



WRAPS

WESTERN ROSSLYN AREA PLANNING STUDY

Working Group Kick-Off Meeting

Study Process Orientation & Walking Tour

June 21, 2014
Wilson School



ARLINGTON
VIRGINIA



Presentation Overview

- Scope
- Site information
- County Board Goals and Considerations
- Deliverables
- Schedule
- Working Group and other participants
- Notebooks



Scope

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County Board
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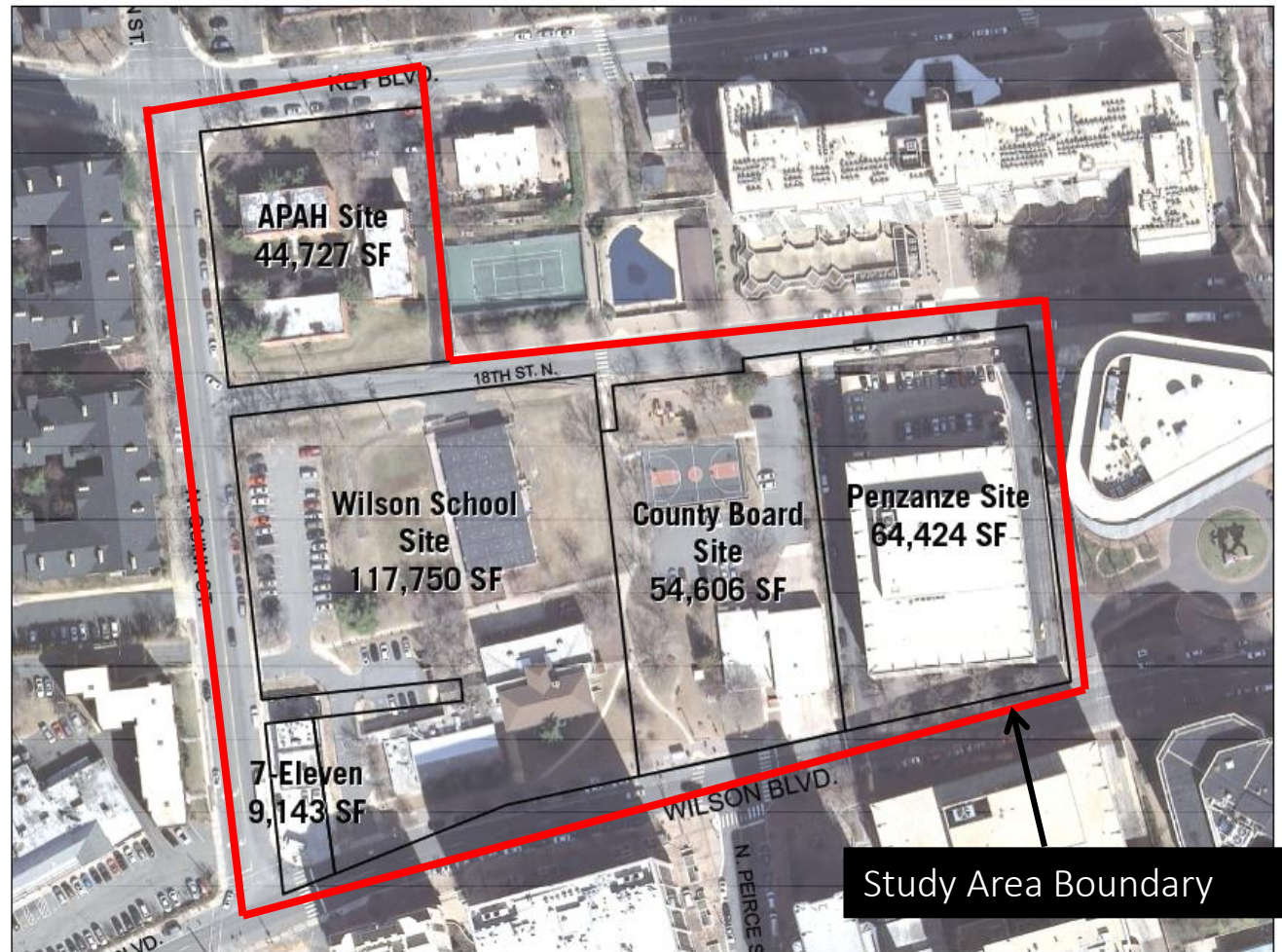
Scope of Our Effort

- Examine planning issues and develop a Vision, Policies, and Recommendations
- Prepare WRAPS long range planning document, to guide future decisions and investments
- Coordination with Realize Rosslyn process
 - Edge of the Rosslyn Coordinated Redevelopment District (RCRD)
 - Very specific inputs / outcomes to be considered in WRAPS
 - Processes will inform each other



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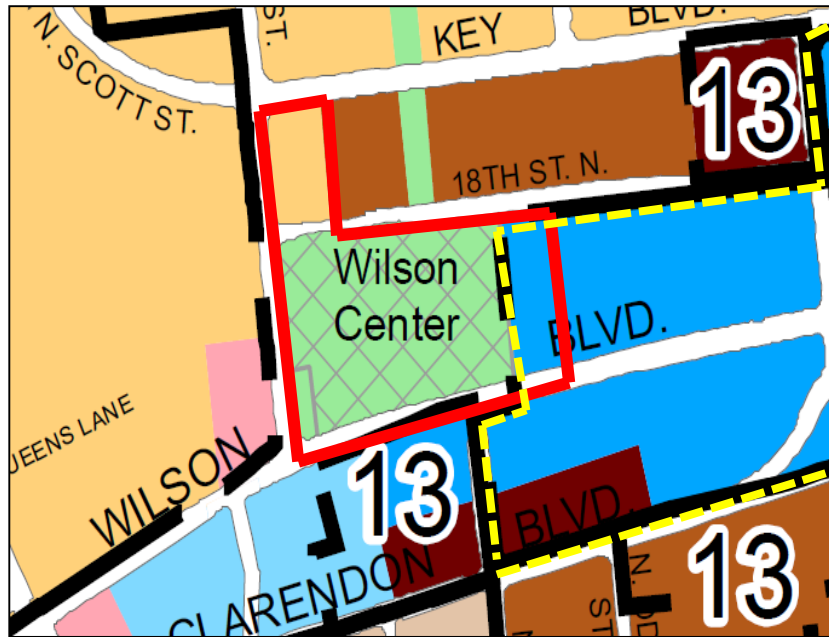




General Land Use Plan Designations

- Element of Comprehensive Plan – used to convey County’s land use vision

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Designation	Allowable Density
Low-Medium Residential	16-36 units/acre
High-Medium Residential	Up to 3.24 FAR (residential)
High Residential	Up to 4.8 FAR - residential Up to 3.8 FAR - hotel
Medium Office-Apartment-Hotel	Up to 2.5 FAR - office Up to 115 residential units/acre Up to 180 hotel units/acre
High Office-Apartment-Hotel	Up to 3.8 FAR - office Up to 4.8 FAR - residential Up to 3.8 FAR - hotel
Service Commercial	Up to 1.5 or 2.0 FAR
Public	N/A



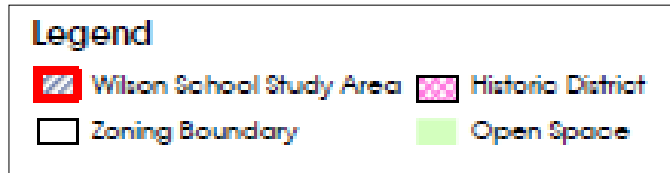
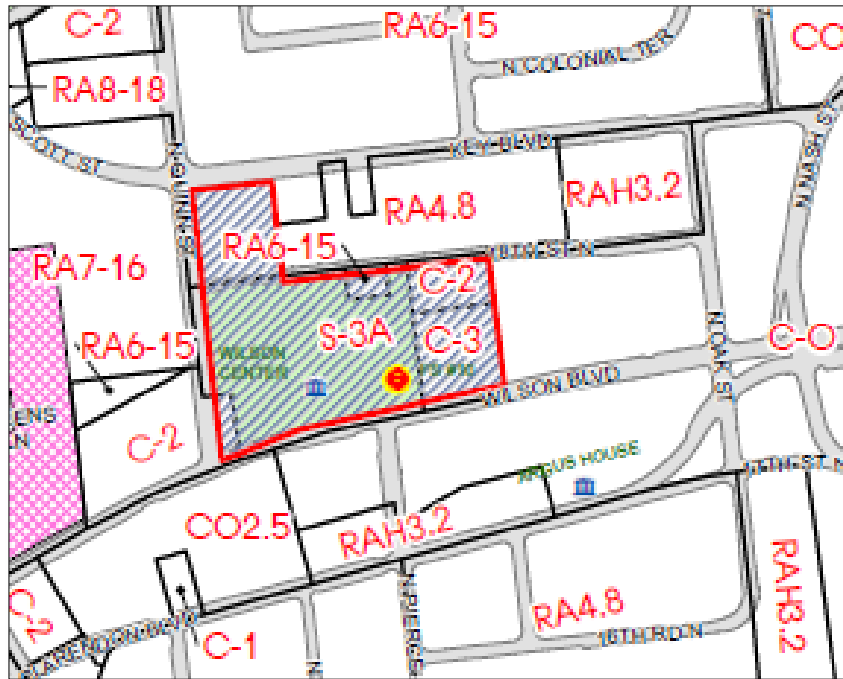
Rosslyn Coordinated Redevelopment District (RCRD)



General Land Use Plan Designations

- Regulatory framework for all properties within Arlington County

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Property	Zoning
1555 Wilson (Penzance)	C-2 and C-3 Up to 45 feet 1.5 -2.0 FAR
Fire Station #10 / Rosslyn Highlands Park	S-3A Up to 45 feet RA6-15 Up to 60 feet Up to 29 townhouse units/acre Up to 48 apartment units/acre
Wilson School (APS)	S-3A Up to 45 feet
7-Eleven	C-2 Up to 45 feet 1.5 -2.0 FAR
Queens Court (APAH)	RA6-15 Up to 60 feet Up to 29 townhouse units/acre Up to 48 apartment units/acre





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CB Charge: Study Goals

- Multi-story secondary school with up to 1,300 seats
- New fire station
- Up to 60,000 sq. ft. of recreation and open space (including interior and exterior space)
- Affordable housing
- Energy efficiency / sustainability
- Economically viable, urban and vibrant development with a mix of uses and compatible heights / densities that support achieving County goals
- Effective multi-modal transportation facilities and services



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CB Charge: Other Considerations

- Urban design
- Open spaces
- Building location and design
- Circulation



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CB Charge: School Considerations

- New school located within the boundaries of the APS property
- Multi-story building – up to 175 feet
- Building spaces and outdoor amenities available for use by the general public:
 - 30,000 - 35,000 SF
 - athletic fields & other indoor and outdoor facilities/amenities



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CB Charge: Considerations for the remaining Study Area

- Location of replacement fire station; possible co-location opportunities
- Approaches to incorporating Affordable Housing
- Massing / height / density of private development to support County goals
- Phasing (for all development)
- Consider the feasibility of incorporating architectural elements of the Wilson School
- Incorporate innovative, environmentally sustainable design elements



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What is the Finished Product?

- **WRAPS Area Plan**, including:
 - Vision
 - Key Policies
 - Concept Plan
 - Recommendations
 - Land Use
 - Transportation
 - Open Space
 - Housing/Affordable Housing
 - Urban Design
 - Tools/Strategies
 - Phasing



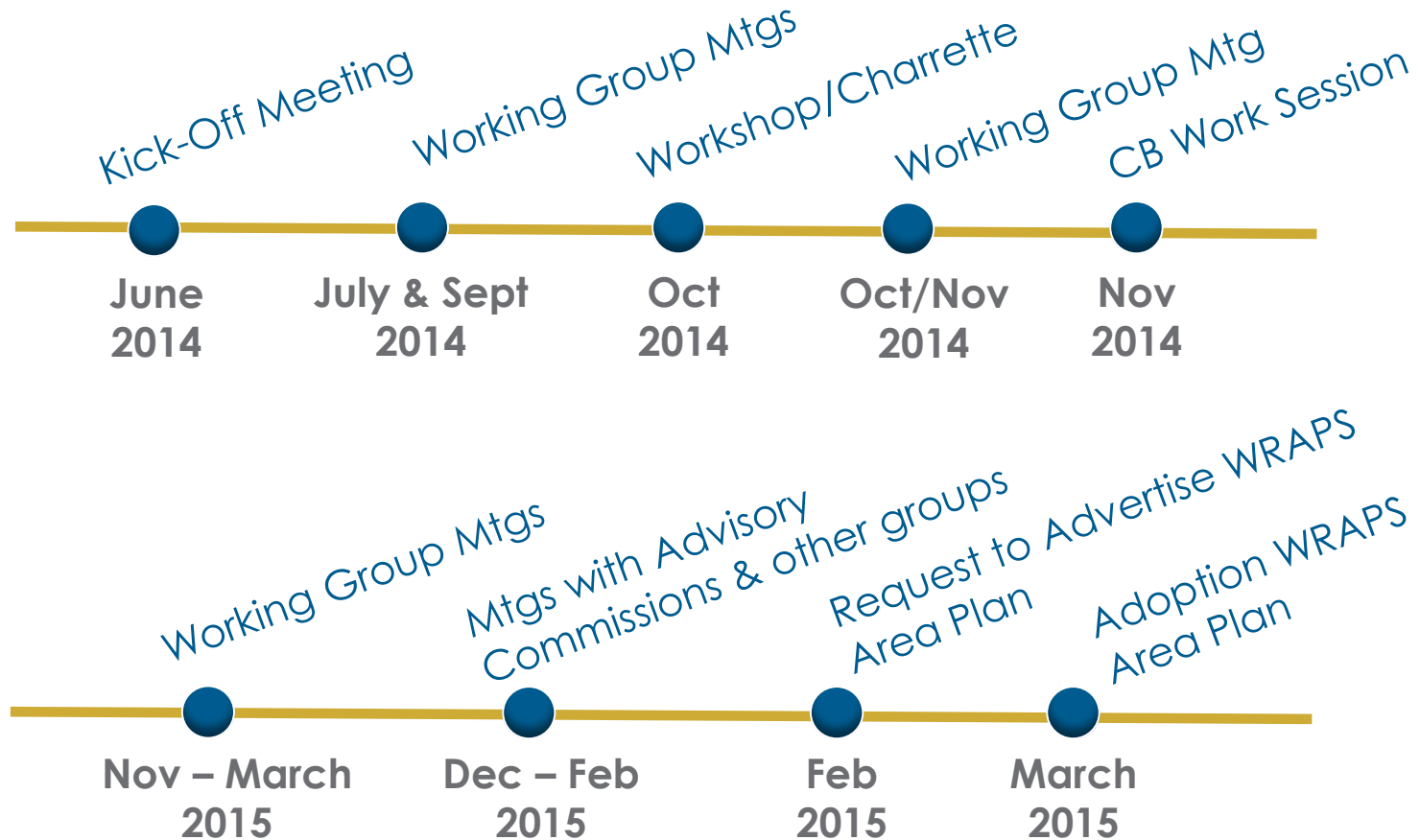
Conceptual diagram:

- Buildable areas & Building placement
- Open spaces
- Connections
- Building Heights



Schedule & Key Groups

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Working Group Role

- Work collaboratively with staff to develop an Area Plan
- Provide guidance and input
- Assist in resolving matters of community process
- Review draft and final documents and plans
- Act as liaisons between WG and group that you represent



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Planning Team

- **Richard Tucker - Lead Planner, CPHD Planning**
- Jennifer Smith & Leon Vignes – CPHD Planning
- Sarah Pizzo – CPHD Housing
- Jessica Margarit – CPHD Communications
- Ritch Viola - DES / Transportation
- Andrew Wilson - AED
- Lida Aljabar – DPR
- Assistant Chief Joe Reshetar - ACFD



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Working Group Notebooks

- **Please bring your Notebooks to all WG Meetings!**
- County Board Charge
- Working Group Contacts
- WRAPS Briefing Book
- Meeting Agendas & Presentations



Upcoming Meetings

Tuesday, July 8, 2014

Navy League Building

2300 Wilson Boulevard

Wednesday, July 23, 2014

Wilson School

1601 Wilson Boulevard

For more information:

www.arlingtonva.us/wraps