218.75	875.00
4	COFL	CORNUS FLORIDA	FLOWERING DOGWOOD		>1	2-3	MEDIUM	218.75	875.00
2	CECA	CERCIS CANADENSIS	EASTERN REDBUD		1	2-3	SMALL-MEDIUM	218.75	437.50
1	CEOC	CELTIS OCCIDENTALIS	COMMON HACKBERRY		2-2 1/2	3-5	MEDIUM-LARGE	393.75	393.75
2	GTSH	GLEDITSIA TRIACANTHOS INERMIS	SHADEMASTER LOCUST		2 - 2 1/2	3-5	MEDIUM-LARGE	250	500.00
3	MAVI	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	6-7 FT		3-4	SMALL- MEDIUM	137.50	412.50
1	NYWI	NYSSA SYLVATICA	BLACK GUM		2 - 2 1/2	3-5	MEDIUM - LARGE	312.5	625.00
1	PIVI	PINUS VIRGINIANA	VIRGINIA PINE	6-7 FT		2-4	SMALL-MEDIUM	110.00	110
5	PLKL	PLATANUS OCCIDENTALIS	AMERICAN SYCAMORE		2-2 1/2	5-7	LARGE	393.75	1968.75
2	PRWI	PRUNUS SEROTINA	BLACK CHERRY		1 3/4 - 2	3-4	MEDIUM - LARGE	312.5	937.50
2	QUEP	QUERCUS PHELLOS	WILLOW OAK		2-2 1/2	3-5	MEDIUM-LARGE	312.5	625.00
5	QURU	QUERCUS RUBRA	NORTHERN RED OAK		2-2 1/2	4-5	LARGE	393.75	1968.75
8	TOEG	THUJA OCCIDENTALIS	EMERALD GREEN ARBORVITAE	6-7 FT		3-4	SMALL	50	400
4	ULVF	ULMUS AMERICANA	AMERICAN ELM 'VALLEY FORGE'		2-2 1/2	3-5	LARGE	393.75	1575.00
TOTAL: 57	-	-	-	-	-	-	-	-	14278.75

NOTE: ARLINGTON COUNTY CODE PER CHAPTER 61 CHESAPEAKE BAY PRESERVATION ORDINANCE MINIMUM TREE CANOPY REQUIREMENTS: TEN PERCENT (10%).  
86,364 SQ FT SITE AREA X 10% = 8,636 SQ FT MINIMUM TREE CANOPY COVERAGE

TOTAL TREE CANOPY COVERAGE PROVIDED: 14,278.75 SF  
TOTAL SITE AREA: 86,363.55 SF  
PERCENT OF TREE CANOPY COVERAGE PROVIDED: 16.5%

PLANT SCHEDULE SITE

DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME	QTY
	BENI	Betula nigra 'BNMTF' TM	Dura Heat River Birch	4
	CEOC	Celtis occidentalis	Common Hackberry	2*
	PRWI	Prunus serotina	Black Cherry	3*
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	QTY
	JUEA	Juniperus virginiana	Eastern Redcedar	10*
	MAVI	Magnolia virginiana	Sweetbay Magnolia	3
	PIVI	Pinus virginiana	Virginia Pine	1
	TOEG	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	32*
ORNAMENTAL TREES	CODE	BOTANICAL NAME	COMMON NAME	QTY
	AMAR	Amelanchier arborea	Downy Serviceberry	3
	AMCA	Amelanchier canadensis	Canadian Serviceberry	10*
	CECA	Cercis canadensis	Eastern Redbud	2
	COFL	Cornus florida 'Appalachian Spring'	Flowering Dogwood	4
STREET TREES	CODE	BOTANICAL NAME	COMMON NAME	QTY
	ACRU	Acer rubrum 'October Glory' TM	October Glory Maple	2
	GTSH	Gleditsia triacanthos inermis 'Shademaster' TM	Shademaster Locust	4*
	NYWI	Nyssa sylvatica 'Wildfire'	Wildfire Tupelo	2*
	PLKL	Platanus occidentalis 'Bismarck'	Northern Advance® American Sycamore	6*
	QUEP	Quercus phellos	Willow Oak	2
	QURU	Quercus rubra	Red Oak	6*
	TIBO	Tilia americana 'Boulevard'	Boulevard American Linden	2*
	ULVF	Ulmus americana 'Valley Forge'	American Elm	4

\* NOTE: TREES NOTED ON PLAN WITH A ♦ SYMBOL ARE NOT INCLUDED IN TREE CANOPY COVERAGE

NOT TO BE COUNTED IN TREE CANOPY COVERAGE:

- (1) AMCA
- (1) CEOC
- (2) GTSH
- (10) JUEA
- (1) NYWI
- (1) PLKL
- (1) PRWI
- (1) QURU
- (2) TIBO
- (24) TOEG

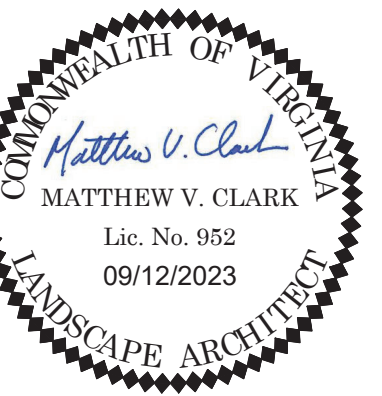
SHRUB COVERAGE CALCULATION

NOTE: ARLINGTON COUNTY ZONING PER CHAPTER 14.2.2 LANDSCAPING REQUIRES MINIMUM TWENTY-FIVE PERCENT (25%) SHRUB COVERAGE AT MATURITY.  
29,708 SQ FT LANDSCAPE AREA X 25% = 7,427 SQ FT MINIMUM SHRUB COVERAGE

TOTAL SHRUB COVERAGE PROVIDED: 13,174 SF  
TOTAL LANDSCAPE AREA: 29,708 SF  
PERCENT OF SHRUB COVERAGE PROVIDED: 44.3%

KEY MAP

SEAL



**NOT FOR CONSTRUCTION**

PROJECT

**SUNRISE LIVING OF SOUTH ARLINGTON**

SUNRISE SENIOR LIVING  
716 SOUTH GLEBE ROAD  
ARLINGTON, VA 22204

LANDDESIGN PROJ.# 2022139

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	4.1 SITE PLAN 1ST PRELIMINARY SUBMISSION	09/09/2022
2	4.1 SITE PLAN 2ND PRELIMINARY SUBMISSION	12/02/2022
3	4.1 SITE PLAN 3RD PRELIMINARY SUBMISSION	04/10/2023
4	4.1 SITE PLAN 4TH PRELIMINARY SUBMISSION	06/01/2023
5	4.1 SITE PLAN PUBLIC HEARING SUBMISSION	08/11/2023
6	REVISED PUBLIC HEARING SUBMISSION	09/12/2023

DESIGNED BY: JM  
DRAWN BY: JM  
CHECKED BY: AC

SCALE: NORTH

VERT: N/A  
HORZ:

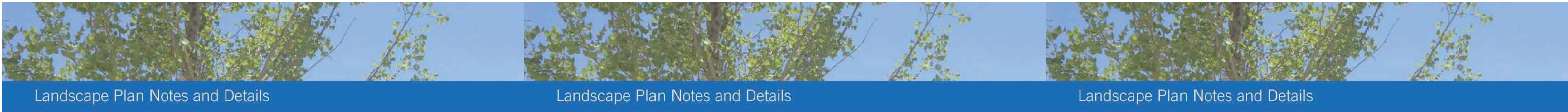
SHEET TITLE

PLANTING SCHEDULE

SHEET NUMBER

L-402





Landscape Plan Notes and Details

Landscape Plan Notes and Details

Landscape Plan Notes and Details

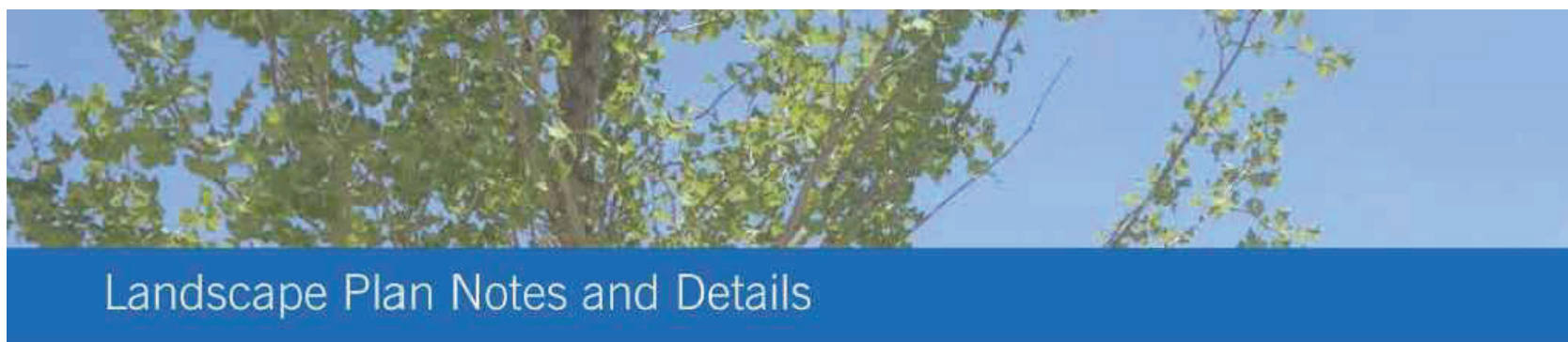
LANDSCAPE AND PLANTING NOTES

- MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED ON PLANS, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- GRADING AND PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE, AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE AND STANDARDS. THE ACCEPTABLE PLANTING RANGE IS FROM MARCH-JUNE 15 AND SEPTEMBER-DECEMBER, FOR NON-TREE MATERIAL, AND OCTOBER - JUNE 15 FOR TREES. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS MUDDY OR FROZEN. CARE SHALL BE TAKEN TO PROVIDE PLANTS WITH ENOUGH WATER TO COMBAT HEAT STRESS DURING HOT/DRY WEATHER.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN, AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT OR REPRESENTATIVE. SOIL AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM BUILDING. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO GROWTH OF PLANT MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT PER APPROVED PLANS. NO TREES SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS. LAYOUT OF PLANTS SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR REPRESENTATIVE PRIOR TO INSTALLATION.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL-DEVELOPED DENSELY FOLIATED BRANCHES, VIGOROUS ROOT SYSTEMS, AND BE FREE FROM DEFECTS AND INJURIES. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF ROOTBALL SHALL BE IN ACCORDANCE WITH THE MOST RECENT VERSION OF ANSI "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE INSTALLER TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR ALL PLANT MATERIAL. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
- PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY IF PRACTICAL. IF THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE-DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD SHALL BE REJECTED, UNLESS OTHERWISE DIRECTED BY THE ARLINGTON COUNTY LANDSCAPE ARCHITECT OR REPRESENTATIVE.
- ALL INJURED ROOTS SHALL BE PRUNED USING ANSI A300 STANDARDS.
- CONTRACTOR SHALL PROVIDE 4 IN. MINIMUM THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHALL BE FREE OF WEEDS, DEBRIS, ROCKS LARGER THAN 2 IN., WOOD, ROOTS, VEGETABLE MATTER, AND CLAY CLODS. CLEAN, FERTILE TOPSOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED.

- PLANTING PITS SHALL BE DUG PER COUNTY DETAILS. SET PLANTS PLUMB AND STRAIGHT, WITH ROOT FLARES SLIGHTLY ABOVE GRADE. DO NOT COVER THE ROOT FLARE WITH SOIL OR MULCH. BACKFILL PLANTING PITS WITH AMENDED TOPSOIL, AND THOROUGHLY WATER AND TAMP AS BACK-FILLING PROGRESSES. WATER AGAIN TO ACHIEVE SOIL SATURATION IMMEDIATELY FOLLOWING PLANTING.
- PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME, SO AS NOT TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY.
- EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH ANSI A300: STANDARDS FOR TREE CARE PRACTICES, TO PRESERVE THE HEALTH AND APPEARANCE OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- TREES SHALL BE SUPPORTED AFTER PLANTING ONLY AS DIRECTED BY THE URBAN FORESTER. IF INSTALLED, THE LANDSCAPE CONTRACTOR SHALL REMOVE STAKING, GUYING AND TREE WRAP AT THE END OF THE ONE-YEAR MAINTENANCE AND WARRANTY PERIOD.
- ALL PLANTING BEDS SHALL BE MULCHED WITH A 3 IN. LAYER OF WEED-FREE DOUBLE SHREDDED HARDWOOD BARK MULCH, OR OTHER EQUIVALENT AS APPROVED BY THE LANDSCAPE ARCHITECT OR REPRESENTATIVE. KEEP MULCH AWAY FROM TRUNKS OF TREES AND OTHER PLANT MATERIALS.
- NEW PLANTINGS AND TURF SHALL BE ADEQUATELY IRRIGATED OR WATERED THROUGHOUT ESTABLISHMENT.
- UPON COMPLETION OF ALL PLANTING AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT AND DEBRIS. ALL PAVED AREAS SHALL BE BROOM-SWEPT AND LEFT IN A NEAT CONDITION.
- URBAN FORESTER NOTIFICATION: THE DEVELOPER AGREES TO NOTIFY THE URBAN FORESTER AT LEAST 72 HOURS IN ADVANCE OF THE INSTALLATION OF DRAINAGE, SPECIAL SOIL EXPANSION EQUIPMENT, TREE PIT CREATION, AND SCHEDULED PLANTING OF ANY TREES IN THE PUBLIC RIGHT OF WAY, AND TO BE AVAILABLE AT THE TIME OF PLANTING TO MEET WITH DPR STAFF TO INSPECT THE PLANT MATERIAL, TREE PIT AND PLANTING TECHNIQUES. SOIL USED IN THE TREE PIT MUST MEET THE SPECIFICATIONS FOR STREET TREE PLANTING IN THE "STANDARDS FOR PLANTING AND PRESERVATION OF TREES ON SITE PLAN PROJECTS" AVAILABLE FROM THE URBAN FORESTER.

LANDSCAPE MAINTENANCE MANAGEMENT PROGRAM

- GENERAL:
  - ALL PLANTING AREAS, INCLUDING LAWNS, BUFFERS, AND PARKING LOTS, SHALL BE PERIODICALLY INSPECTED A MINIMUM OF ONCE PER MONTH. A FALL CLEAN-UP SHALL BE PERFORMED EACH YEAR.
  - REMOVE ALL LITTER, DEBRIS AND WEEDS.
  - MAINTAIN A MINIMUM OF A 2 INCH DEPTH OF ORGANIC HARDWOOD MULCH OR EQUIVALENT IN ALL PLANTING BEDS.
- IRRIGATION:
  - KEEP NEW TURF MOIST UNTIL ALL SEED GERMINATES AND BECOMES AN ESTABLISHED STAND OF TURF.
  - AUTOMATIC SPRINKLERS SHALL BE CLEANED OUT AND TURNED OFF IN THE FALL PRIOR TO THE FIRST FROST, AND TESTED WHEN TURNED ON IN THE SPRING.
  - EVALUATE SUCCESS OF IRRIGATION SYSTEM AND MODIFY AS NECESSARY.
- PRUNING: ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI PRUNING STANDARDS. REMOVAL OF DEAD, DISEASED, INSECT INFESTED OR WEAK WOOD SHALL TAKE PLACE WHEN APPROPRIATE FOR THE SPECIES. THE VIRGINIA TECH PRUNING CALENDAR SHALL BE USED FOR GUIDANCE ON APPROPRIATE TIMING. EXCESSIVE SHOOTS AND SUCKERS SHALL BE REMOVED.
- INSECT AND DISEASE CONTROL: THE CONTROL OF INSECTS AND DISEASE ASSOCIATED WITH ALL PLANTING AREAS SHALL BE A MAINTENANCE PRIORITY. ALL PLANTINGS, INCLUDING EXISTING MATURE TREES, SHALL BE PERIODICALLY INSPECTED FOR INSECT OR DISEASE INFESTATION. METHODS USED TO CONTROL INSECTS OR DISEASE MAY RANGE FROM SPRAYING AND PRUNING TO PLANT REMOVAL. SAFETY AND CONTROL SHALL BE OF PRIME CONCERN. TRAINED AND CERTIFIED PERSONNEL SHALL PERFORM THESE TASKS.
- RENOVATION:
  - RENOVATION INCLUDES THE RESEEDING OR REPLANTING OF LANDSCAPE AREAS DAMAGED, DESTROYED OR FAILING DUE TO INSECTS, DISEASE, WEATHER OR PHYSICAL DAMAGE.
  - ALL LAWN AREAS WHERE SOIL HAS BEEN EXPOSED SHALL BE RENOVATED DURING THE NEXT PLANTING SEASON. PROPER HORTICULTURAL AND SOIL EROSION PREVENTION METHODS SHALL BE USED. IF SOIL EROSION HAS OCCURRED, THE AREA SHALL BE REPAIRED WITH A SEED MIXTURE COMPATIBLE WITH EXISTING SOIL.
  - ALL PLANTINGS WHICH ARE DAMAGED OR DESTROYED SHALL BE REPLACED DURING OR BEFORE THE NEXT GROWING SEASON.
  - CARE SHALL BE TAKEN TO AVOID DAMAGE TO ESTABLISHED TREE ROOTS DURING RENOVATION OF LANDSCAPE
- SITE AMENITIES: BENCHES, PATHS, BICYCLE RACKS, TRASH RECEPTACLES, AND SIGNS SHALL BE INSPECTED AT LEAST TWICE A YEAR, ONCE IN SPRING AND ONCE IN AUTUMN, TO DETERMINE THEIR CONDITION. ANY DAMAGED, WORN, OR UNSAFE CONDITIONS SHALL BE RECTIFIED IMMEDIATELY.
- PAVED SURFACES:
  - ALL PAVED SURFACES SHALL BE INSPECTED ON A MONTHLY-BASIS FOR TRASH, STAINS, DAMAGE, CRACKS, POT HOLES, AND OBSTRUCTIONS, AND RETURNED TO THEIR ORIGINAL CONDITIONS. ANY UNSAFE CONDITIONS, SUCH AS UNEVEN SURFACES OR TRIPPING HAZZARDS, SHALL BE RECTIFIED IMMEDIATELY.



Landscape Plan Notes and Details

County Standards Details

Certain Arlington County standard details must be shown on landscape and tree preservation plans, depending on the project. The standard details can be found on the webpages below:

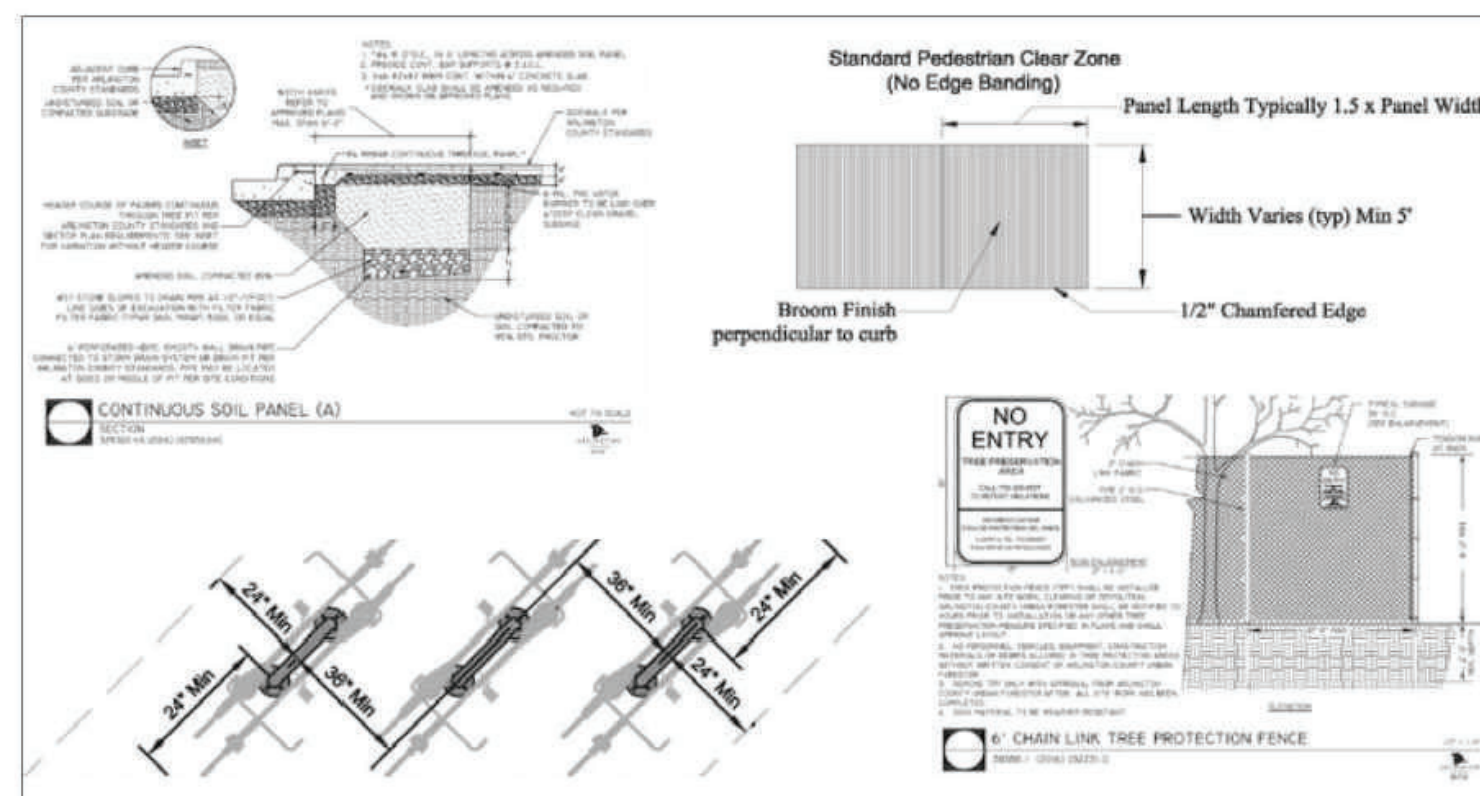
[Department of Parks and Recreation Design Standards](#)

[Department of Environmental Services Infrastructure Design Standards](#)

[Department of Environmental Services Bicycle Parking Standards](#)

What details are required will depend on the elements of each specific project, but typically, the most relevant details for tree preservation and landscape plans include:

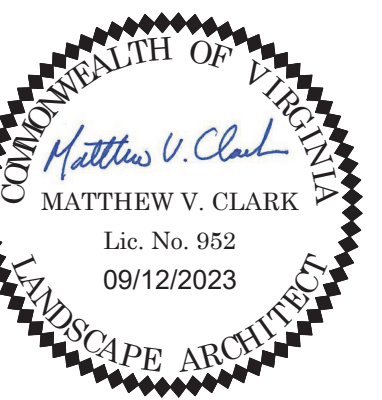
- Tree Protection and Trimming Details
- Exterior Plants
- Horizontal Standards - sidewalks, curb ramps, crosswalks, street lights
- Bicycle Parking



Examples of Arlington County Standard Details. See links above for actual details.

KEY MAP

SEAL



**NOT FOR CONSTRUCTION**

PROJECT

**SUNRISE LIVING OF SOUTH ARLINGTON**

SUNRISE SENIOR LIVING  
716 SOUTH GLEBE ROAD  
ARLINGTON, VA 22204

LANDDESIGN PROJ.# 2022139

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	4.1 SITE PLAN 1ST PRELIMINARY SUBMISSION	09/09/2022
2	4.1 SITE PLAN 2ND PRELIMINARY SUBMISSION	12/02/2022
3	4.1 SITE PLAN 3RD PRELIMINARY SUBMISSION	04/10/2023
4	4.1 SITE PLAN 4TH PRELIMINARY SUBMISSION	06/01/2023
5	4.1 SITE PLAN PUBLIC HEARING SUBMISSION	08/11/2023
6	REVISED PUBLIC HEARING SUBMISSION	09/12/2023

DESIGNED BY: JM  
DRAWN BY: JM  
CHECKED BY: AC

SCALE NORTH

VERT: N/A  
HORZ:

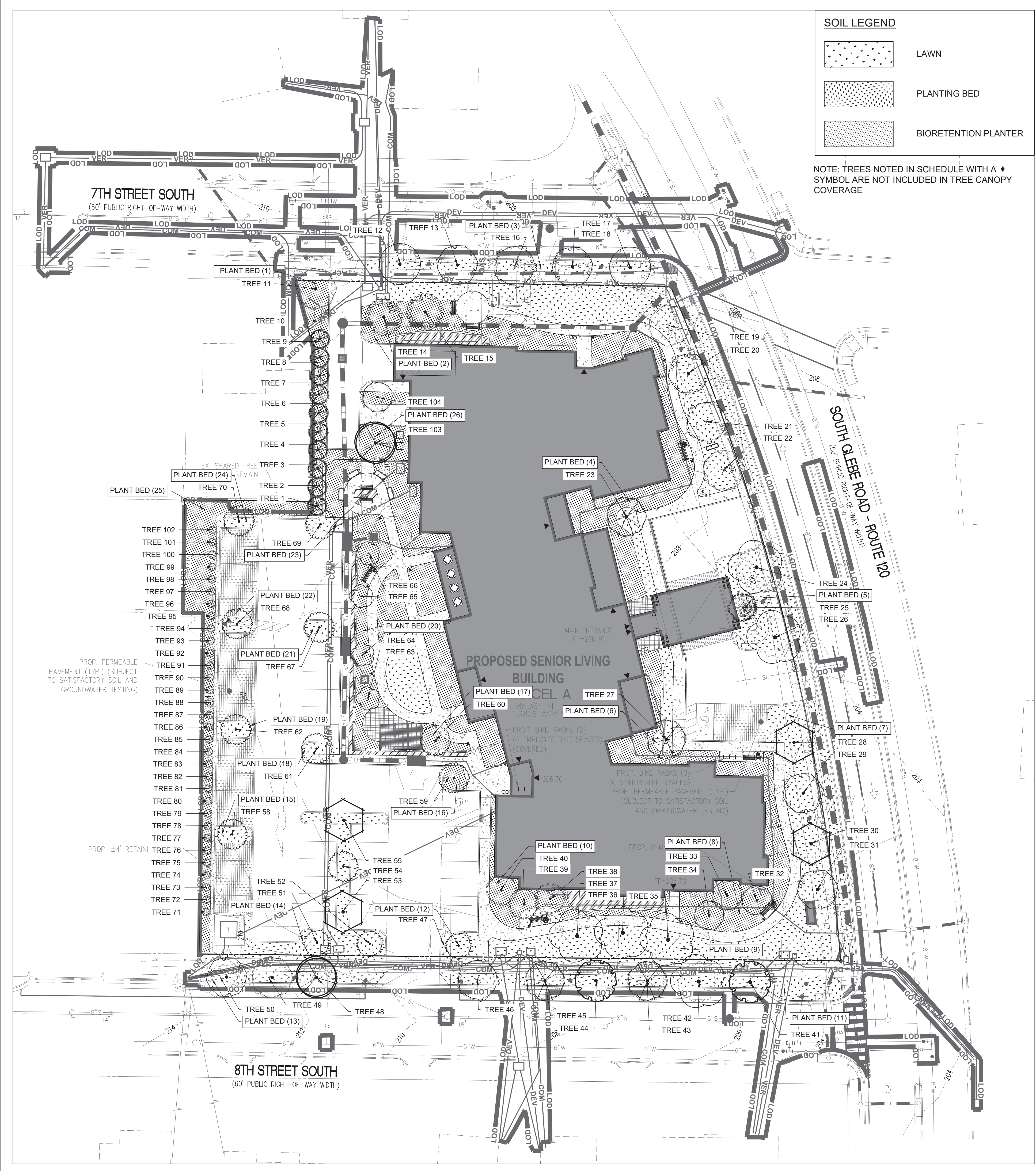
SHEET TITLE

PLANTING NOTES

SHEET NUMBER

**L-403**





**SOIL LEGEND**

- LAWN
- PLANTING BED
- BIORETENTION PLANTER

NOTE: TREES NOTED IN SCHEDULE WITH A ♦ SYMBOL ARE NOT INCLUDED IN TREE CANOPY COVERAGE

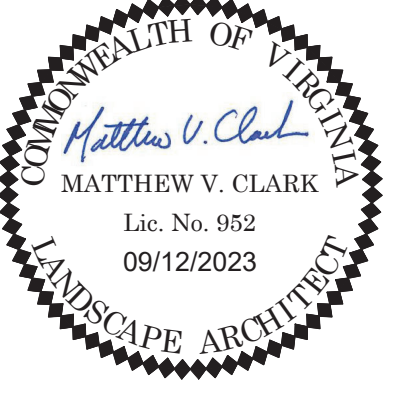
**SOIL VOLUME TABULATION**

LOCATION	PIT SOIL AREA (SF)	TREE	TREE SOIL AREA (SF)	TREE SOIL VOLUME PROVIDED (3 FT DEPTH)	VOLUME REQUIREMENT (CU FT/TREE)	SIZE
PLANT BED 1	2751	TREE 1	143	429	900	MEDIUM
		TREE 2	111	333	900	MEDIUM
		TREE 3	144	432	900	MEDIUM
		TREE 4	124	372	900	MEDIUM
		TREE 5	124	372	900	MEDIUM
		TREE 6	124	372	900	MEDIUM
		TREE 7	124	372	900	MEDIUM
		TREE 8	124	372	900	MEDIUM
		TREE 9	154	462	900	MEDIUM
		TREE 10	273	819	900	MEDIUM
PLANT BED 2	1681	TREE 11	348	1044	1000	LARGE
		TREE 12	586	1758	1000	LARGE
		TREE 13	387	1161	1000	LARGE
		TREE 14	686	2058	700	MEDIUM
		TREE 15	653	1959	700	MEDIUM
PLANT BED 3	3067	TREE 16	821	2463	1000	LARGE
		TREE 17	842	2526	1000	LARGE
		TREE 18	765	2295	1000	LARGE
		TREE 19	553	1659	1000	LARGE
		TREE 20	503	1509	1000	LARGE
PLANT BED 4	400	TREE 21	590	1770	1000	LARGE
		TREE 22	448	1344	1000	LARGE
PLANT BED 5	1267	TREE 23	400	1200	1200	LARGE
		TREE 24	400	1200	1000	LARGE
PLANT BED 6	400	TREE 25	463	1389	300	SMALL
		TREE 26	400	1200	1000	LARGE
PLANT BED 7	1703	TREE 27	400	1200	1200	LARGE
		TREE 28	405	1215	1000	LARGE
PLANT BED 8	920	TREE 29	584	1752	1000	LARGE
		TREE 30	589	1767	1000	LARGE
		TREE 31	978	2934	1000	LARGE
		TREE 32	434	1302	700	MEDIUM
		TREE 33	613	1839	700	MEDIUM
PLANT BED 9	1515	TREE 34	471	1413	700	MEDIUM
		TREE 35	843	2529	1000	LARGE
		TREE 36	766	2298	1000	LARGE
		TREE 37	672	2016	1000	LARGE
		TREE 38	378	1134	700	MEDIUM
PLANT BED 10	822	TREE 39	440	1320	700	MEDIUM
		TREE 40	372	1116	700	MEDIUM
PLANT BED 11	1285	TREE 41	564	1692	1000	LARGE
		TREE 42 ♦	326	978	1000	LARGE
PLANT BED 12	247	TREE 43 ♦	326	978	1000	LARGE
		TREE 44 ♦	321	963	1000	LARGE
		TREE 45	379	1137	1000	LARGE
		TREE 46	374	1122	1000	LARGE
		TREE 47	247	741	600	SMALL
PLANT BED 13	444	TREE 48 ♦	307	921	1000	LARGE
		TREE 49 ♦	285	855	1000	LARGE
PLANT BED 14	1323	TREE 50 ♦	204	612	1000	LARGE
		TREE 51	701	2103	700	MEDIUM
		TREE 52	470	1410	700	MEDIUM
		TREE 53	521	1563	1000	LARGE
		TREE 54	250	750	700	MEDIUM
PLANT BED 15	130	TREE 55	513	1539	1000	LARGE
		TREE 56	130	390	700	MEDIUM
		TREE 57 ♦	120	360	700	MEDIUM
		TREE 58 ♦	317	951	700	MEDIUM
		TREE 59 ♦	106	318	700	MEDIUM
PLANT BED 16	106	TREE 60	130	390	700	MEDIUM
		TREE 61 ♦	396	1188	700	MEDIUM
		TREE 62 ♦	356	1068	700	MEDIUM
		TREE 63	323	969	700	MEDIUM
		TREE 64	443	1329	700	MEDIUM
PLANT BED 17	126	TREE 65	126	378	700	MEDIUM
		TREE 66 ♦	130	390	700	MEDIUM
		TREE 67 ♦	235	705	700	MEDIUM
		TREE 68 ♦	85	255	700	MEDIUM
		TREE 69	96	288	300	SMALL
PLANT BED 18	130	TREE 70	96	288	300	SMALL
		TREE 71	96	288	300	SMALL
		TREE 72 ♦	96	288	300	SMALL
		TREE 73 ♦	96	288	300	SMALL
		TREE 74 ♦	96	288	300	SMALL
PLANT BED 19	1073	TREE 75 ♦	96	288	300	SMALL
		TREE 76 ♦	96	288	300	SMALL
		TREE 77 ♦	96	288	300	SMALL
		TREE 78 ♦	96	288	300	SMALL
		TREE 79 ♦	96	288	300	SMALL
PLANT BED 20	1073	TREE 80 ♦	96	288	300	SMALL
		TREE 81 ♦	96	288	300	SMALL
		TREE 82 ♦	96	288	300	SMALL
		TREE 83 ♦	96	288	300	SMALL
		TREE 84 ♦	96	288	300	SMALL
PLANT BED 21	126	TREE 85 ♦	96	288	300	SMALL
		TREE 86 ♦	96	288	300	SMALL
		TREE 87 ♦	96	288	300	SMALL
		TREE 88 ♦	96	288	300	SMALL
		TREE 89 ♦	96	288	300	SMALL
PLANT BED 22	130	TREE 90 ♦	96	288	300	SMALL
		TREE 91 ♦	96	288	300	SMALL
		TREE 92 ♦	96	288	300	SMALL
		TREE 93 ♦	96	288	300	SMALL
		TREE 94 ♦	96	288	300	SMALL
PLANT BED 23	235	TREE 95 ♦	176	528	300	SMALL
		TREE 96 ♦	190	570	300	SMALL
		TREE 97	190	570	300	SMALL
		TREE 98	190	570	300	SMALL
		TREE 99	190	570	300	SMALL
PLANT BED 24	85	TREE 100	190	570	300	SMALL
		TREE 101	190	570	300	SMALL
		TREE 102	323	969	300	SMALL
		TREE 103	323	969	300	SMALL
		TREE 104	626	1878	1000	LARGE
PLANT BED 25	85	TREE 104	437	1311	900	MEDIUM
		TREE 104	437	1311	900	MEDIUM

\* REQUIRES STRUCTURAL CELL

KEY MAP

REAL



**NOT FOR CONSTRUCTION**

PROJECT

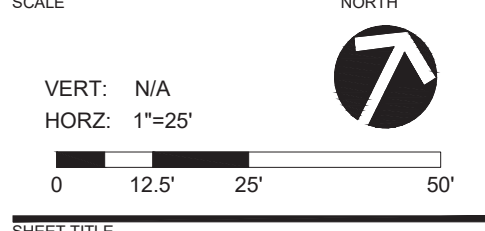
**SUNRISE LIVING OF SOUTH ARLINGTON**  
SUNRISE SENIOR LIVING  
716 SOUTH GLEBE ROAD  
ARLINGTON, VA 22204

LANDDESIGN PROJ# 2022139

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	4.1 SITE PLAN 1ST PRELIMINARY SUBMISSION	09/09/2022
2	4.1 SITE PLAN 2ND PRELIMINARY SUBMISSION	12/02/2022
3	4.1 SITE PLAN 3RD PRELIMINARY SUBMISSION	04/10/2023
4	4.1 SITE PLAN 4TH PRELIMINARY SUBMISSION	06/01/2023
5	4.1 SITE PLAN PUBLIC HEARING SUBMISSION	08/11/2023
6	REVISED PUBLIC HEARING SUBMISSION	09/12/2023

DESIGNED BY: JM  
DRAWN BY: JM  
CHECKED BY: AC



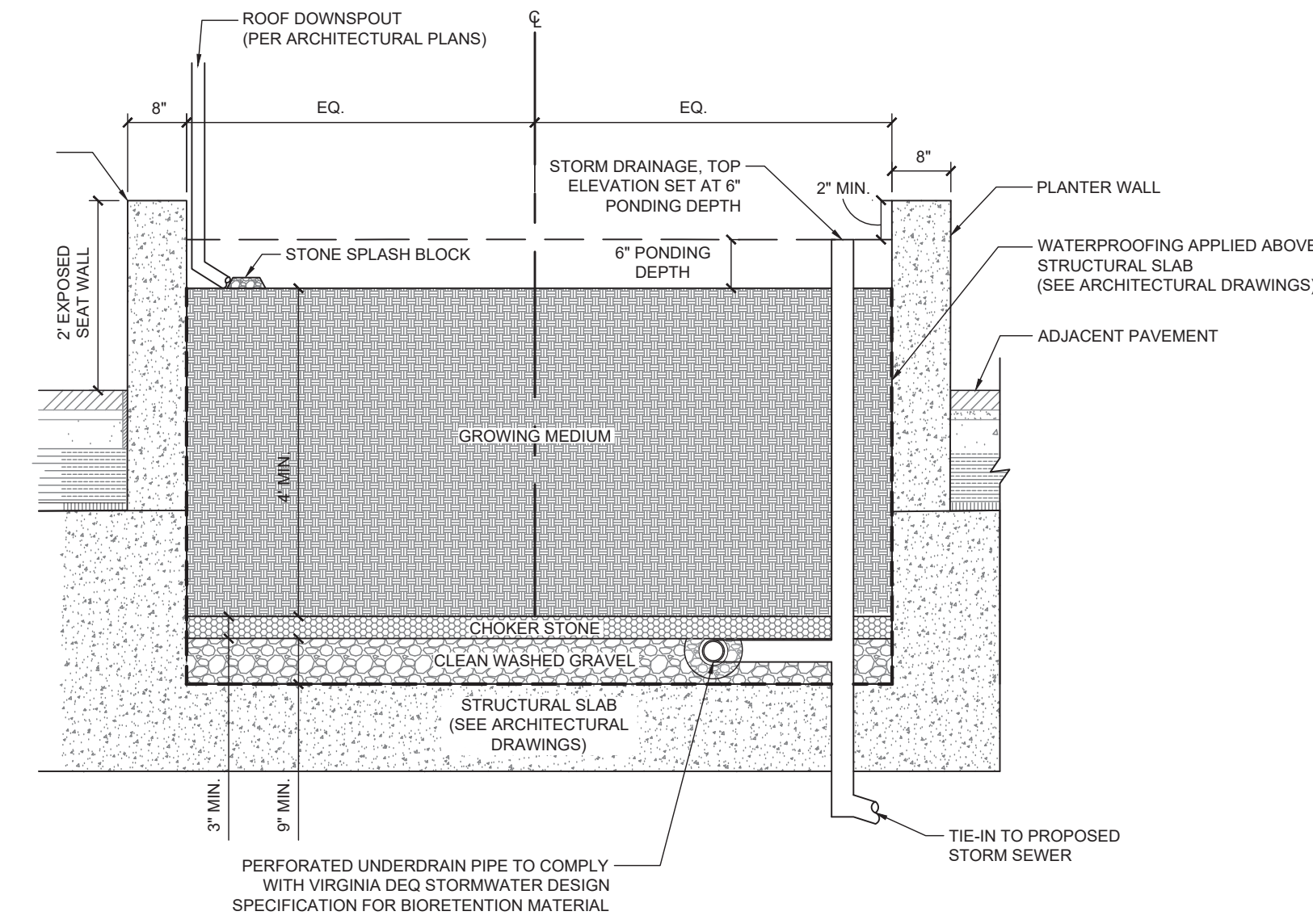
SOILS PLAN

SHEET NUMBER  
**L-404**





NOTE:  
OR CLIENT/COUNTY APPROVED  
EQUAL



**1 CONCRETE PAVING**

L-501 PICTORIAL

N/A

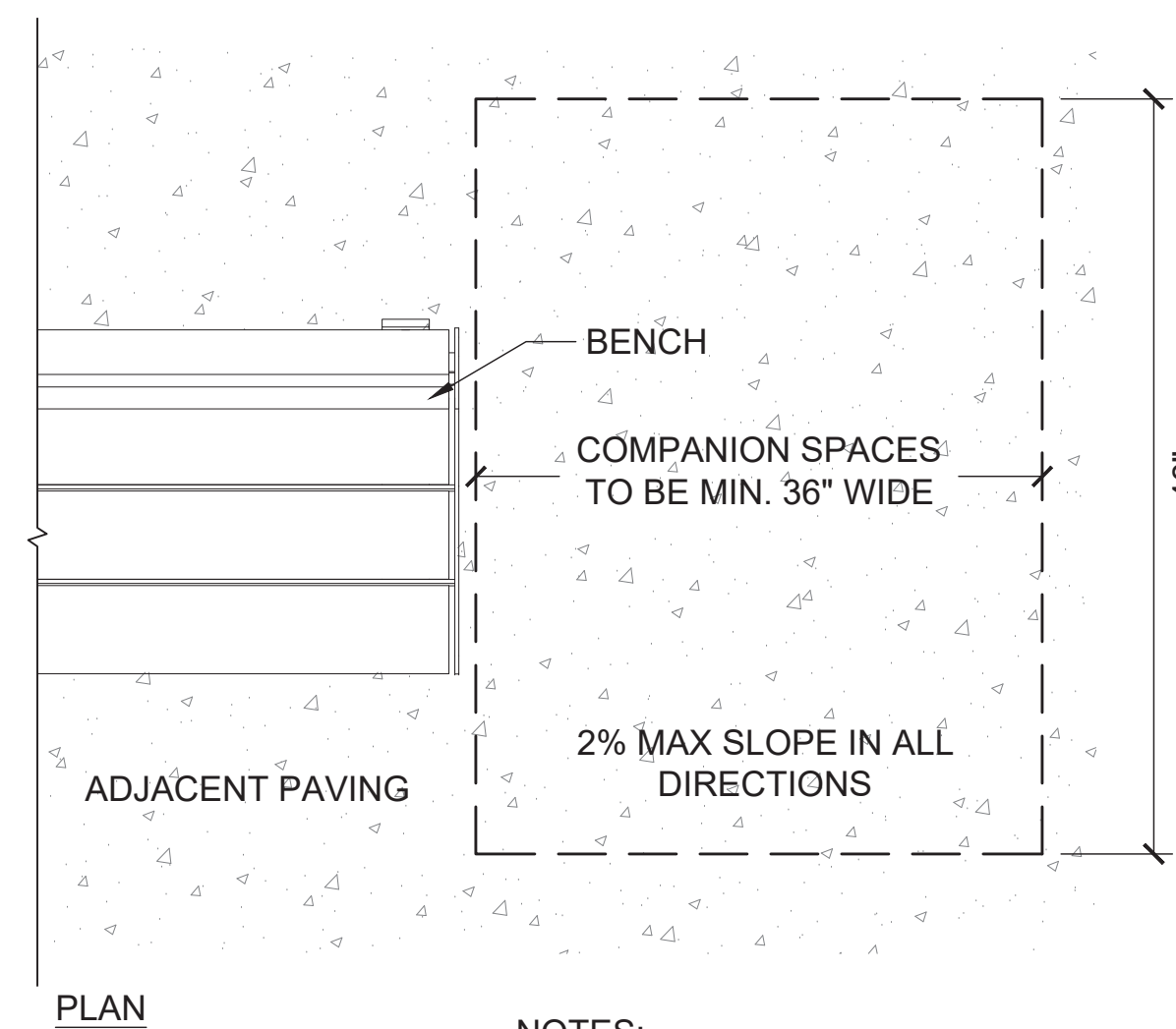
**4 BIORETENTION PLANTER**

L-501 SECTION

3/4" = 1'



NOTE:  
OR CLIENT/COUNTY APPROVED  
EQUAL



NOTES:  
1. ANCHORING PROCEDURE IS THE RESPONSIBILITY OF THE INSTALLER.  
2. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

**2 ENHANCED PAVING**

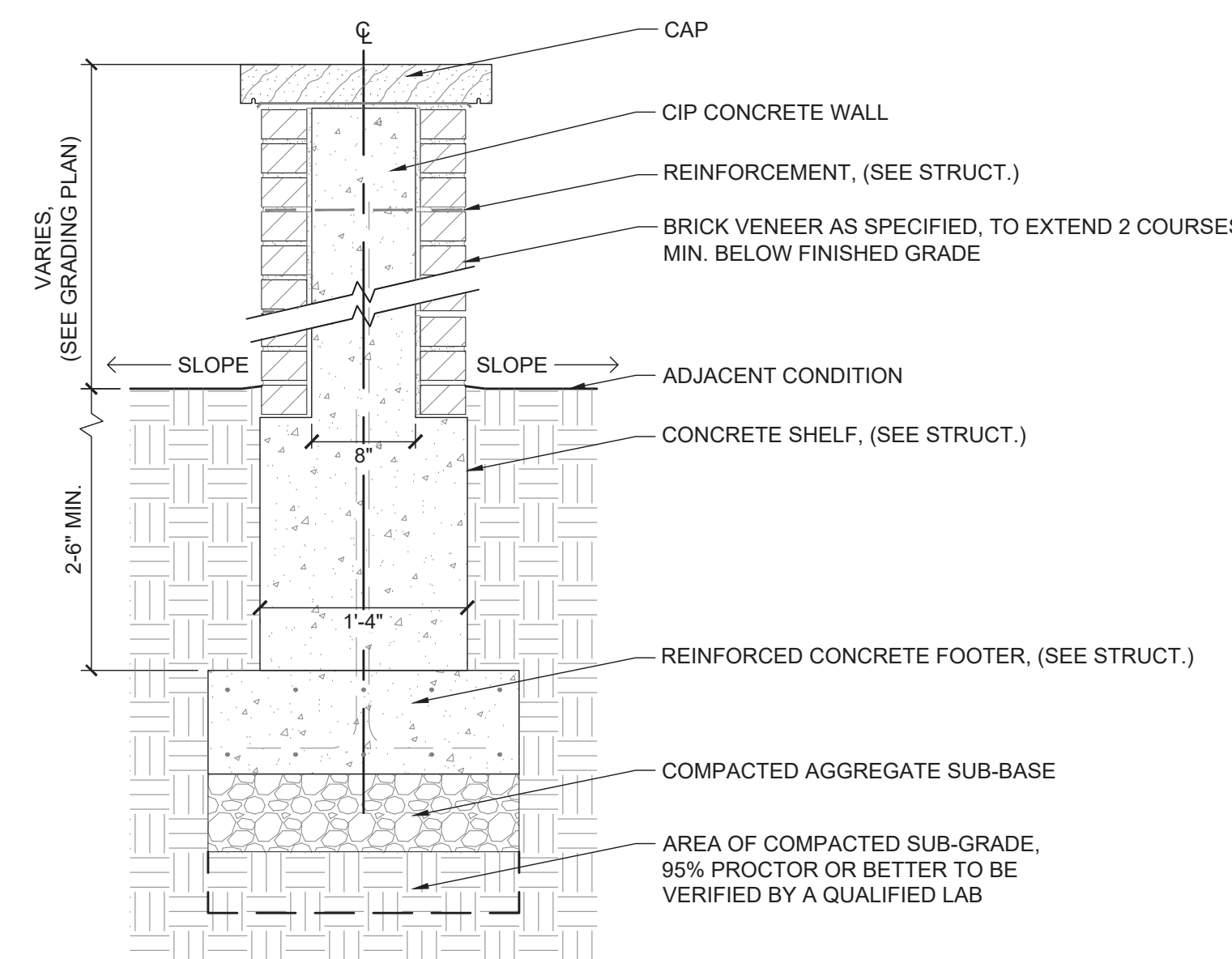
L-501 PICTORIAL

N/A

**5 BENCH COMPANION SPACE**

L-501 SECTION

1" = 1' - 0"



**3 FREE-STANDING WALL**

L-501 SECTION

1" = 1' - 0"

KEY MAP

SEAL



**NOT FOR CONSTRUCTION**

PROJECT

**SUNRISE LIVING OF SOUTH ARLINGTON**

SUNRISE SENIOR LIVING  
716 SOUTH GLEBE ROAD  
ARLINGTON, VA 22204

LANDESIGN PROJ.# 2022139

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	4.1 SITE PLAN 1ST PRELIMINARY SUBMISSION	09/09/2022
2	4.1 SITE PLAN 2ND PRELIMINARY SUBMISSION	12/02/2022
3	4.1 SITE PLAN 3RD PRELIMINARY SUBMISSION	04/10/2023
4	4.1 SITE PLAN 4TH PRELIMINARY SUBMISSION	06/01/2023
5	4.1 SITE PLAN PUBLIC HEARING SUBMISSION	08/11/2023
6	REVISED PUBLIC HEARING SUBMISSION	09/12/2023

DESIGNED BY: JM  
DRAWN BY: JM  
CHECKED BY: AC

SCALE: NORTH

VERT: N/A  
HORZ: AS NOTED

SHEET TITLE

DETAILS - HARDSCAPE

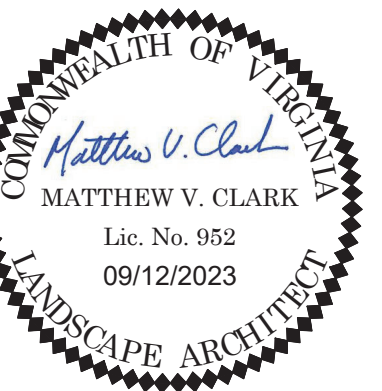
SHEET NUMBER

L-501



KEY MAP

SEAL



**NOT FOR CONSTRUCTION**

PROJECT

**SUNRISE LIVING OF SOUTH ARLINGTON**

SUNRISE SENIOR LIVING  
716 SOUTH GLEBE ROAD  
ARLINGTON, VA 22204

LANDDESIGN PROJ# 2022139

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	4.1 SITE PLAN 1ST PRELIMINARY SUBMISSION	09/09/2022
2	4.1 SITE PLAN 2ND PRELIMINARY SUBMISSION	12/02/2022
3	4.1 SITE PLAN 3RD PRELIMINARY SUBMISSION	04/10/2023
4	4.1 SITE PLAN 4TH PRELIMINARY SUBMISSION	06/01/2023
5	4.1 SITE PLAN PUBLIC HEARING SUBMISSION	08/11/2023
6	REVISED PUBLIC HEARING SUBMISSION	09/12/2023

DESIGNED BY: JM  
DRAWN BY: JM  
CHECKED BY: AC

SCALE: NORTH

VERT: N/A  
HORZ: AS NOTED

SHEET TITLE

DETAILS - SITE FURNISHINGS

SHEET NUMBER

L-502



NOTE:  
1. KNOLL 1966 DINING SET  
2. OR APPROVED EQUAL

**7 4 SEAT TABLE**

L-502 PICTORIAL

N/A

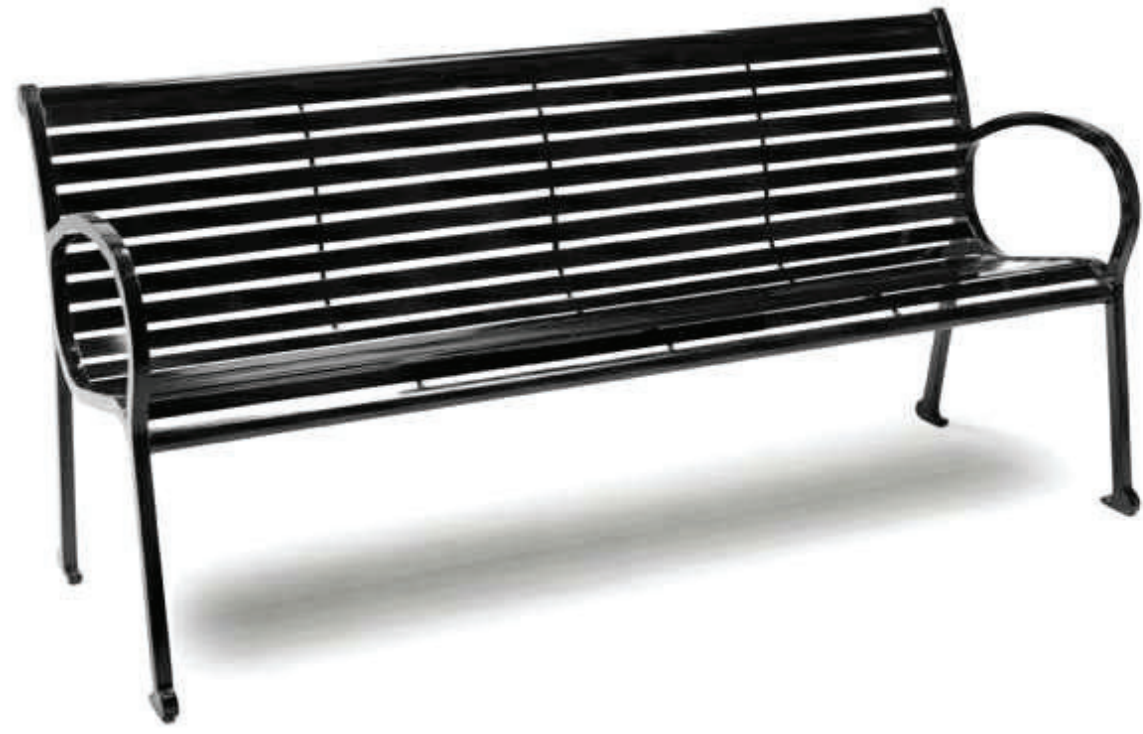


NOTE:  
1. VEG TRUG  
2. OR APPROVED EQUAL

**4 RAISED PLANTER**

L-502 PICTORIAL

N/A



NOTE:  
1. LANDSCAPE FORMS  
2. SCARBOROUGH  
3. OR APPROVED EQUAL

**1 BENCH**

L-502 PICTORIAL

N/A

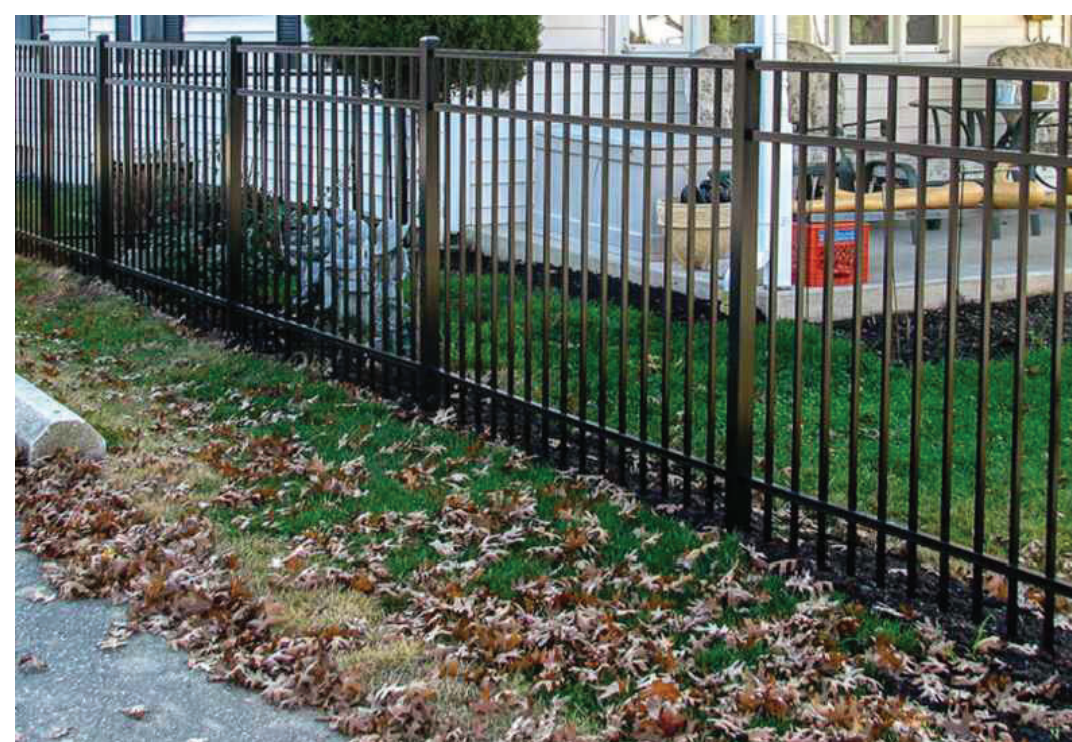


NOTE:  
1. LANDSCAPE FORMS  
2. SCARBOROUGH  
3. OR APPROVED EQUAL

**2 TRASH AND RECYCLING RECEPTACLES**

L-502 PICTORIAL

N/A



NOTE:  
1. JERITH  
2. INDUSTRIAL STYLE 202  
3. OR APPROVED EQUAL

**5 FENCE**

L-502 PICTORIAL

N/A



NOTE:  
1. VIXEN HILL  
2. CUSTOM  
3. OR APPROVED EQUAL

**3 PERGOLA**

L-502 PICTORIAL

N/A

NOTES:

**GENERAL:**

- THIS TECHNICAL SPECIFICATION IS INCLUDED BY REFERENCE IN THE ARLINGTON COUNTY BICYCLE PARKING STANDARDS.
- BICYCLE RACKS SHALL BE OF AN ACCEPTED DESIGN THAT PROVIDES TWO POINTS OF CONTACT WITH A PARKED BICYCLE. INSERTED "Y" RACKS AND OTHER DESIGNS CONSTRUCTED OF TUBING SHALL BE 2" THICK (2.38" O.D.) SCHED 40 STEEL PIPE AS PER ASTM A513, OR 2" SQUARE SECTION 8 GAUGE AS PER ASTM A 503.
- TOP OF INSTALLED BICYCLE RACKS SHALL BE MINIMUM 33" ABOVE FINISHED GRADE.
- BICYCLE RACKS SHALL BE INSTALLED USING THE FOLLOWING OPTIONS ONLY:
  - FLANGE MOUNTED TO CURED CONCRETE
  - IN-GROUND (ANCHORED IN NEW CONCRETE)
  - MOUNTED ON RAILS MOUNTED TO CURED CONCRETE OR ASPHALT
- IF MULTIPLE RACKS ARE INSTALLED, THEY SHALL BE UNIFORMLY SPACED, AND EVENLY SPACED. FOR LAYOUT PURPOSES, EACH BICYCLE RACK SHALL BE CENTERED IN A "DESIGN STALL" OF MINIMUM DIMENSION 36" X 72".
- ACCEPTABLE MATERIALS AND COATING: PIPE AND FLANGES, RAILS, ANCHOR PINS, SHIMS, AND FASTENERS, IF APPLICABLE, SHALL BE HOT-DIP GALVANIZED (HDC) AS PER ASTM A490 AND A500, OR STAINLESS STEEL AS PER ASTM A486 AND A562. BICYCLE RACKS MAY BE POWDER COATED OVER HDC AS PER ASTM A768, OR THERMOPLASTIC COATED AS APPROVED BY THE COUNTY. COATING MUST BE COMPLETE, I.E., COVERS OR COMPLETELY POWDER COATED.
- BICYCLE RACKS SHALL BE ANCHORED FIRMLY, AND INSTALLED VERTICAL (PLUMB) IN TWO PLANES.
- NO COMPONENT OF THE INSTALLED BICYCLE RACK SHALL RESULT IN A TRIPPING HAZARD.
- BICYCLE RACKS SHALL NOT BE MOUNTED DIRECTLY TO UNIT RAVERS ONLY.
- FASTENERS WHEN USED SHALL:
  - BE OF ACCEPTABLE MATERIAL AND COATING.
  - MEET ONE OF THE FOLLOWING REQUIREMENTS

TYPE	SPECIFICATION	MINIMUM SIZE	MINIMUM INSTALLATION DEPTH	ACCEPTABLE EMBEDMENT MATERIAL
THREADED	ASTM A193 GR. B817	3/8"	AS NECESSARY	METAL TO METAL, TAMPER RESISTANT NUTS REQUIRED.
FRICITION	A307-1901A, ASTM E 488	3/8"	3"	CONCRETE
Mechanically Expanded	A307-1901A, ASTM E 488	3/8"	3.5"	CONCRETE
Adhesive Bonded	ASTM F1552, ASTM E512	3/8"	6"	CONCRETE, ASPHALT

- BE ABLE TO PROVIDE FIRM, SECURE ANCHORING WITH A MAXIMUM OF 1/4" HIGH NON-TRIP HAZARD PROTRUSION ABOVE FINISHED GRADE.
- BE THREADED OR DRIVEN ANCHORS. THREADED FASTENERS TO BE FITTED WITH TAMPER-RESISTANT NUTS AS APPROVED BY THE COUNTY.

GENERAL NOTES FOR BICYCLE RACK INSTALLATION

**6 BIKE RACK**

L-502 STANDARD DETAILS

NOTES:

**FLANGE MOUNTED INSTALLATION:**

- FLANGE MOUNTED RACKS SHALL BE INSTALLED ON EXISTING CURED CONCRETE. USE FLANGE RACKS WITH FASTENERS AS SPECIFIED ABOVE. EXISTING CONCRETE SHALL CONFORM TO CONCRETE STANDARD SPEC. ARLINGTON COUNTY CONSTRUCTION SPECIFICATION SECTION 0210 AND THIS SPEC. 8.2.2 (MIN. 4" THICKNESS).
- RACK LEGS SHALL BE WELDED TO FLANGES WITH COMPLETE SEAMLESS CONTINUOUS FILLET WELDS CONFORMING TO ASTM A58, WITH HELL AND WELD SLOTTED, TACK, OR INTERMITTENT WELDING IS NOT ACCEPTABLE.
- FLANGES SHALL BE MINIMUM 3/8" THICK, WITH MINIMUM TWO 1/2" DIA. HOLES (TWO FASTENERS) PER FLANGE.
- FLANGE MOUNTED RACKS SHALL NOT BE BOLTED TO UNIT RAVERS.
- WHERE CONCRETE RAVERS OR TIE-BED RACKS ARE INSTALLED OVER CONTINUOUS CONCRETE SUB-BASE, FLANGE MOUNTED RACKS SHALL BE INSTALLED ON CONCRETE SUB-BASE. INSTALLATION SHALL CONFORM TO ANY INTERFERENCES OF CONCRETE, OR OTHERWISE, INSTALLATION ABOVE UNDERGROUND PARKING STRUCTURES.
- UNIT RAVERS SHALL BE NEATLY CUT AND FIT AROUND FLANGES, FASTENERS, AND LEGS OF RACK.
- LEGS OF FLANGE MOUNTED RACKS SHALL BE OF SUFFICIENT LENGTH TO PROVIDE MINIMUM ACCEPTABLE HEIGHT OF 33" ABOVE FINISH GRADE.

**IN-GROUND RACK INSTALLATION:**

- LEGS OF IN-GROUND RACKS SHALL BE FITTED WITH ANCHOR PINS TO PREVENT LIFT-OUT. ANCHOR PINS SHALL BE:
  - ACCEPTABLE MATERIAL.
  - MIN. 3/8" DIAMETER WITH MIN. 3" CONCRETE ENGAGEMENT.
- IN-GROUND RACKS SHALL BE INSTALLED AND FIRMLY ANCHORED IN NEW CONCRETE OF MINIMUM DIMENSIONS SHOWN. ANCHORED PORTIONS OF RACK SHALL HAVE MIN. 3" CONCRETE ENCASUREMENT ON ALL SIDES.
- FOR RACK INSTALLATIONS ON STOPS WITH CONCRETE RAVERS OR FIBER GLASS RACKS INSTALLED OVER COMPACTED SOIL (SUB-BASE AND SAND LEVELLING COURSE) AS PER ARLINGTON COUNTY STANDARD SPECIFICATIONS SECTION 0210 AND STANDARD SPEC. 8.2.2, RACKS SHALL BE INSTALLED IN CONCRETE FOOTINGS OF CONFORMING DIMENSIONS.
- WHERE IN-GROUND RACKS ARE INSTALLED IN UNPAVED SOIL, OR SOIL/GRASS/TURF, PROVIDE A SINGLE CONCRETE FOOTING OF CONFORMING DIMENSIONS. PROVIDE A TAPERED SHOULDER WITH 4" THICKNESS AND MIN. 36" X 72" CENTERED ON EACH INSTALLED RACK.
- LEGS OF IN-GROUND RACKS SHALL BE OF SUFFICIENT LENGTH TO PROVIDE ANCHORS BELOW GRADE A MINIMUM OF 8" AND BE A MINIMUM HEIGHT OF 33" ABOVE FINISH GRADE.

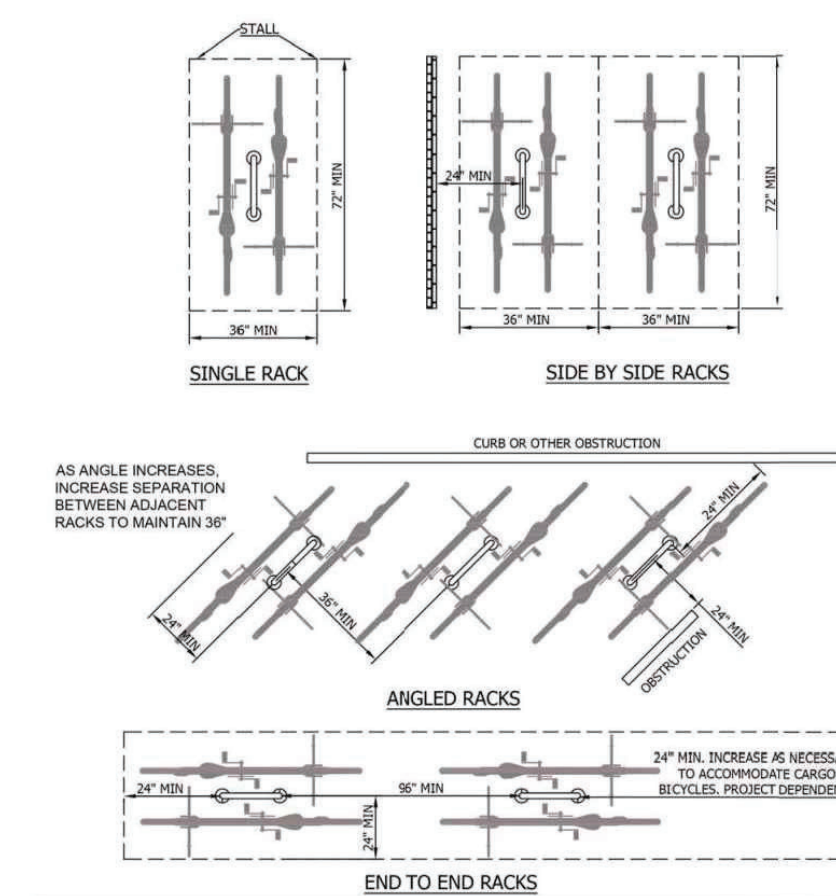
**INSTALLATION ON RAILS:**

- BICYCLE RACKS MAY BE APPROVED BY "SHIMMED" ANCHORS OF FROM 4" TO 7" RACKS ON CONTINUOUS RAILS.
- RAILS SHALL BE THE MIN. C3 x 4.1 STEEL CHANNEL AS PER ASTM A36, HDG, OR POWDER COATED OVER HDG TO MATCH RACKS.
- INDIVIDUAL RACKS CAN BE WELDED TO RAILS. SHOULDER SHALL BE COMPLETE SEAMLESS CONTINUOUS FILLET WELDS CONFORMING TO ASTM A58, WITH SLOTTED AND WELD SLOTTED, TACK, OR INTERMITTENT WELDING IS NOT ACCEPTABLE.
- INDIVIDUAL RACKS CAN BE BOLTED TO RAILS.
- IF RACKS ARE BOLTED TO RAILS, FASTENERS SHALL BE:
  - ACCEPTABLE MATERIAL.
  - MIN. 3/8" DIAMETER.
  - ABLE TO PROVIDE FIRM, SECURE ANCHORING WITH THREADED NUTS ON UNDERSIDE OF STEEL CHANNEL.
  - FITTED WITH TAMPER-RESISTANT THREADED NUTS AS APPROVED BY THE COUNTY.
- RACKS ON RAILS MAY BE APPROVED FOR INSTALLATION ON FINISHED ASPHALT. IN SUCH CASES, A PERMANENTLY GROTTED, INTERNALLY THREADED ANCHOR AS APPROVED BY THE COUNTY SHALL BE USED TO PROVIDE ATTACHMENT.

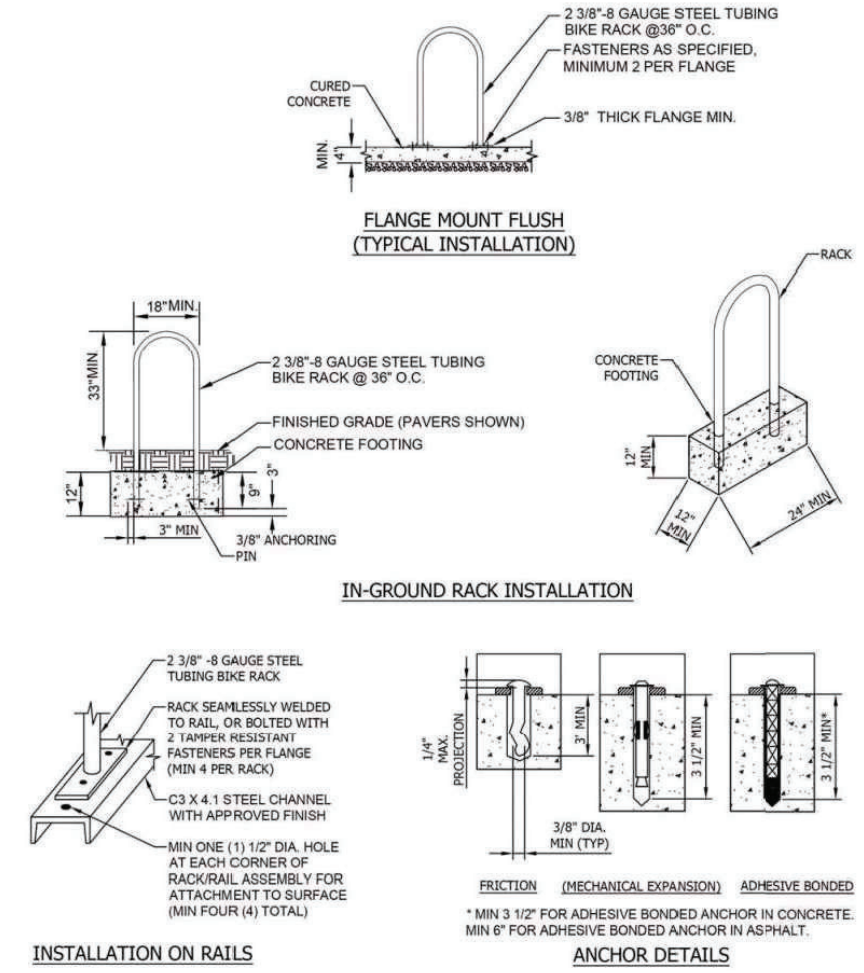
ARLINGTON COUNTY, VIRGINIA  
DEPARTMENT OF ENVIRONMENTAL SERVICES  
DRAWING NO. R-8.1

NOTES:

- FOR LAYOUT PURPOSES, EACH BICYCLE RACK SHALL BE CENTERED IN A "STALL" OF MINIMUM DIMENSION 36" X 72".
- IF MULTIPLE RACKS ARE ANGGLED OR SKewed, CENTER-TO-CENTER SEPARATION BETWEEN PARALLEL RACKS MUST BE INCREASED TO MAINTAIN THE MINIMUM 36" X 72" CLEAR STALL AREA AT EACH RACK. MINIMUM 2" CLEARANCE IS NEEDED FROM WALL OR OTHER OBSTRUCTIONS.

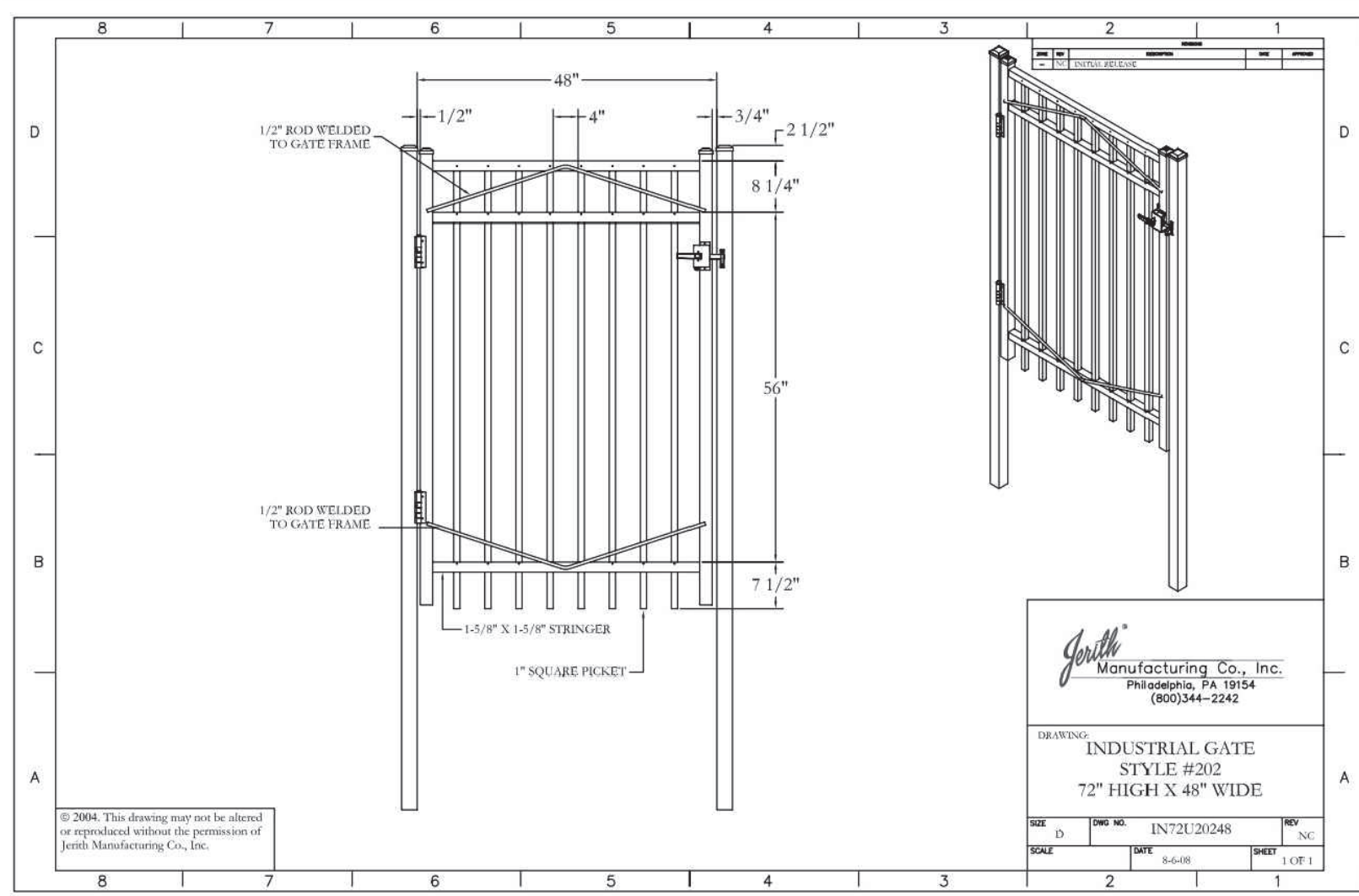


ARLINGTON COUNTY, VIRGINIA  
DEPARTMENT OF ENVIRONMENTAL SERVICES  
DRAWING NO. R-8.2



ARLINGTON COUNTY, VIRGINIA  
DEPARTMENT OF ENVIRONMENTAL SERVICES  
DRAWING NO. R-8.3





Jerith  
Manufacturing Co., Inc.  
Pittsburg, PA 15134  
610.244.2242

DRAWING:  
INDUSTRIAL GATE  
STYLE #202  
72" HIGH X 48" WIDE

DATE	REV. NO.	BY	CHK.	APP.
08/12/2023	1	JM	AC	

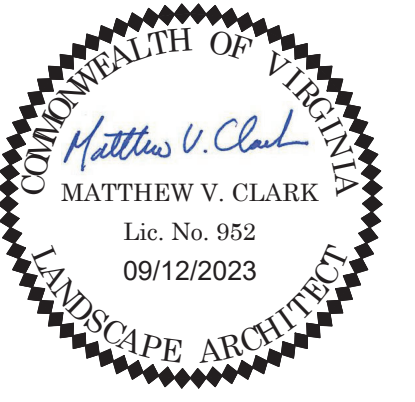
- NOTE:
1. JERITH
  2. INDUSTRIAL GATE
  3. STYLE #202
  4. OR APPROVED EQUAL

1 GATE  
L-503 PICTORIAL

NTS

KEY MAP

REAL



**NOT FOR CONSTRUCTION**

PROJECT

**SUNRISE LIVING OF SOUTH ARLINGTON**  
SUNRISE SENIOR LIVING  
716 SOUTH GLEBE ROAD  
ARLINGTON, VA 22204

LANDESIGN PROJ.# 2022139

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	4.1 SITE PLAN 1ST PRELIMINARY SUBMISSION	09/09/2022
2	4.1 SITE PLAN 2ND PRELIMINARY SUBMISSION	12/02/2022
3	4.1 SITE PLAN 3RD PRELIMINARY SUBMISSION	04/10/2023
4	4.1 SITE PLAN 4TH PRELIMINARY SUBMISSION	06/01/2023
5	4.1 SITE PLAN PUBLIC HEARING SUBMISSION	08/11/2023
6	REVISED PUBLIC HEARING SUBMISSION	09/12/2023

DESIGNED BY: JM  
DRAWN BY: JM  
CHECKED BY: AC

SCALE: NORTH

VERT: N/A  
HORZ: AS NOTED

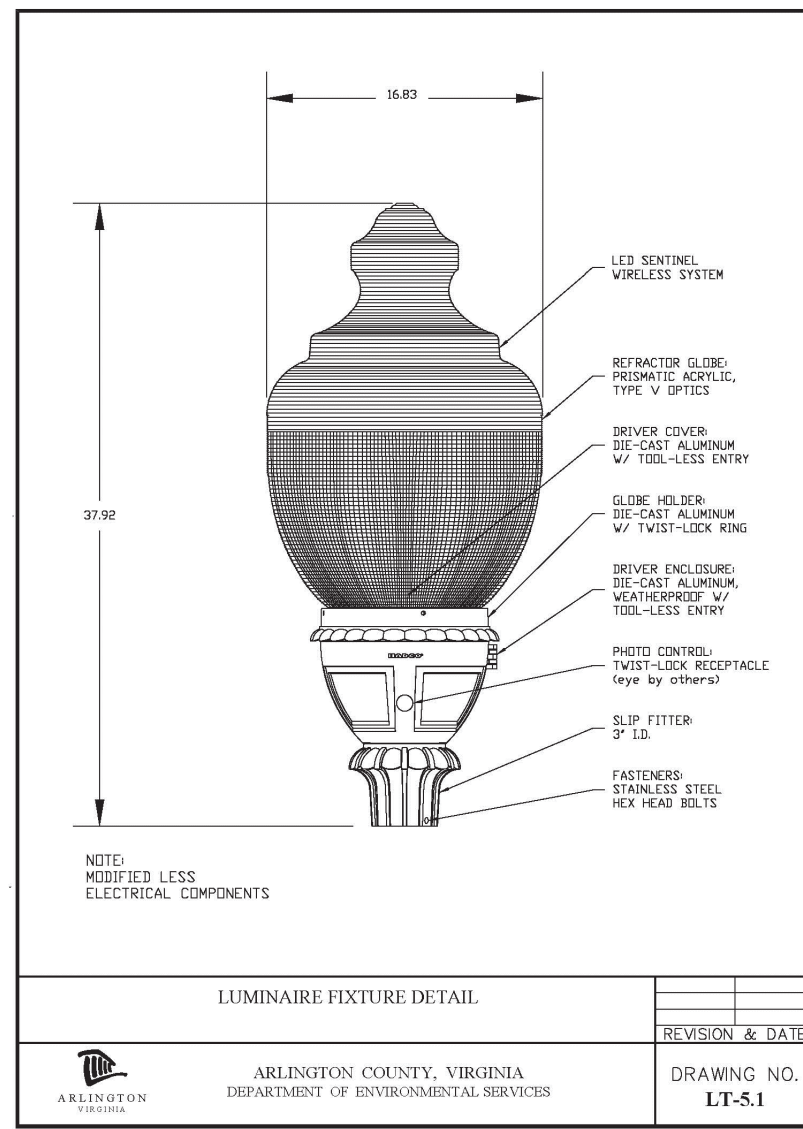
SHEET TITLE

DETAILS - SITE FURNISHINGS

SHEET NUMBER

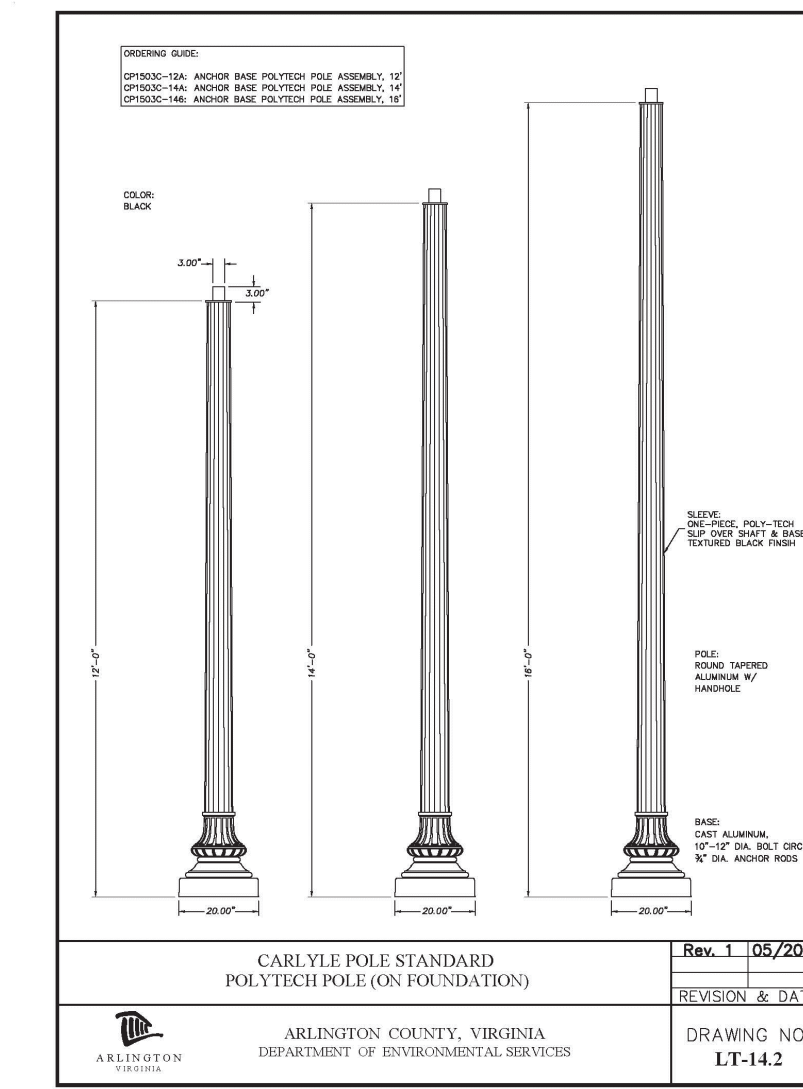
L-503





**1** SINGLE LIGHT FIXTURE  
L-504 PICTORIAL

N/A



**2** SINGLE LIGHT POST  
L-504 PICTORIAL

N/A



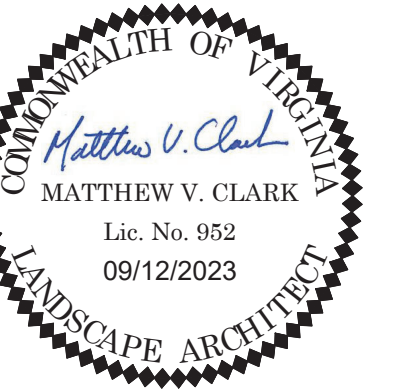
NOTE:  
1. LANDSCAPE FORMS ASHBERY PATH LIGHT  
2. OR APPROVED EQUAL

**3** PATHWAY LIGHT BOLLARD  
L-504 PICTORIAL

N/A

KEY MAP

SEAL



**NOT FOR  
CONSTRUCTION**

PROJECT

**SUNRISE LIVING  
OF SOUTH  
ARLINGTON**  
SUNRISE SENIOR LIVING  
716 SOUTH GLEBE ROAD  
ARLINGTON, VA 22204

LANDESIGN PROJ.# 2022139

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	4.1 SITE PLAN 1ST PRELIMINARY SUBMISSION	09/09/2022
2	4.1 SITE PLAN 2ND PRELIMINARY SUBMISSION	12/02/2022
3	4.1 SITE PLAN 3RD PRELIMINARY SUBMISSION	04/10/2023
4	4.1 SITE PLAN 4TH PRELIMINARY SUBMISSION	06/01/2023
5	4.1 SITE PLAN PUBLIC HEARING SUBMISSION	08/11/2023
6	REVISED PUBLIC HEARING SUBMISSION	09/12/2023

DESIGNED BY: JM  
DRAWN BY: JM  
CHECKED BY: AC

SCALE: NORTH

VERT: N/A  
HORZ: AS NOTED

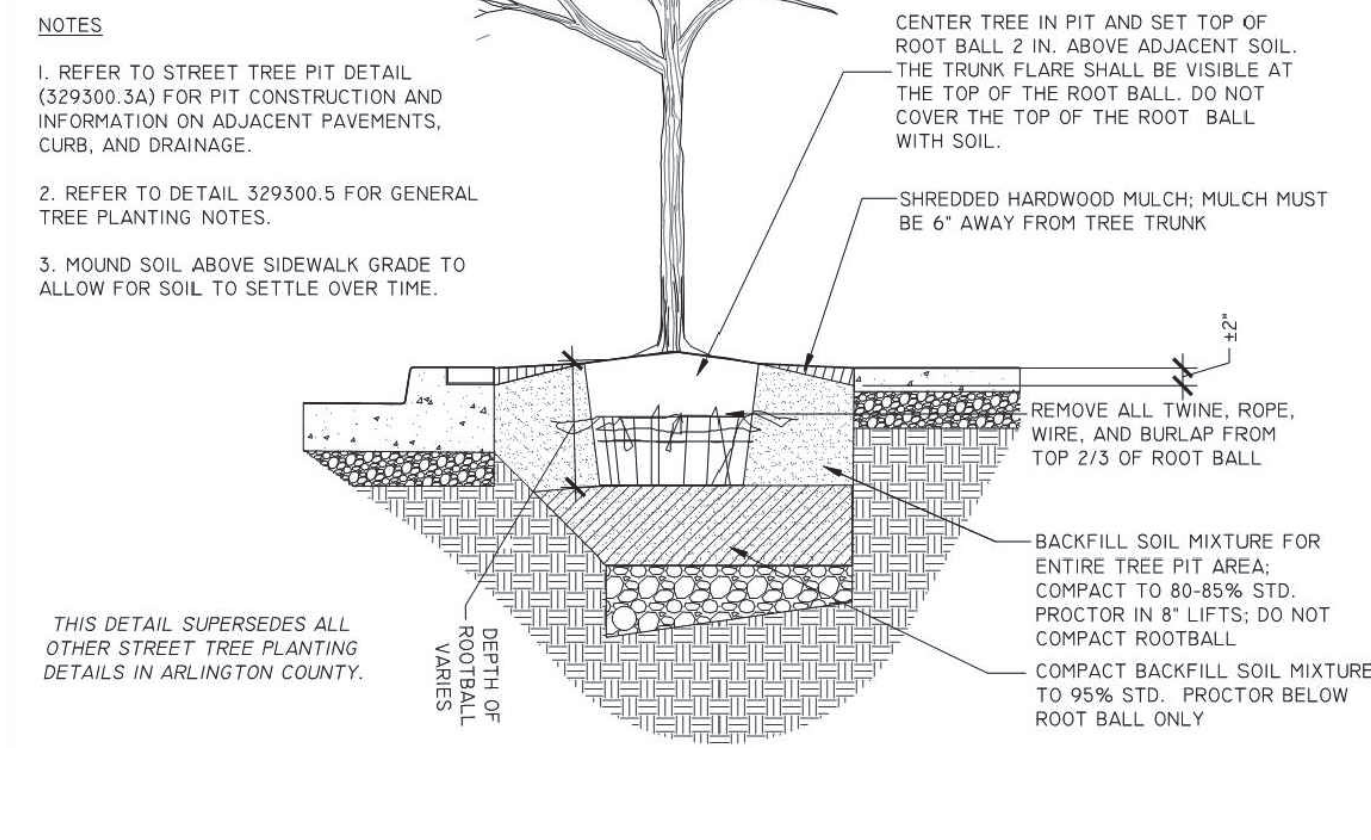
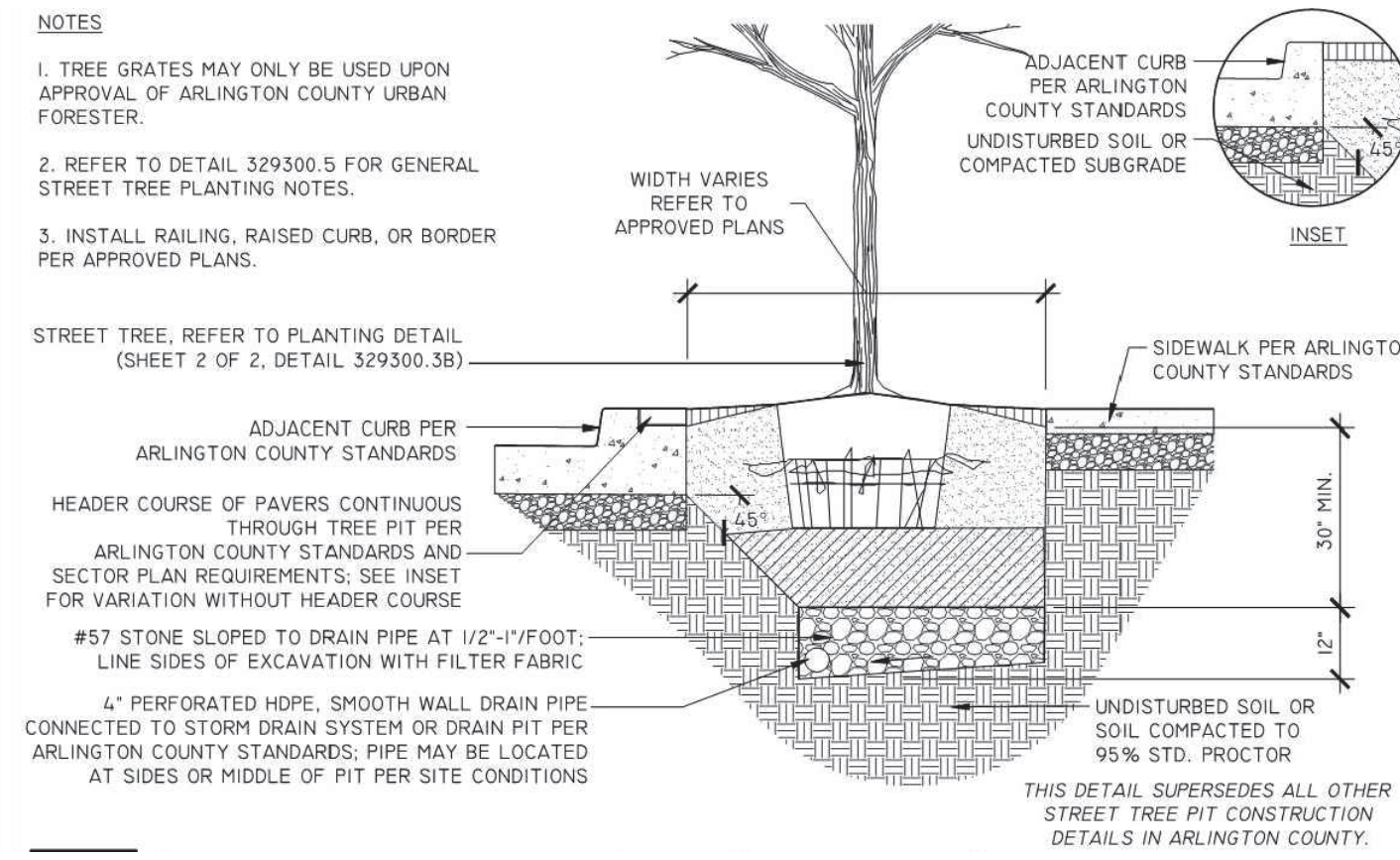
SHEET TITLE

DETAILS - LIGHTING

SHEET NUMBER

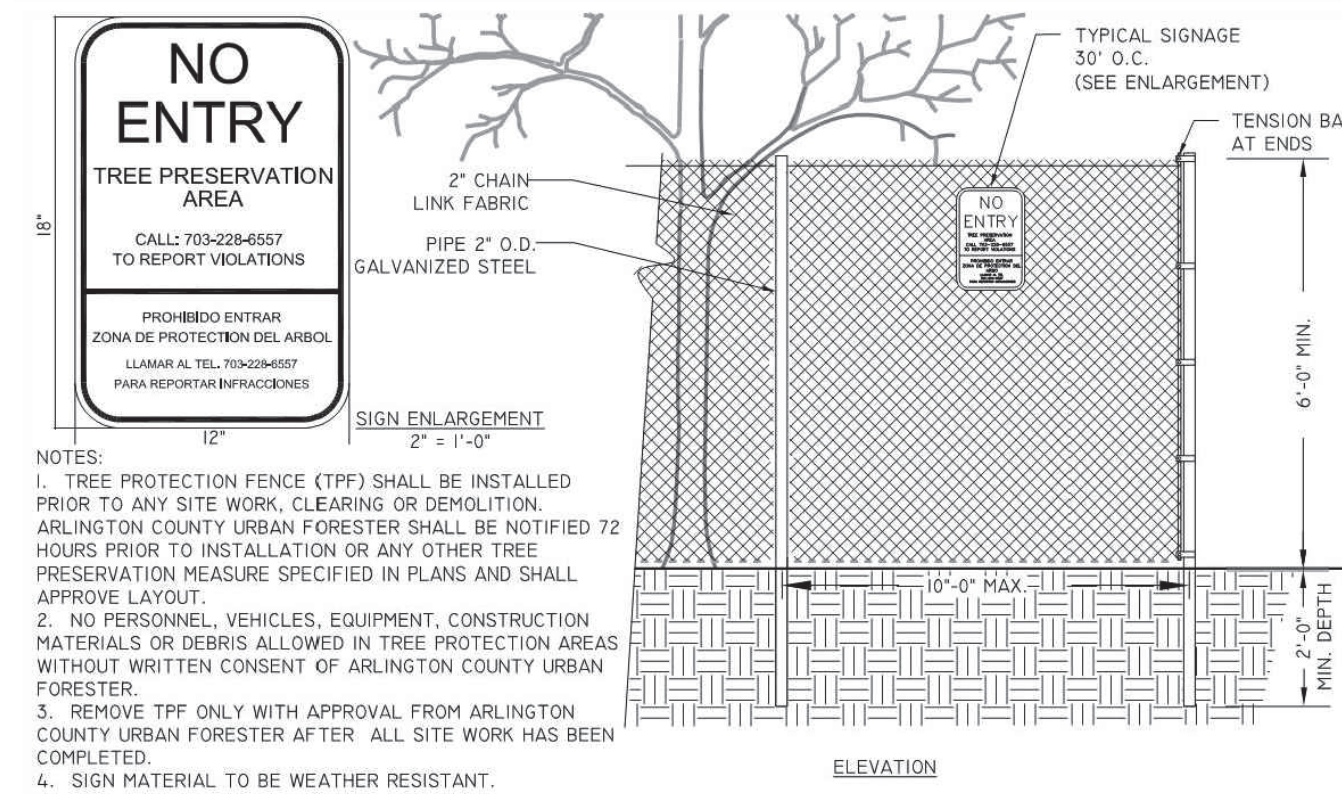
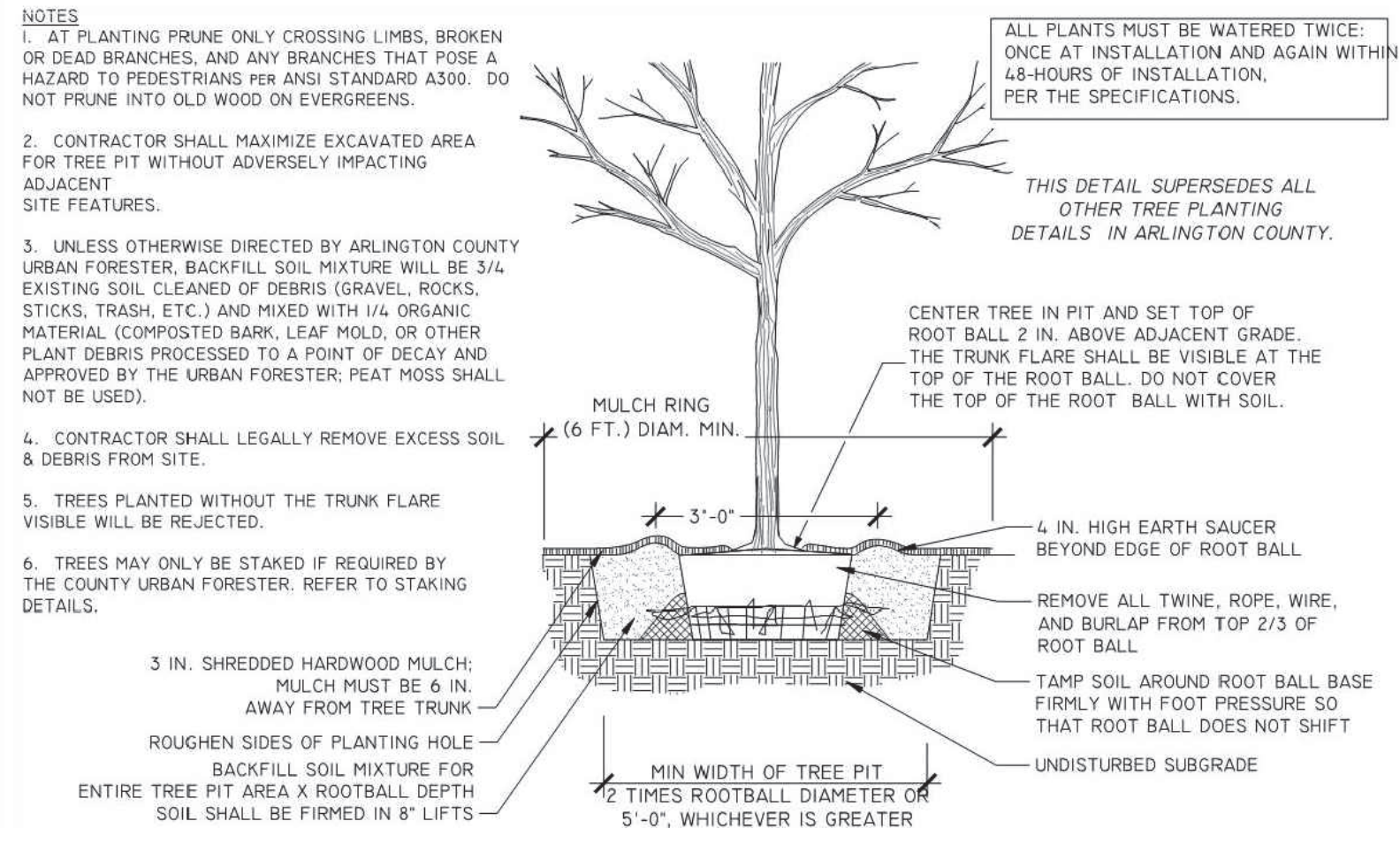
L-504





1 STREET TREE PLANTING  
L0601 SECTION

NTS

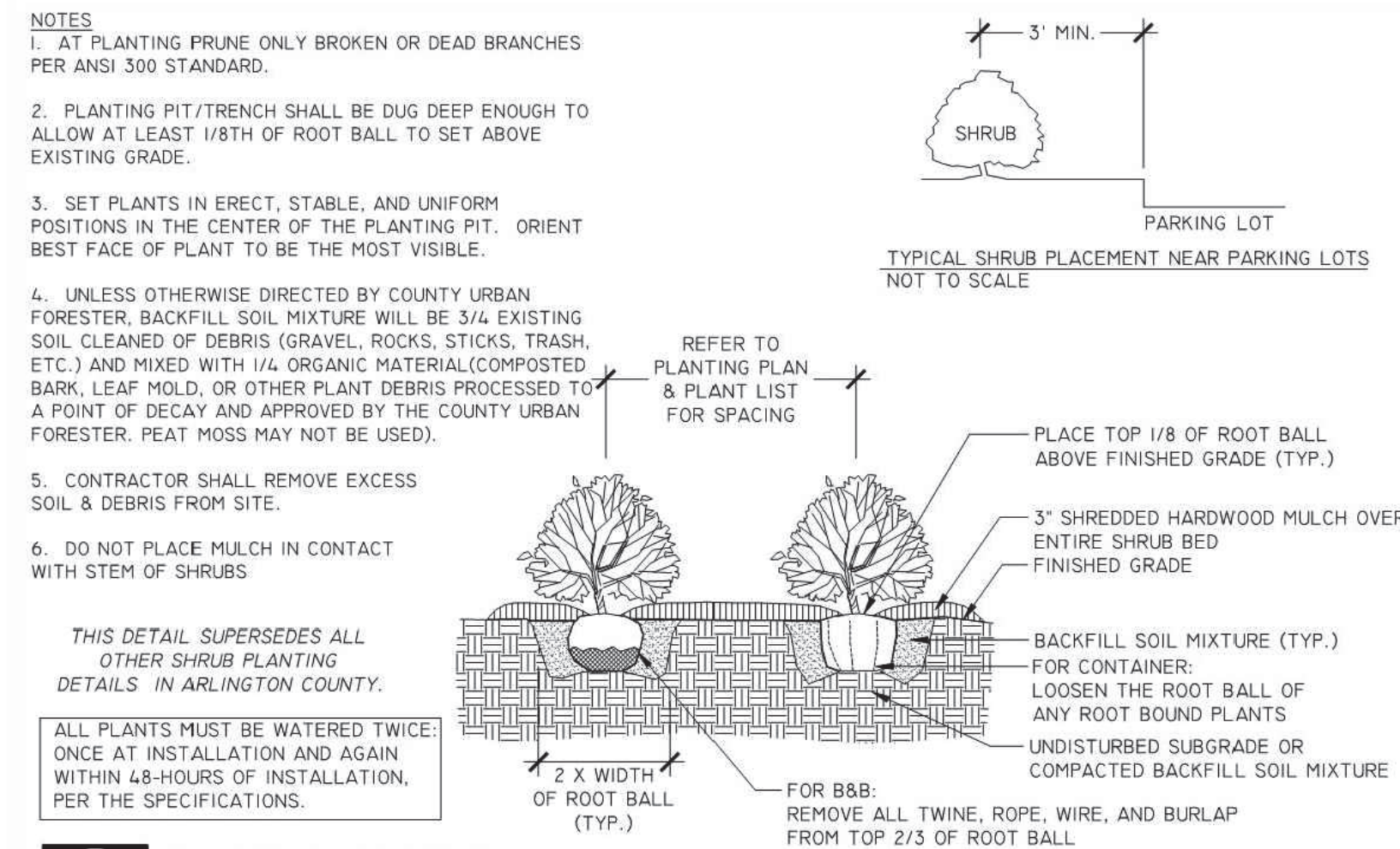


2 TREE PLANTING  
L0601 SECTION

NTS

4 PROTECTION FENCE  
L0601 SECTION

NTS

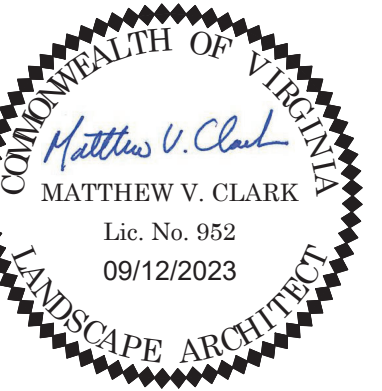


3 SHRUB PLANTING  
L0601 SECTION

NTS

KEY MAP

REAL



NOT FOR CONSTRUCTION

PROJECT

SUNRISE LIVING OF SOUTH ARLINGTON

SUNRISE SENIOR LIVING  
716 SOUTH GLEBE ROAD  
ARLINGTON, VA 22204

LANDDESIGN PROJ.# 2022139

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	4.1 SITE PLAN 1ST PRELIMINARY SUBMISSION	09/09/2022
2	4.1 SITE PLAN 2ND PRELIMINARY SUBMISSION	12/02/2022
3	4.1 SITE PLAN 3RD PRELIMINARY SUBMISSION	04/10/2023
4	4.1 SITE PLAN 4TH PRELIMINARY SUBMISSION	06/01/2023
5	4.1 SITE PLAN PUBLIC HEARING SUBMISSION	08/11/2023
6	REVISED PUBLIC HEARING SUBMISSION	09/12/2023

DESIGNED BY: JM  
DRAWN BY: JM  
CHECKED BY: AC

SCALE: NORTH

VERT: N/A  
HORZ: AS NOTED

SHEET TITLE

PLANTING DETAILS

SHEET NUMBER

L-601